

GENERAL NOTES:

1. THE OWNER OF RECORD FOR TAX MAP 405 LOTS 29 & 30 IS LONDON BRIDGE SOUTH, INC., 273 CURRIER ROAD, CANDIA, NH 03034. THE DEED REFERENCE FOR LOT 405-29 IS BK-6519 PG-181 DATED NOVEMBER 8, 2023 AND THE DEED REFERENCE FOR LOT 405-30 IS BK-6476 PG-2642 DATED APRIL 12, 2023, BOTH RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. (THE DEVELOPER IS JAMES LOGAN)
2. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS AS WELL AS AN ELDERLY HOUSING DEVELOPMENT FOR EXISTING TAX MAP 405 LOTS 29 & 30.
3. THE TOTAL AREA OF LOT 405-28 IS 59,456 ACRES OR 2,589,895 SQ.FT. WITH 342.72 FT. OF FRONTAGE ALONG HIGH STREET (ALSO KNOWN AS N.H. ROUTE 27). THE TOTAL AREA OF LOT 405-30 IS 98,705 ACRES OR 4,299,600 SQ.FT. WITH 771.49 FT. OF FRONTAGE ALONG HIGH STREET (ALSO KNOWN AS N.H. ROUTE 27).
4. THE LOTS ARE ZONED RESIDENTIAL (R). MINIMUM ZONING REQUIREMENTS FOR THE RESIDENTIAL ZONE IS 3 ACRES (130,680 SQ.FT.) WITH 1.5 ACRES (65,340 SQ.FT.) OF CONTIGUOUS DRY LAND FOR LOT SIZE WITH 200 FEET OF FRONTAGE. SETBACK DISTANCES ARE 50 FEET FOR THE FRONT AND 25 FEET FOR THE SIDE AND REAR. ELDERLY HOUSING DEVELOPMENTS REQUIRE A 50 FOOT VEGETATIVE BUFFER TO ABUTTING PROPERTIES AS SHOWN.
5. LOT NUMBERS REFER TO THE TOWN OF CANDIA ASSESSORS MAP #405 & #410.
6. PERIMETER BOUNDARY INFORMATION FOR LOTS 405-29 & 405-30 WERE DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE CONTROL TIE-IN SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JANUARY & FEBRUARY 2024.
7. HORIZONTAL ORIENTATION IS BASED ON NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM. VERTICAL DATUM IS NAVD83. BOTH ARE BASED ON THE REFERENCE PLAN AND FIELD GPS OBSERVATIONS THAT WERE UPLOADED TO AND CALCULATED BY THE NOAA ONLINE POSITIONING USER SERVICE (OPUS).
8. THE SURFACE FEATURES AND TOPOGRAPHY INFORMATION SHOWN WAS DEVELOPED FROM THE REFERENCE PLAN CITED HEREON TOGETHER WITH A FIELD TOPOGRAPHIC SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JANUARY & FEBRUARY 2024.
9. PORTIONS OF EXISTING TAX MAP LOTS 405-29 & 405-30 ARE LOCATED IN THE WETLANDS CONSERVATION DISTRICT. AS A RESULT OF A FIELD INVESTIGATION PERFORMED BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024, JURISDICTIONAL WETLANDS WERE FOUND AND DELINEATED ON SITE IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987". NO BUILDING ACTIVITY (NOT INCLUDING SEPTIC SYSTEMS) SHALL BE PERMITTED WITHIN 100 FEET OF A POND, FLOWING STREAM OR VERY POORLY DRAINED SOIL AND WITHIN 50 FEET OF ANY POORLY DRAINED SOILS. SEPTIC SYSTEMS MUST BE SETBACK 75 FEET FROM THE EDGE OF ANY WETLAND.
11. THE SUBJECT LOTS ARE NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), ROCKINGHAM COUNTY, TOWN OF CANDIA, NEW HAMPSHIRE, COMMUNITY NO. 330126, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBERS: 33011C0155E, DATED MAY 17, 2005.
12. TAX MAP LOTS 405-29 & 405-30 ARE NOT LOCATED WITHIN THE BOUNDARY OF A KNOWN AQUIFER.
13. LOTS ARE TO BE SERVICED BY ON-SITE SANITARY DISPOSAL SYSTEMS, COMMUNITY WATER SYSTEM AND UNDERGROUND UTILITIES (ELECTRIC, CATV, TELEPHONE, ETC.).
14. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN RECORDED EASEMENTS OR DEED RESTRICTIONS FOR TAX MAP LOT 405-29 & TAX MAP LOT 405-30.
15. THIS PROJECT REQUIRES STATE PERMITS FROM THE DES ALTERATION OF TERRAIN BUREAU, NH DEPARTMENT OF TRANSPORTATION, DES PUBLIC WATER SUPPLY FOR THE COMMUNITY WELL AND DES SUBDIVISION APPROVAL. ALL PERMITS ARE TO BE ON FILE AT THE TOWN.
16. THE PROJECT DENSITY MEETS THE LOCAL REQUIREMENTS. SEE CALCULATIONS BELOW.
17. THE PROPOSED LOT COVERAGE IS 11.9% WHICH IS WELL BELOW 50% OF THE TOTAL LOT AREA.
18. THE DWELLING UNITS IN THE PROJECT ARE PROPOSED TO BE TWO BEDROOM AND WILL EXCEED THE MINIMUM OF 800 SQUARE FEET OF LIVING SPACE.
19. ALL OF THE UNITS WILL HAVE A MINIMUM OF TWO PARKING SPACES, NOT INCLUDING GARAGE SPACE.
20. THE CLUB HOUSE WILL INCLUDE A MAIL ROOM FOR RESIDENTS.
21. AN AGREEMENT HAS BEEN MADE WITH THE FIRE DEPARTMENT AS NOTED ON THE COVERSHEET. AS A RESULT THERE WILL BE NO SPRINKLERS REQUIRED IN THE UNITS.
22. THIS PROJECT MEETS THE COMMON LAND/OPEN SPACE REQUIREMENTS. SEE CALCULATION BELOW.
23. ALL CLEARING AND GRUBBING SHALL BE DONE UNDER THE SUPERVISION OF THE PLANNING BOARD OR ITS DESIGNATED AGENT.
24. SNOW WILL BE STORED IN THE AREAS ADJACENT TO THE PROPOSED PAVEMENT AND SIDEWALKS.
25. UTILITIES SHALL BE PLACED UNDERGROUND WITHIN A REASONABLE TIME FRAME AND AT NO EXPENSE TO THE TOWN OF CANDIA.
26. EXISTING FEATURES SUCH AS TREES AND STONE WALLS SHALL BE PRESERVED AND PROTECTED TO THE MAXIMUM EXTENT POSSIBLE (SEE NOTE 23 ABOVE).
27. A KNOX BOX FOR THE CLUBHOUSE SHALL BE PROVIDED FOR EMERGENCY SERVICES PRIOR TO C.O..
28. IN ACCORDANCE WITH ENV-WQ 1503.21(C), THE PERMIT HOLDER AND A QUALIFIED ENGINEER SHALL CERTIFY THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, OR THAT DEVIATIONS WERE MADE WHICH DID NOT REQUIRE AN AMENDED OR NEW AOT PERMIT.
29. THE CANDIA ZONING BOARD OF ADJUSTMENT AT ITS APRIL 22, 2025, MEETING MADE THE FOLLOWING DECISION REGARDING A REQUEST FOR A VARIANCE AS PROVIDED IN ARTICLE V, SECTION 5.06: CONDITIONAL USE PERMIT STANDARDS WITH RELIEF FROM SECTIONS 5.06.14, 5.06.18, & 5.06.20. CASE #25-004.
§ 5.06.14 - SINGLE STORY MAXIMUM BUILDING HEIGHT
§ 5.06.18 - ROAD, ACCESS DRIVES, PARKING LOTS & WALKWAY DESIGN
§ 5.06.20 - LIGHTING DESIGN

SEE SITE LAYOUT PLAN - 1
SHEET SP-1 FOR LEGEND

SEE CONSOLIDATION &
SUBDIVISION PLANS
SHEETS SB-1 & SB-2 FOR
ABUTTER INFORMATION

PARKING SPACE CALCULATIONS

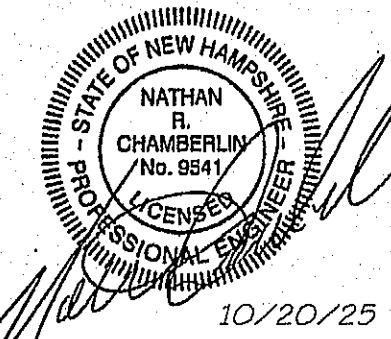
PARKING REQUIRED
COMMERCIAL: 1 SPACE/200 SF x 1963 SF = 10 SPACES
RESIDENTIAL: 2 SPACES/UNIT x 48 UNITS = 96 SPACES
TOTAL SPACES REQUIRED = 106 SPACES

PARKING PROPOSED = 4 SPACES*/UNIT + 16 = 208 SPACES

* EACH UNIT IS EQUIPPED WITH A TWO CAR GARAGE AND SPACE TO PARK TWO ADDITIONAL CARS IN THE DRIVEWAY.

NOTE:

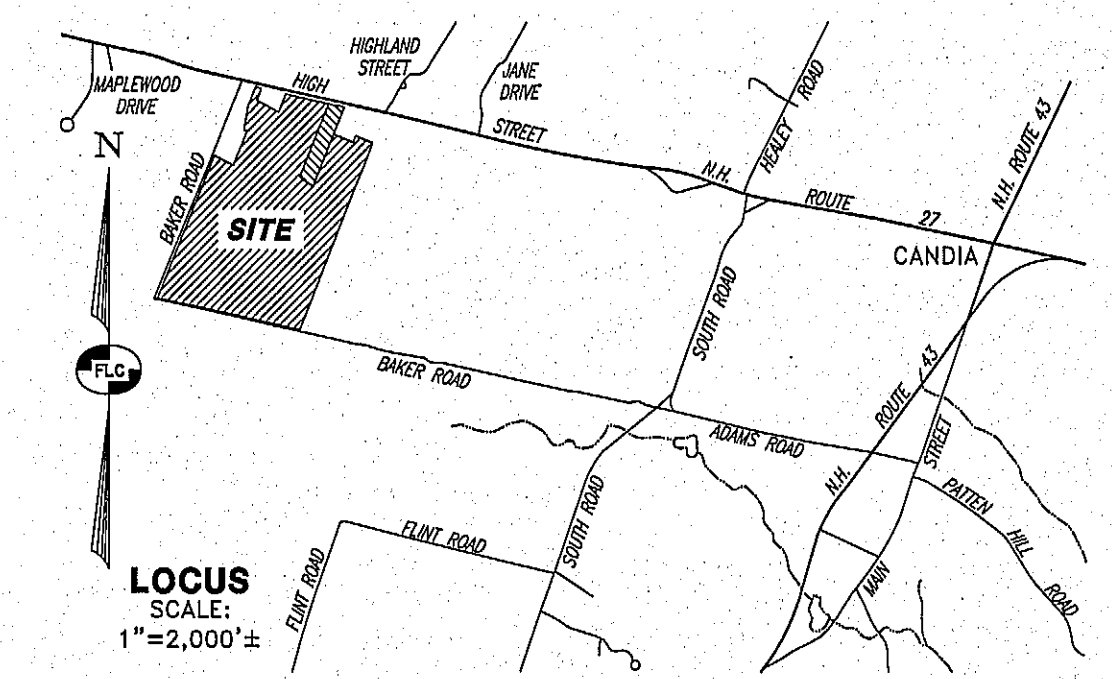
THE INTENT OF THE SITE PLANS IS TO SHOW THE INTENDED LOCATION OF THE PROPOSED HOUSING UNITS FOR OLDER PERSONS. THE DEVELOPER/BUILDER RESERVES THE RIGHT TO MAKE LIMITED CHANGES TO THE PROPOSED BUILDINGS IN REGARDS TO SIZE, TYPE, LOCATION, GARAGE CONFIGURATION, ELEVATION, DRIVEWAY AND UTILITY LOCATIONS AS LONG AS THE OVERALL INTEGRITY OF THIS PLAN IS MAINTAINED.



CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW

APPROVED BY THE CANDIA PLANNING BOARD

CHAIRMAN: _____ DATE: _____
MEMBER: _____ DATE: _____
MEMBER: _____ DATE: _____
MEMBER: _____ DATE: _____
MEMBER: _____ DATE: _____

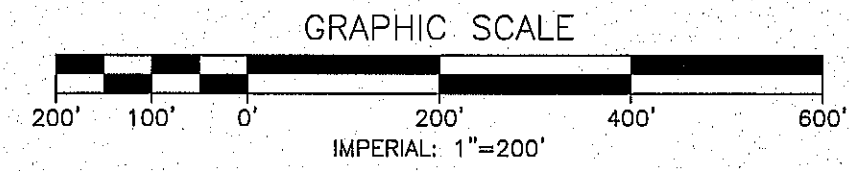


OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE AREA REQUIRED 6,908,088 S.F. x 40% =	2,763,235 S.F. 63.43 AC
TOTAL OPEN SPACE PROVIDED:	XXX S.F. XXX AC
CONTIGUOUS OPEN SPACE AREA REQUIRED 6,908,088 S.F. x 60% =	4,144,852 S.F. 95.15 AC
CONTIGUOUS OPEN SPACE AREA PROVIDED:	XXX S.F. XXX AC
OPEN SPACE AREA NOT EXCEEDING 20% SLOPE AND NOT WETLAND REQUIRED XXX x 80% =	XXX S.F. XXX AC
OPEN SPACE AREA NOT EXCEEDING 20% SLOPE AND NOT WETLAND PROVIDED:	XXX S.F. XXX AC

DWELLING UNIT DENSITY CALCULATIONS

ALLOWED BY ZONING:
MAXIMUM DENSITY FOR DETACHED SINGLE-FAMILY AND DUPLEX DWELLINGS:
ONE MILE OR LESS 1 DWELLING UNIT PER 1 BUILDABLE ACRES
GREATER THAN ONE MILE BUT LESS THAN 2 1 DWELLING UNIT PER 2 BUILDABLE ACRES
GREATER THAN 2 MILES 1 DWELLING UNIT PER 3 BUILDABLE ACRES
THE PROPERTY CONSISTS OF 21,621 BUILDABLE ACRES BETWEEN ONE AND TWO MILES FROM THE "FOUR CORNERS" AND 115,999 BUILDABLE ACRES FURTHER THAN TWO MILES AWAY FROM THE "FOUR CORNERS".
[21,621/2 = 10,806 UNITS, 115,999/3 = 38,666 UNITS] = 49.47 OR 49 UNITS PERMITTED
PROPOSED DWELLING UNITS: 48



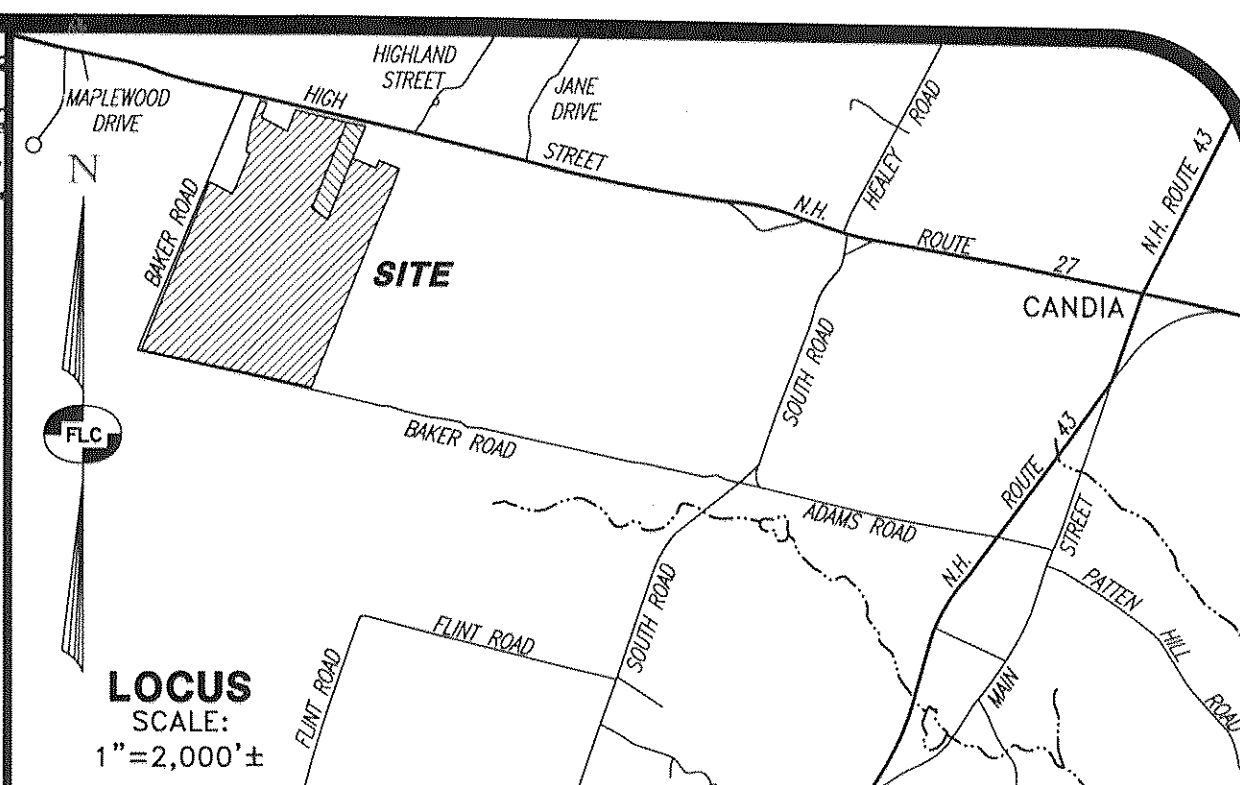
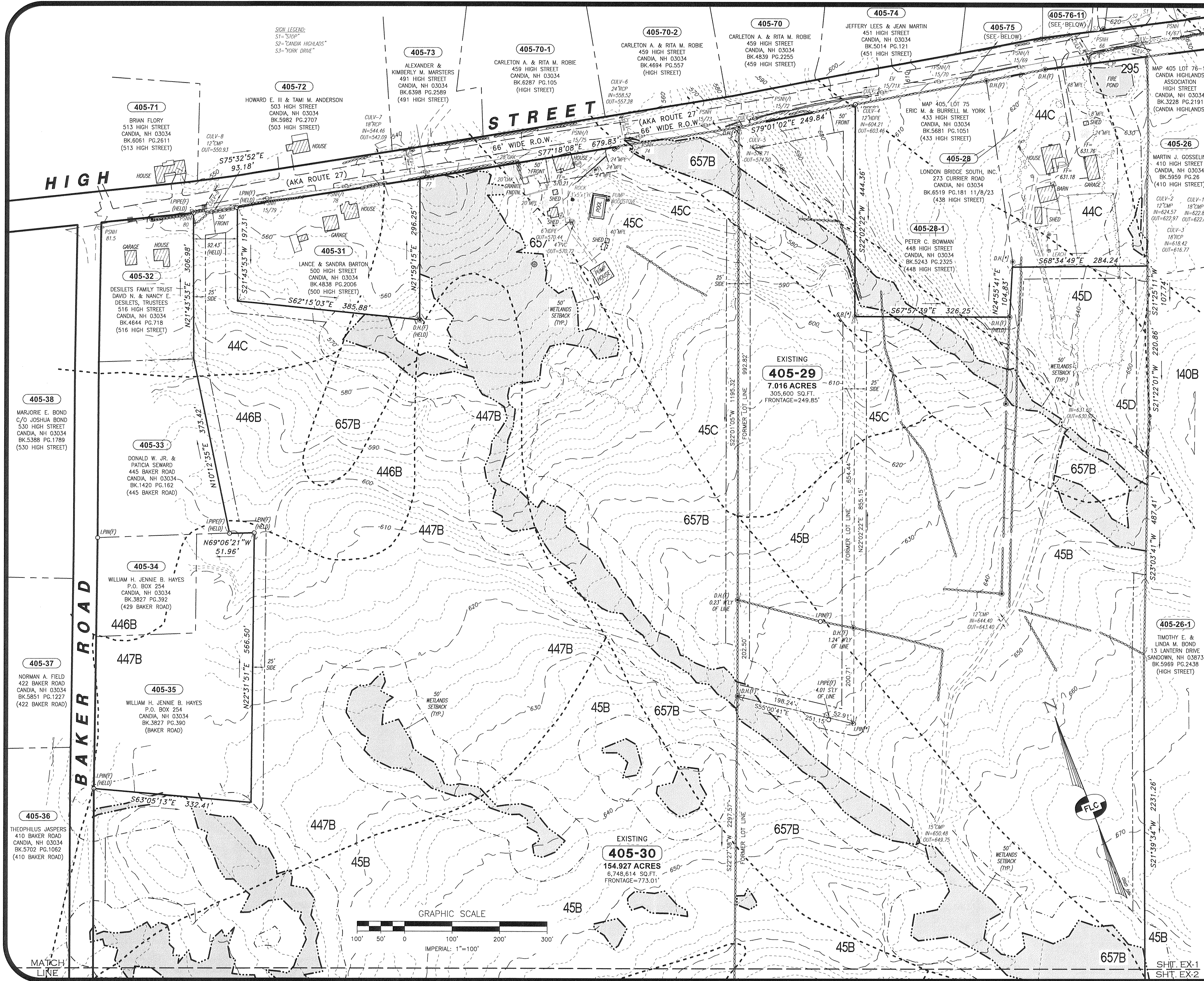
REV.	DATE	DESCRIPTION	C/O	DR	CK

OVERALL SITE PLAN
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034
LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

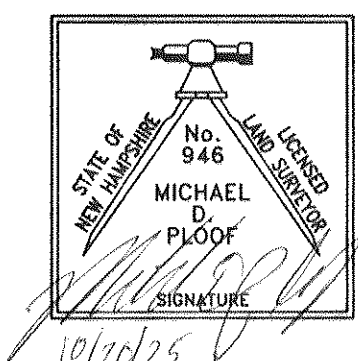
SCALE: 1" = 200' OCTOBER 20, 2025

Surveying + Engineering + Land Planning + Permitting + Septic Designs

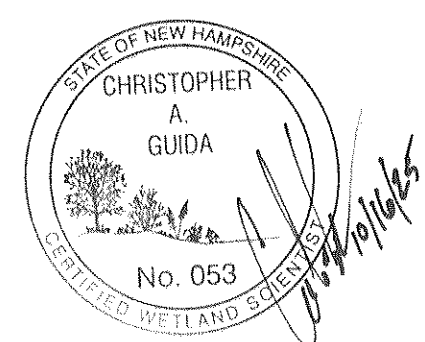
FIELDSTONE
LAND CONSULTANTS PLLC
206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



CERTIFICATION:
I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLANS CITED HEREON AND THAT IT IS BASED ON A SURVEY THAT IS ACCURATE AND MATHEMATICALLY CORRECT.



CERTIFICATION:
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S., IN JANUARY & FEBRUARY 2024.



SEE SHEET SB-3
FOR NOTES,
REFERENCE PLANS
AND LEGENDS

REV.	DATE	DESCRIPTION	C/O	DR	CK
------	------	-------------	-----	----	----

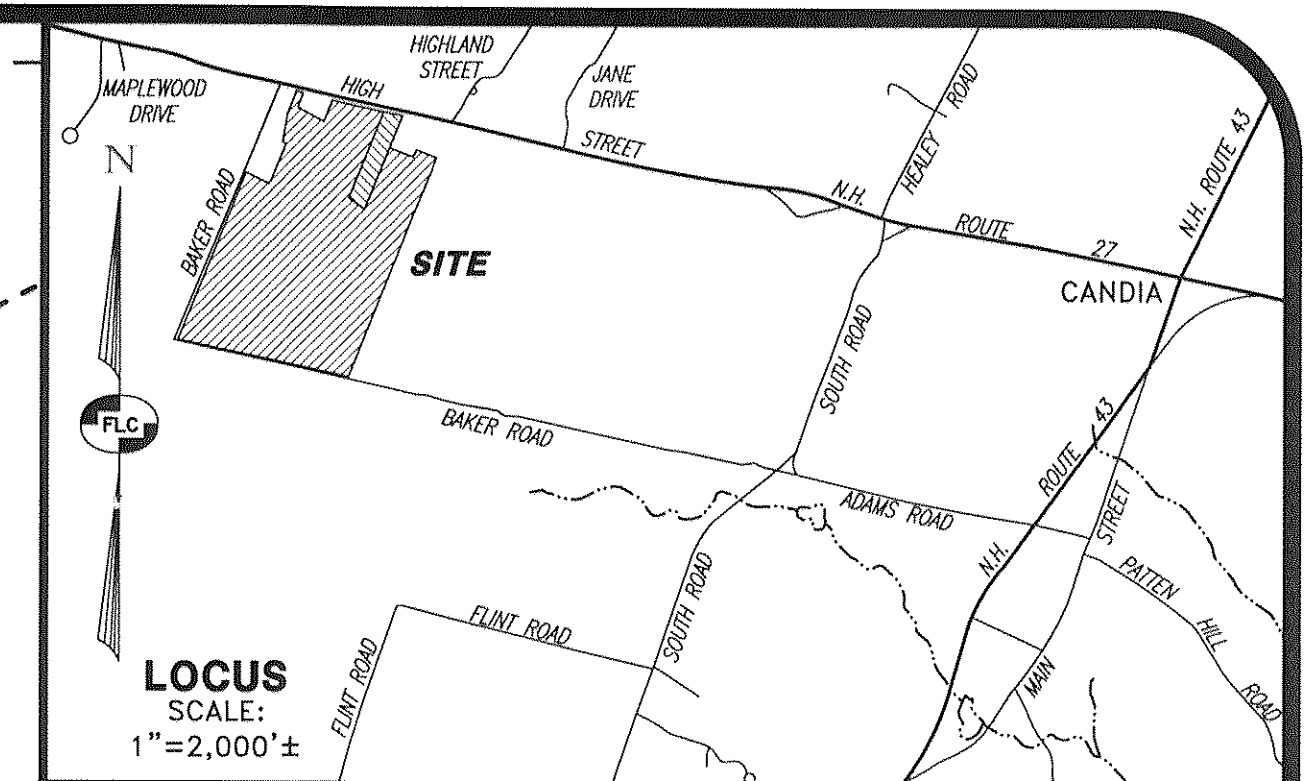
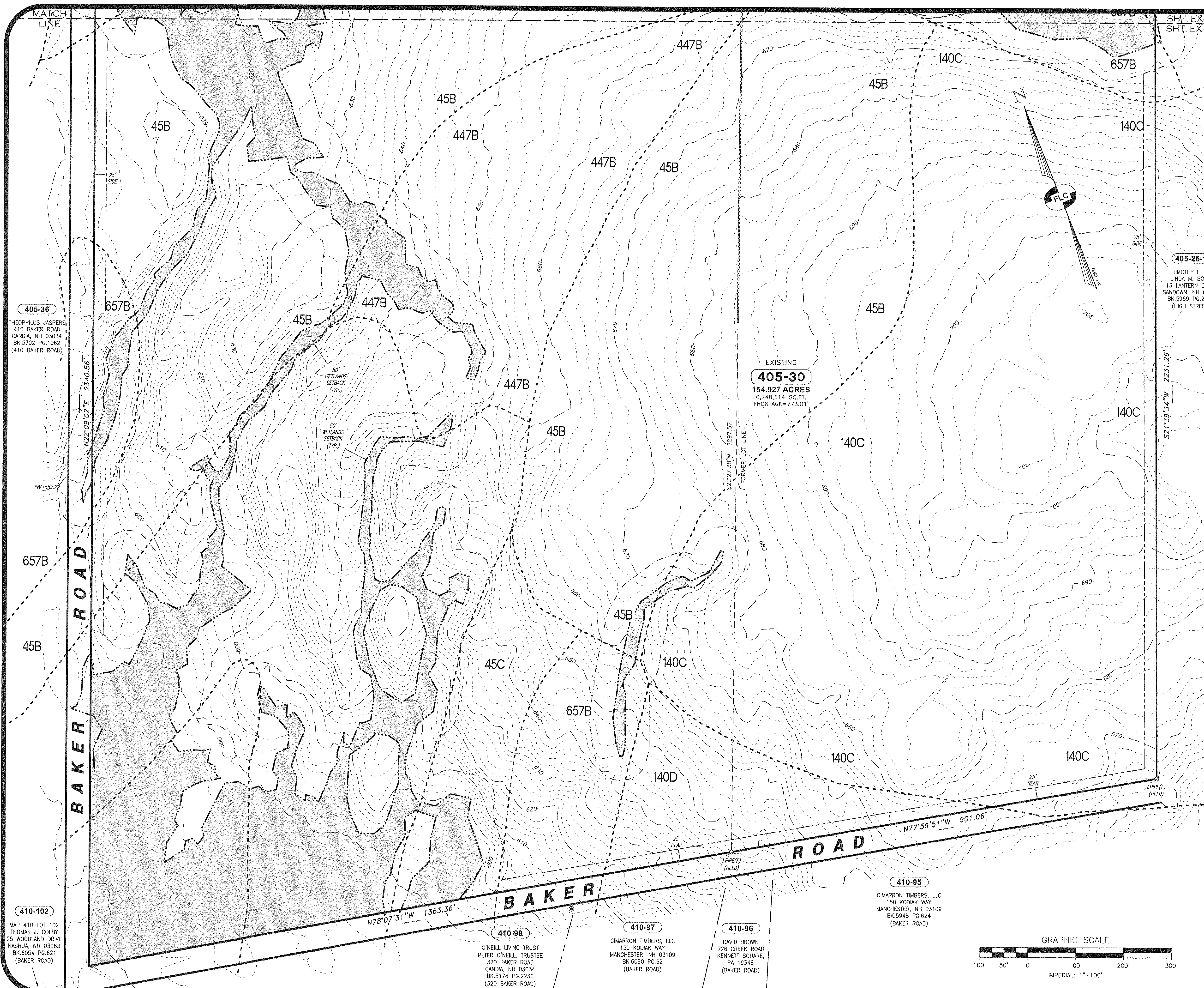
EXISTING CONDITIONS PLAN - NORTH VIEW
TAX MAP 405 LOTS 29 & 30
(476 & 466 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
LONDON BRIDGE, INC., 273 CURRIER ROAD, CANDIA, NH 03034
LAND OF (405-30):
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034
AND LAND OF (405-29):
DIAMOND COVE HOLDINGS, LLC
466 HIGH STREET, CANDIA, NH 03034

SCALE: 1"=100' OCTOBER 16, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

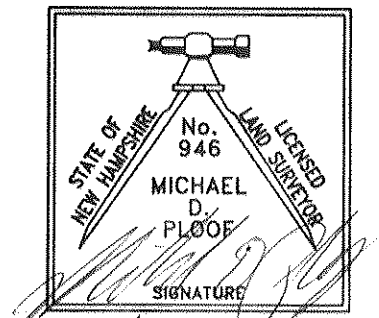
FIELDSTONE
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 2538SB00.DWG	PROJ. NO. 3528.00	SHEET NO. EX-1
--------------------	-------------------	----------------



CERTIFICATION:

"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLANS CITED HEREON AND THAT IT IS BASED ON A SURVEY THAT IS ACCURATE AND MATHEMATICALLY CORRECT."



CERTIFICATION:

WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024.

SEE SHEET SB-3
FOR NOTES,
REFERENCE PLANS
AND LEGENDS

REV.	DATE	DESCRIPTION	C/O	DR	CK

EXISTING CONDITIONS PLAN - SOUTH VIEW

TAX MAP 405 LOTS 30 & 29

(476 & 466 HIGH STREET)

CANDIA, NEW HAMPSHIRE

PREPARED FOR:

JAMES LOGAN

LONDON BRIDGE, INC., 273 CURRIER ROAD, CANDIA, NH 03034

LAND OF (405-30),

LONDON BRIDGE SOUTH, INC.

273 CURRIER ROAD, CANDIA, NH 03034

AND LAND OF (405-29),

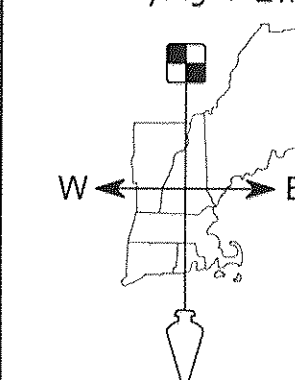
DIAMOND COVE HOLDINGS, LLC

466 HIGH STREET, CANDIA, NH 03034

SCALE: 1"=100'

OCTOBER 16, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



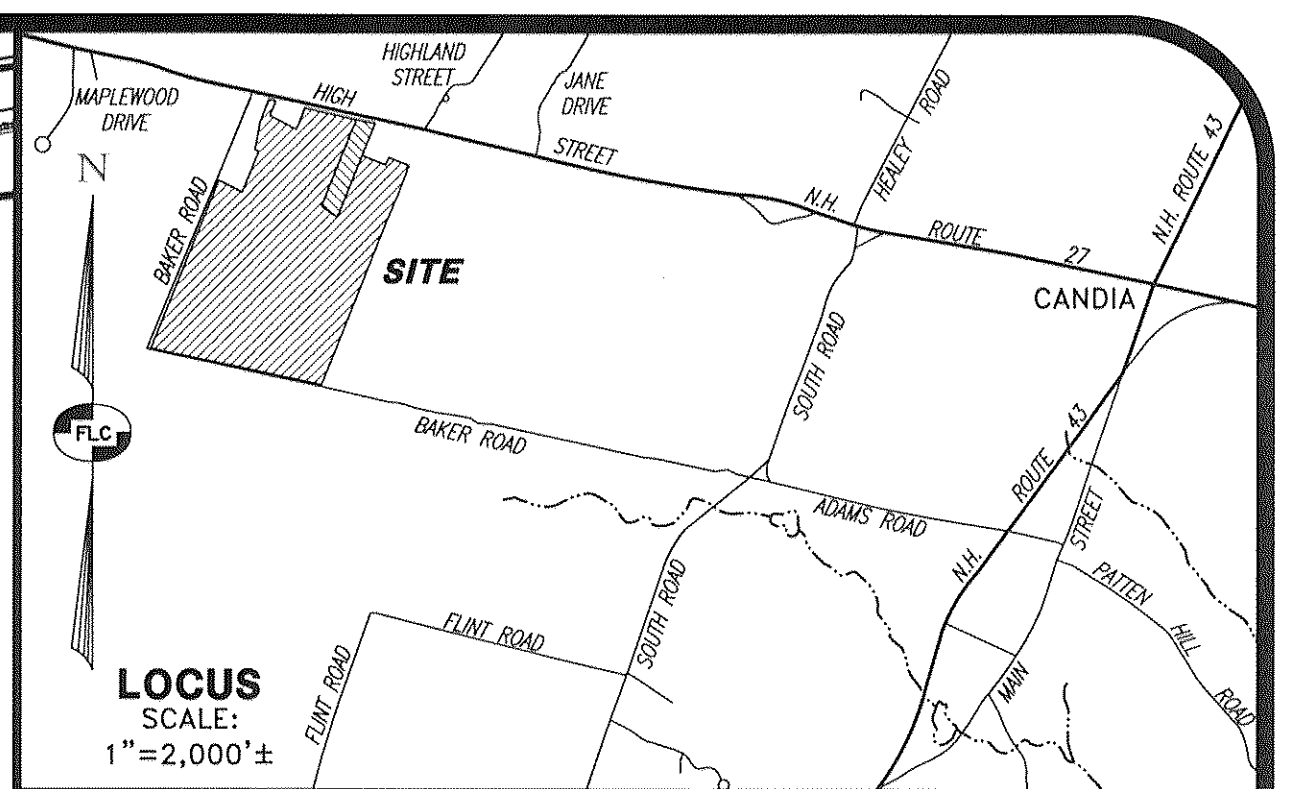
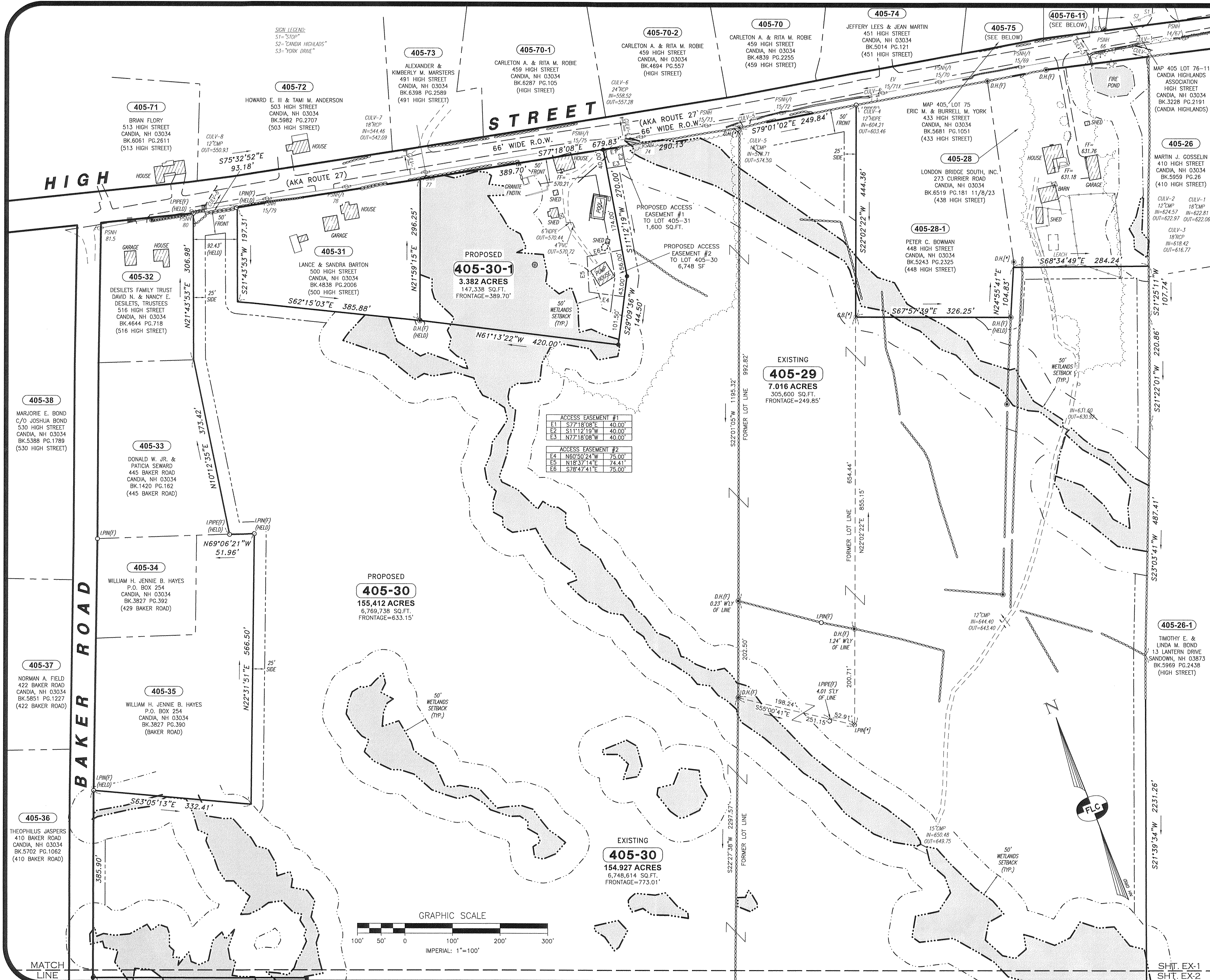
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 2538SB00.DWG

PROJ. NO.	3528.00
-----------	---------

SHEET NO. EX-2

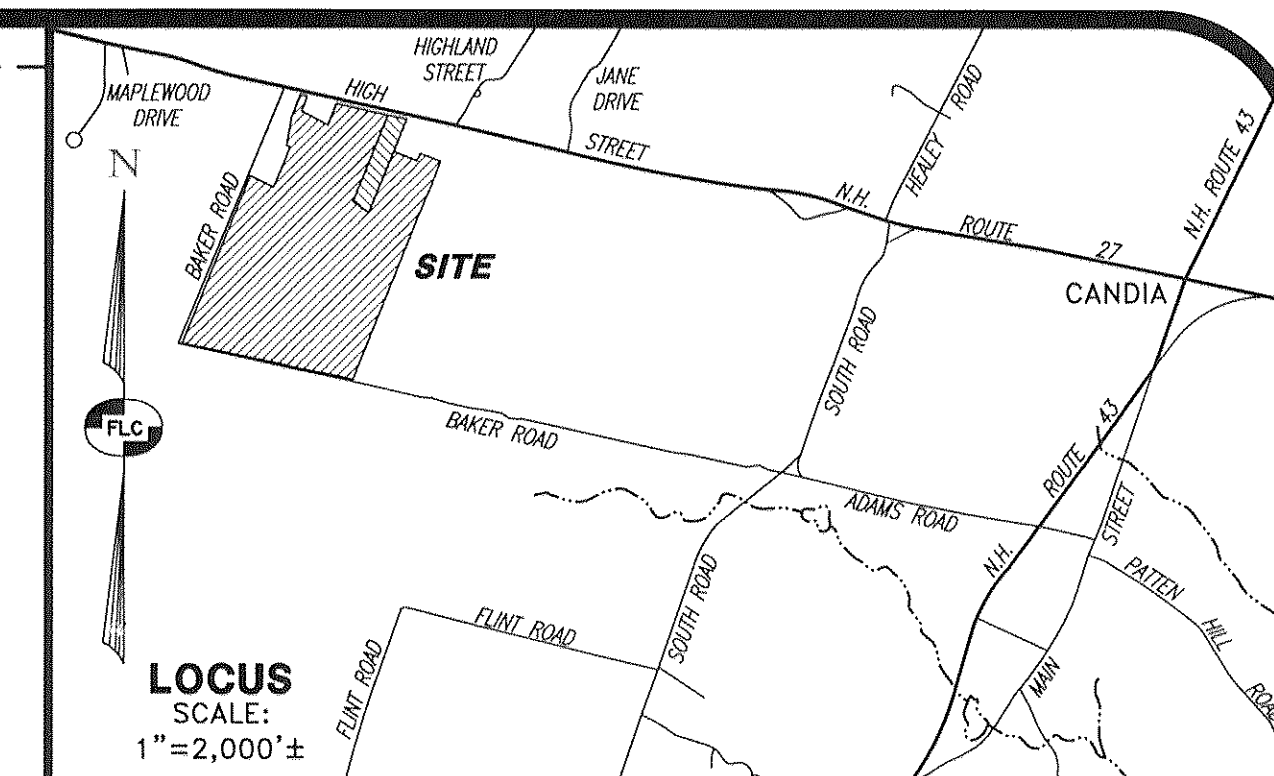
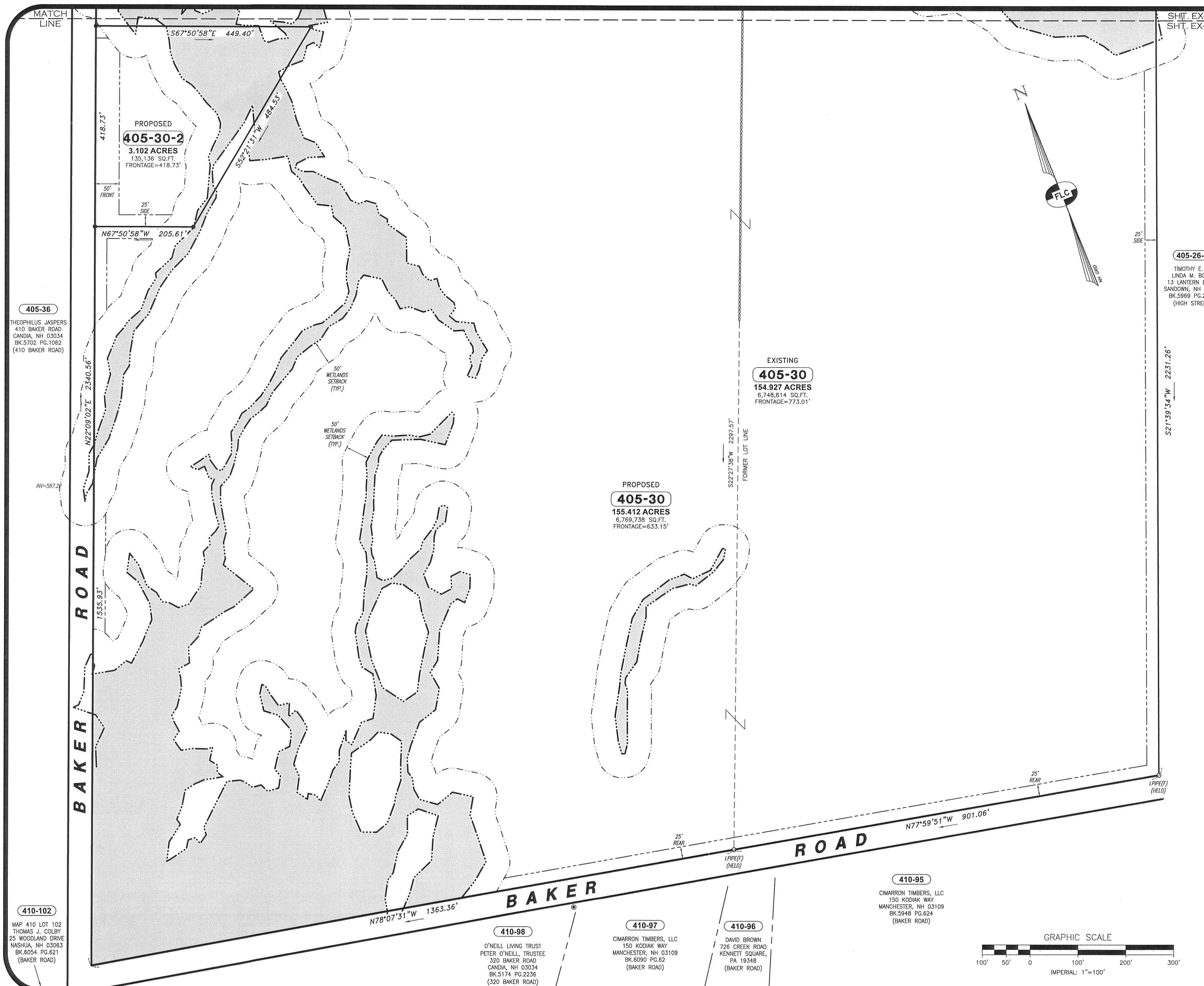


CERTIFICATION:
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024.

REV.	DATE	DESCRIPTION	C/O	DR	CK

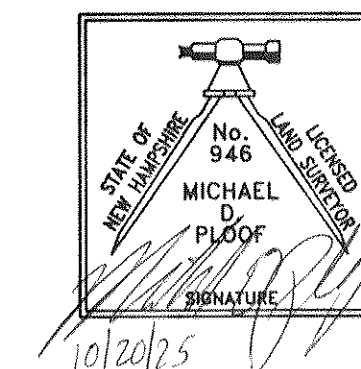
CONSOLIDATION & SUBDIVISION PLAN
NORTH VIEW
TAX MAP 405 LOTS 29 & 30
(476 & 466 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
LONDON BRIDGE, INC., 273 CURRIER ROAD, CANDIA, NH 03034
LAND OF (405-30):
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034
AND LAND OF (405-29):
DIAMOND COVE HOLDINGS, LLC
466 HIGH STREET, CANDIA, NH 03034

SCALE: 1"=100' OCTOBER 16, 2025
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs
FIELDSTONE
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com
FILE: 25385B00.DWG PROJ. NO. 3528.00 SHEET NO. SB-1



CERTIFICATION:

"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLANS CITED HEREON AND THAT IT IS BASED ON A SURVEY THAT IS ACCURATE AND MATHEMATICALLY CORRECT."



CERTIFICATION:

WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024.



SEE SHEET SB-3
FOR NOTES,
REFERENCE PLANS
AND LEGENDS

REV.	DATE	DESCRIPTION	C/O	DR	CK

CONSOLIDATION & SUBDIVISION PLAN

SOUTH VIEW

TAX MAP 405 LOTS 29 & 30

(476 & 466 HIGH STREET)

CANDIA, NEW HAMPSHIRE

PREPARED FOR:

JAMES LOGAN

LONDON BRIDGE, INC., 273 CURRIER ROAD, CANDIA, NH 03034

LAND OF (405-30),

LONDON BRIDGE SOUTH, INC.

273 CURRIER ROAD, CANDIA, NH 03034

AND LAND OF (405-29),

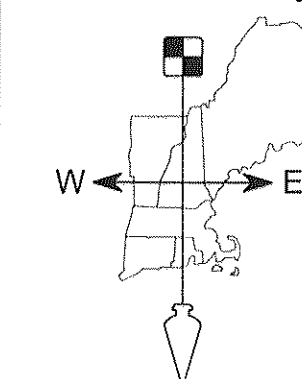
DIAMOND COVE HOLDINGS, LLC

466 HIGH STREET, CANDIA, NH 03034

SCALE: 1"=100'

OCTOBER 16, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 2538SB00.DWG

PROJ. NO.	3528.00
-----------	---------

SHEET NO. SB-2

LEGEND:

	RIGHT-OF-WAY LINE		IRON PIN FOUND
	BOUNDARY LINE		IRON PIN PER REF. PLAN
	FORMER TRACT LINE		IRON PIPE FOUND
	TIE COURSE LINE		IRON PIPE PER REF. PLAN
	ABUTTING LOT LINE		DRILL HOLE FOUND
	BUILDING SETBACK LINE		DRILL HOLE PER REF. PLAN
	EDGE OF PAVED ROAD		UTILITY POLE, GUY & LIGHT
	EDGE OF GRAVEL ROAD		CATCH BASIN (SQUARE)
	STONE WALL		SEWER CLEAN-OUT
	EDGE OF TREE LINE		SEPTIC VENT
	EDGE OF WETLANDS		WELL
	WETLANDS BUFFER LINE		SINGLE SIGN POST
	10' CONTOUR INTERVAL		CULVERT OR DRAIN LINE
	2' CONTOUR INTERVAL		OVERHEAD UTILITY LINE
	WIRE FENCE		UNDERGROUND UTILITY LINE
	GUARDRAIL		TAX MAP & LOT NUMBER

NRCS SOILS LEGEND:

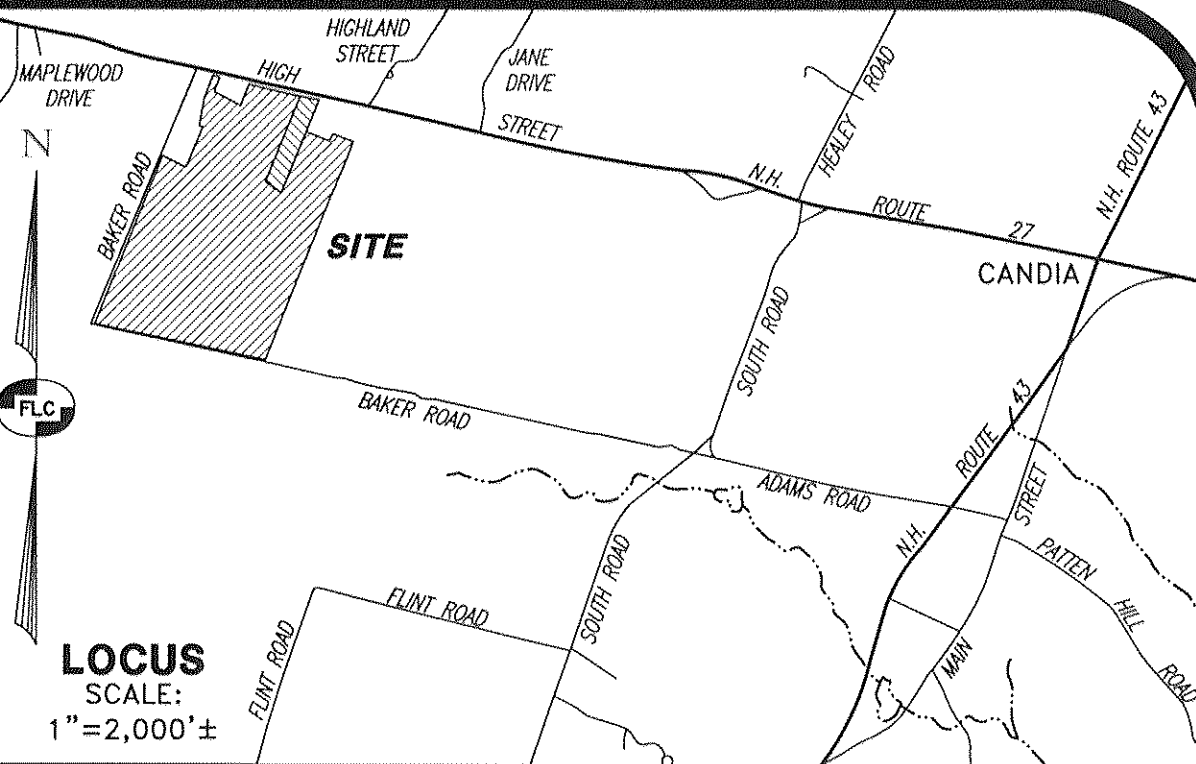
SOURCE: USDA NRCS WEB SOIL SURVEY		
	SOIL BOUNDARY	140C CHATFIELD-HOLLIS-CANTON COMPLEX, 8 TO 15% SLOPES, ROCKY
44C	MONTAUK FINE SANDY LOAM 8 TO 15% SLOPES	140D CHATFIELD-HOLLIS-CANTON COMPLEX, 15 TO 35% SLOPES, ROCKY
45B	MONTAUK FINE SANDY LOAM 0 TO 8% SLOPES, VERY STONY	295 FREETOWN MUCK PEAT 0 TO 2% SLOPES
45C	MONTAUK FINE SANDY LOAM 8 TO 15% SLOPES, VERY STONY	446B SCITUATE-NEWFIELD COMPLEX 3 TO 8% SLOPES
45D	MONTAUK FINE SANDY LOAM 15 TO 25% SLOPES, VERY STONY	447B SCITUATE-NEWFIELD COMPLEX 3 TO 8% SLOPES, ROCKY
140B	CHATFIELD-HOLLIS-CANTON COMPLEX, 0 TO 8% SLOPES, ROCKY	657B RIDGEBURY FINE SAND LOAM 3 TO 8% SLOPES, VERY STONY

REFERENCE PLANS:

- "A PLAN OF LAND - IN THE TOWN OF CANDIA, N.H. COUNTY OF ROCKINGHAM - BELONGING TO DONALD & JUDITH SEWARD OF CANDIA, N.H.", SCALE 1"=200', DATED APRIL 1978, BY RICHARD M. ROBIDOUX. RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN #D-7809.
- "A PLAN OF LAND - BELONGING TO CHARLES & BARBARA BOWMAN IN CANDIA, N.H. ROCKINGHAM COUNTY, INTENDING TO SHOW A BOUNDARY LINE EXCHANGE WITH LOT #113-42, FORMERLY OWNED BY R & S CHIPMAN", SCALE 1"=300', DATED FEBRUARY 1981, BY RICHARD M. ROBIDOUX. RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN #D-10119.
- "SUBDIVISION PLAN - ASSESSOR'S MAP 405 LOT 28 - LAND OF CHARLES & BARBARA BOWMAN - 438 HIGH STREET, CANDIA, NEW HAMPSHIRE", 2 SHEETS, SCALE 1"=150', DATED JANUARY 10, 2011 AND REVISED MARCH 1, 2011, BY JAMES E. FRANKLIN. RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN #D-36766.
- "A PLAN OF LAND - BELONGING TO CHARLES AND BARBARA BOWMAN, LOCATED IN CANDIA, N.H., ROCKINGHAM COUNTY, INTENDING TO SHOW A BOUNDARY LINE EXCHANGE WITH LOT 113-42 - THIS IS A REVISION OF A PREVIOUS PLOT PLAN DRAWN IN FEB. 1981 BY R. ROBIDOUX", SCALE 1"=60', DATED JANUARY 6, 1985, BY RICHARD M. ROBIDOUX, RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN #D-13256.
- LOT LINE ADJUSTMENT PLAN - NORTH & SOUTH VIEW - TAX MAP 405 LOTS 28 & 30 - (438 & 476 HIGH STREET) - CANDIA, NEW HAMPSHIRE - PREPARED FOR: - JAMES LOGAN - LAND OF: - LONDON BRIDGE SOUTH, INC., 2 SHEETS, SCALE 1"=100', DATED JUNE 21, 2024, BY FIELDSTONE LAND CONSULTANTS, PLLC.

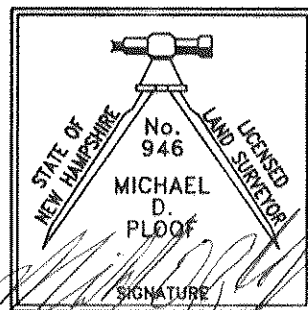
NOTES:

- THE OWNER OF RECORD FOR TAX MAP 405 LOTS 30 IS LONDON BRIDGE SOUTH, INC., 273 CURRIER ROAD, CANDIA, NH 03034. THE DEED REFERENCES FOR LOT 405-30 IS BK.6519 PG.181 DATED NOVEMBER 8, 2023 AND BK.6476 PG.2642 DATED APRIL 12, 2023. THE OWNERS OF RECORD FOR TAX MAP 405 LOT 29 IS DIAMOND COVE HOLDINGS, LLC, 466 HIGH STREET, CANDIA, NH 03034. THE DEED REFERENCE FOR LOT 405-29 IS BK.6581 PG.1614 DATED OCTOBER 23, 2024. ALL DEEDS RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE DEVELOPER IS JAMES LOGAN.
- THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE EXISTING TAX MAP LOTS 405-29 & 405-30 AND TO SUBDIVIDE THE COMBINED ENTITY INTO THREE LOTS, SEPARATING THE EXISTING HOUSE, POOL, PUMP HOUSE AND OTHER IMPROVEMENTS (PROPOSED LOT 405-30-1) ON EXISTING TAX MAP LOT 405-30 FROM THE REMAINING 155+ BACK ACRES AND CREATING ANOTHER BUILDING LOT ALONG BAKER ROAD (PROPOSED LOT 405-30-2).
- THE TOTAL AREA OF EXISTING TAX MAP LOT 406-30 IS 154.927 ACRES OR 6,748,614 SQ.FT. WITH 771.49 FT. OF FRONTAGE ALONG HIGH STREET (ALSO KNOWN AS N.H. ROUTE 27). THE TOTAL AREA OF LOT 406-29 IS 7.016 ACRES OR 305,600 SQ.FT. WITH 248.84 FT. OF FRONTAGE ALONG HIGH STREET.
- PROPOSED LOT 405-30-1 SHALL HAVE 3.392 ACRES OR 147,338 SQ.FT. WITH 389.70 FT. OF FRONTAGE ALONG HIGH STREET. PROPOSED LOT 405-30-2 SHALL HAVE 3.102 ACRES OR 135,136 SQ.FT. WITH 418.73 FT. OF FRONTAGE ALONG BAKER ROAD. PROPOSED REMAINDER LOT 405-30 (INCLUDING FORMER LOT 405-29) SHALL HAVE 155.412 ACRES OR 6,769,738 SQ.FT. WITH A COMBINED FRONTAGE OF 633.15 FEET ALONG HIGH STREET (93.18' + 290.13' + 249.84'). ALL PROPOSED LOTS HAVE AT LEAST 1.5 ACRES OF CONTIGUOUS NON-POORLY DRAINED SOILS.
- THE LOTS ARE ZONED RESIDENTIAL (R). MINIMUM ZONING REQUIREMENTS FOR THE RESIDENTIAL ZONE IS 3 ACRES (130,680 SQ.FT.) WITH 1.5 ACRES (65,340 SQ.FT.) OF CONTIGUOUS DRY LAND FOR LOT SIZE WITH 200 FEET OF FRONTAGE. SETBACK DISTANCES ARE 50 FEET FOR THE FRONT AND 25 FEET FOR THE SIDE AND REAR. ELDERLY HOUSING DEVELOPMENTS REQUIRE A 50 FOOT VEGETATIVE BUFFER TO ABUTTING PROPERTIES AS SHOWN.
- LOT NUMBERS REFER TO THE TOWN OF CANDIA ASSESSORS MAP #405 & #410.
- PERIMETER BOUNDARY INFORMATION FOR LOTS 405-30 & 405-29 WERE DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE CONTROL TIE-IN SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JANUARY & FEBRUARY 2024.
- HORIZONTAL ORIENTATION IS BASED ON NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM. VERTICAL DATUM IS NAVD88. BOTH ARE BASED ON THE REFERENCE PLAN AND FIELD GPS OBSERVATIONS THAT WERE UPLOADED TO AND CALCULATED BY THE NOAA ONLINE POSITIONING USER SERVICE (OPUS).
- THE SURFACE FEATURES AND TOPOGRAPHY INFORMATION SHOWN WAS DEVELOPED FROM THE REFERENCE PLAN CITED HEREON TOGETHER WITH A FIELD TOPOGRAPHIC SURVEY PERFORMED BY THIS OFFICE DURING THE MONTHS OF JANUARY & FEBRUARY 2024.
- PORTIONS OF EXISTING TAX MAP LOTS 405-30 & 405-29 ARE LOCATED IN THE WETLANDS CONSERVATION DISTRICT. AS A RESULT OF A FIELD INVESTIGATION PERFORMED BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024, JURISDICTIONAL WETLANDS WERE FOUND AND DELINEATED ON SITE IN ACCORDANCE WITH THE "CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987". NO BUILDING ACTIVITY (NOT INCLUDING SEPTIC SYSTEMS) SHALL BE PERMITTED WITHIN 100 FEET OF A POND, FLOWING STREAM OR VERY POORLY DRAINED SOIL AND WITHIN 50 FEET OF ANY POORLY DRAINED SOILS. SEPTIC SYSTEMS MUST BE SETBACK 75 FEET FROM THE EDGE OF ANY WETLAND.
- THE SUBJECT LOTS ARE NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), ROCKINGHAM COUNTY, TOWN OF CANDIA, NEW HAMPSHIRE, COMMUNITY NO. 330126, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBERS: 33011C0155E, DATED MAY 17, 2005.
- TAX MAP LOTS 405-30 & 405-29 ARE NOT LOCATED WITHIN THE BOUNDARY OF A KNOWN AQUIFER.
- LOTS ARE TO BE SERVICED BY ON-SITE SANITARY DISPOSAL SYSTEMS, ON-SITE INDIVIDUAL WELLS AND UNDERGROUND UTILITIES (ELECTRIC, CATV, TELEPHONE, ETC.).
- THERE IS A PROPOSED 1,600 SQ.FT. ACCESS EASEMENT, ACCESS EASEMENT #1, OVER LOT 405-30 FOR THE BENEFIT OF NEW LOT 405-30-1. ALSO, THERE IS A PROPOSED 6,748 SQ.FT. UTILITY AND HORSE PADDOCK ACCESS EASEMENT, ACCESS EASEMENT #2, OVER NEW LOT 405-30-1 FOR THE BENEFIT OF LOT 405-30.
- TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO KNOWN RECORDED EASEMENTS OR DEED RESTRICTIONS FOR TAX MAP LOT 405-30 & TAX MAP LOT 405-29.
- CURRENT USE STATUS FOR THE LOTS: EXISTING LOT 405-30 IS IN CURRENT USE. EXISTING LOT 405-29 IS NOT IN CURRENT USE.
- THIS PROJECT REQUIRES STATE PERMITS FROM THE DES ALTERATION OF TERRAIN BUREAU, NH DEPARTMENT OF TRANSPORTATION, DES PUBLIC WATER SUPPLY FOR THE COMMUNITY WELL AND DES SUBDIVISION APPROVAL. ALL PERMITS ARE TO BE ON FILE AT THE TOWN.
- THE SUBDIVISION REGULATIONS OF THE TOWN OF CANDIA NOTICE OF ACTION WITHIN 90 DAYS ARE A PART OF THIS PLAT, AND APPROVAL OF THE PLAT REQUIRES THE COMPLETION OF ALL THE REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, ACCEPTING ONLY ANY RELAXATION OF REQUIREMENTS GRANTED IN WRITING BY THE BOARD.



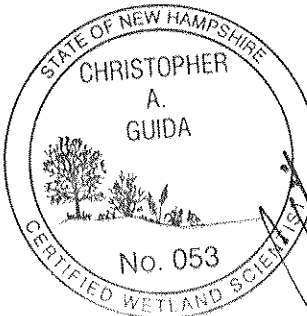
CERTIFICATION:

"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLANS CITED HEREON AND THAT IT IS BASED ON A SURVEY THAT IS ACCURATE AND MATHEMATICALLY CORRECT."



CERTIFICATION:

WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024.



SEE SHEET SB-1 & SB-2
FOR
SUBDIVISION
PLAN

SEE SHEET EX-1 & EX-2
FOR
EXISTING CONDITIONS
PLAN

REV.	DATE	DESCRIPTION	C/O	DR	CK

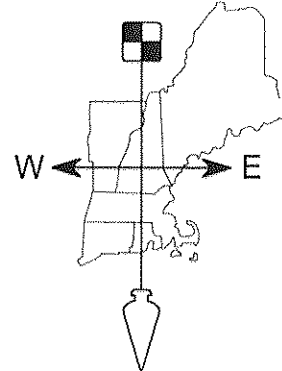
CONSOLIDATION & SUBDIVISION PLAN
TAX MAP 405 LOTS 29 & 30
(476 & 466 HIGH STREET)
CANDIA, NEW HAMPSHIRE

PREPARED FOR:
JAMES LOGAN
LONDON BRIDGE, INC., 273 CURRIER ROAD, CANDIA, NH 03034
LAND OF (405-30),
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

AND LAND OF (405-29),
DIAMOND COVE HOLDINGS, LLC
466 HIGH STREET, CANDIA, NH 03034

SCALE: 1"=100' OCTOBER 16, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



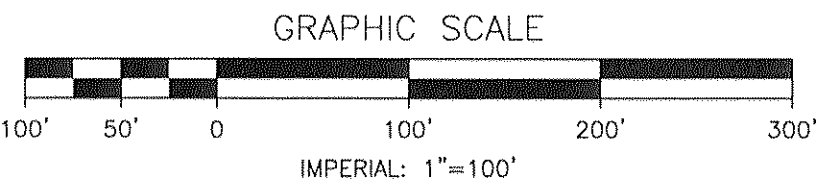
FIELDSTONE
LAND CONSULTANTS, PLLC

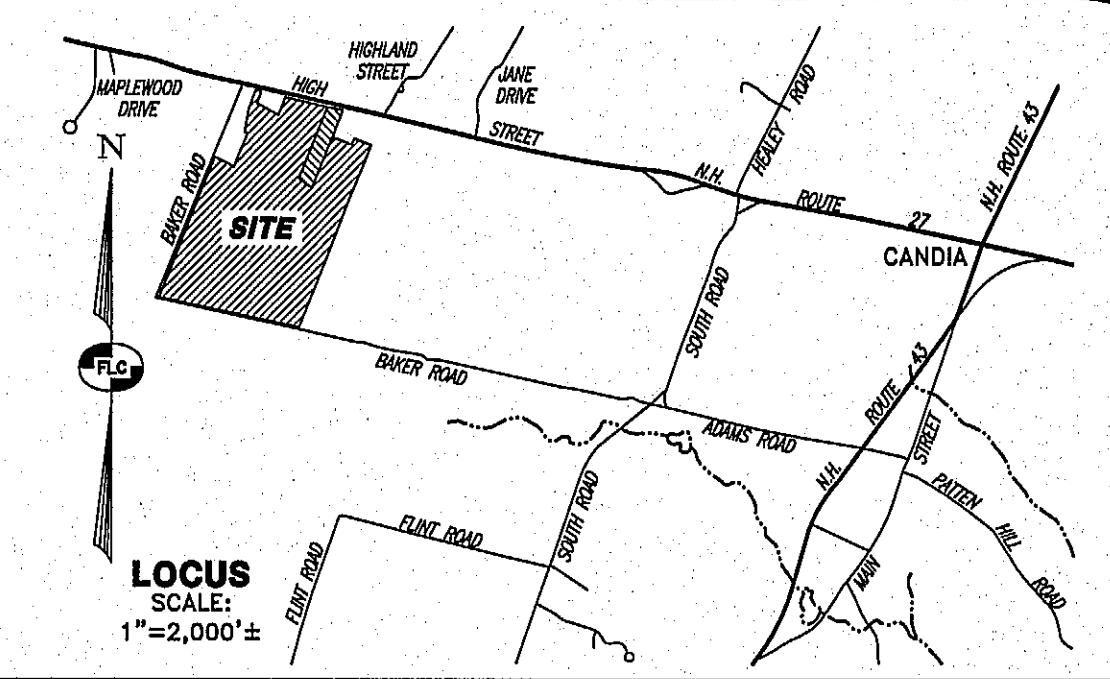
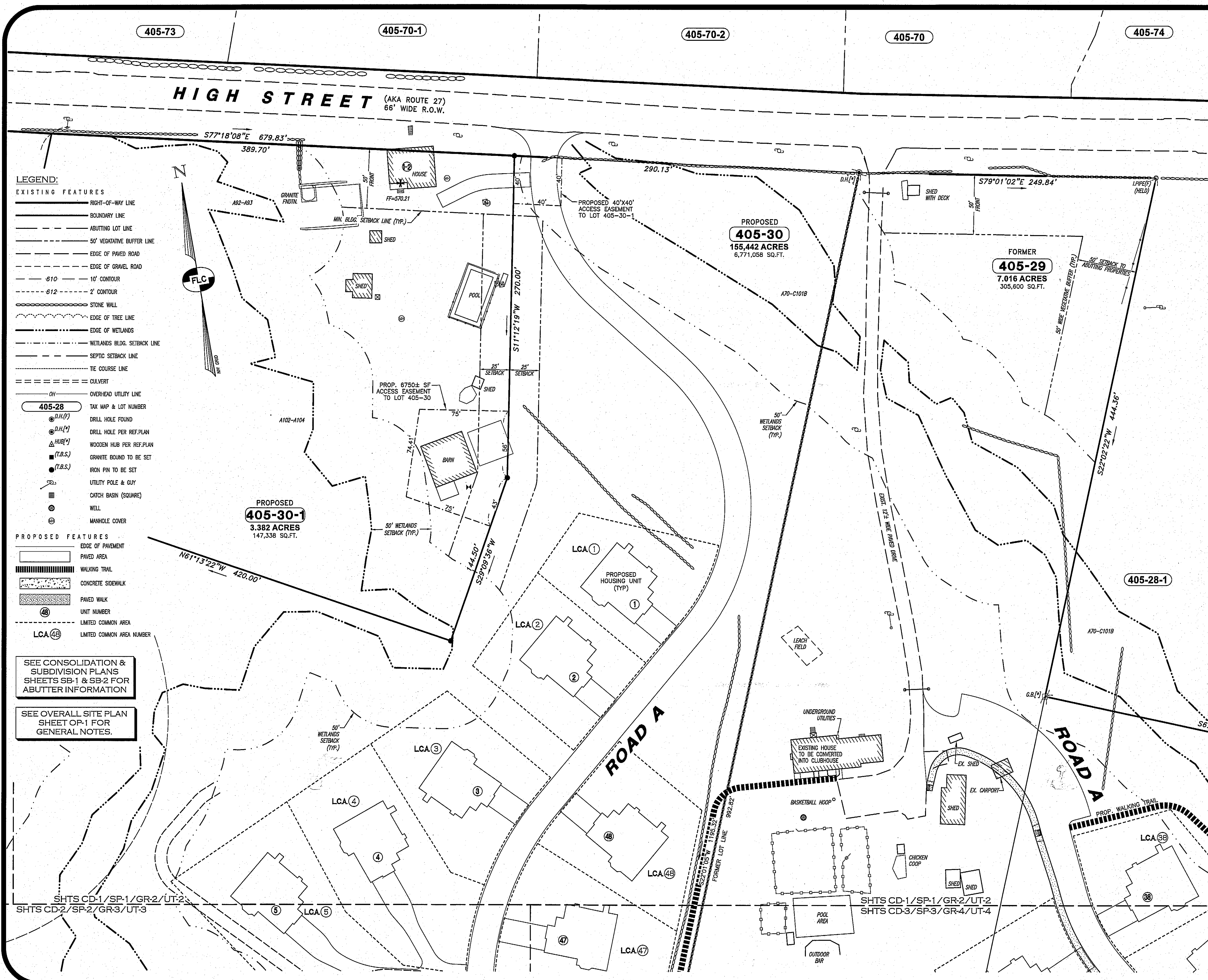
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 2538SB00.DWG

PROJ. NO. 3528.00

SHEET NO. SB-3

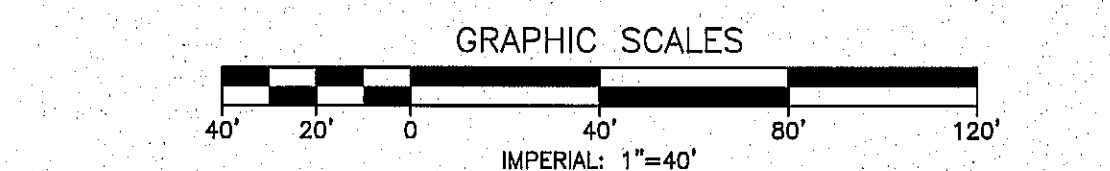




CERTIFICATION:
"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLANS CITED HEREON AND THAT IT IS BASED ON A SURVEY THAT IS ACCURATE AND MATHEMATICALLY CORRECT."

CERTIFICATION:
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-B7-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024.

APPROVED BY THE CANDIA PLANNING BOARD			
CHAIRMAN:		DATE:	
MEMBER:		DATE:	
MEMBER:		DATE:	
MEMBER:		DATE:	
MEMBER:		DATE:	

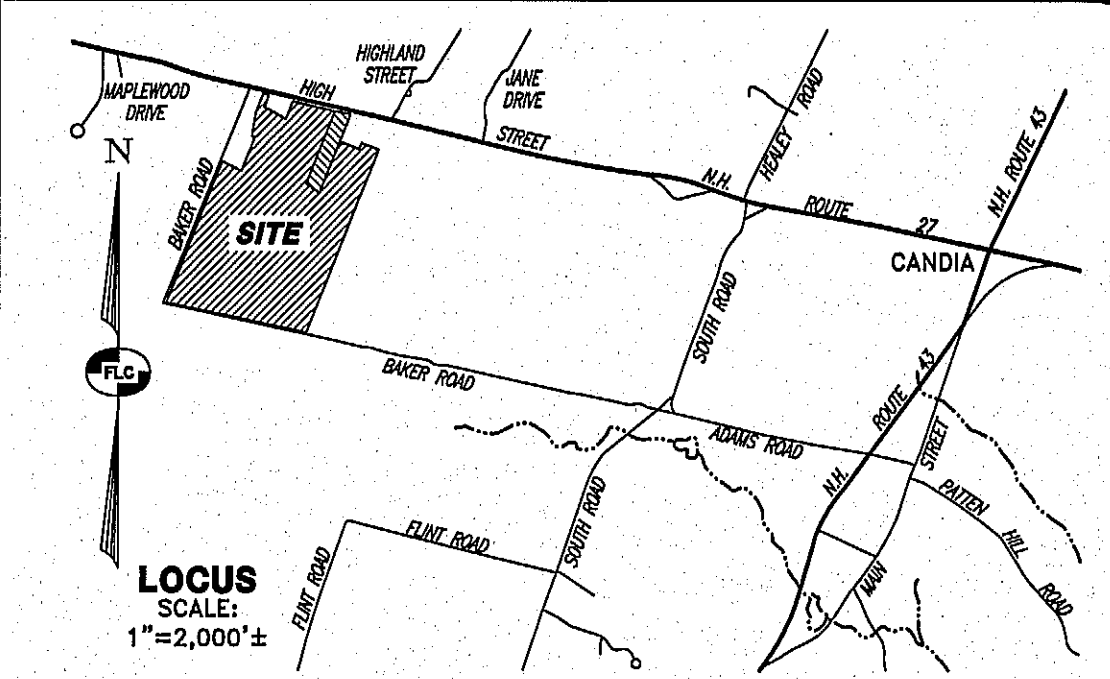
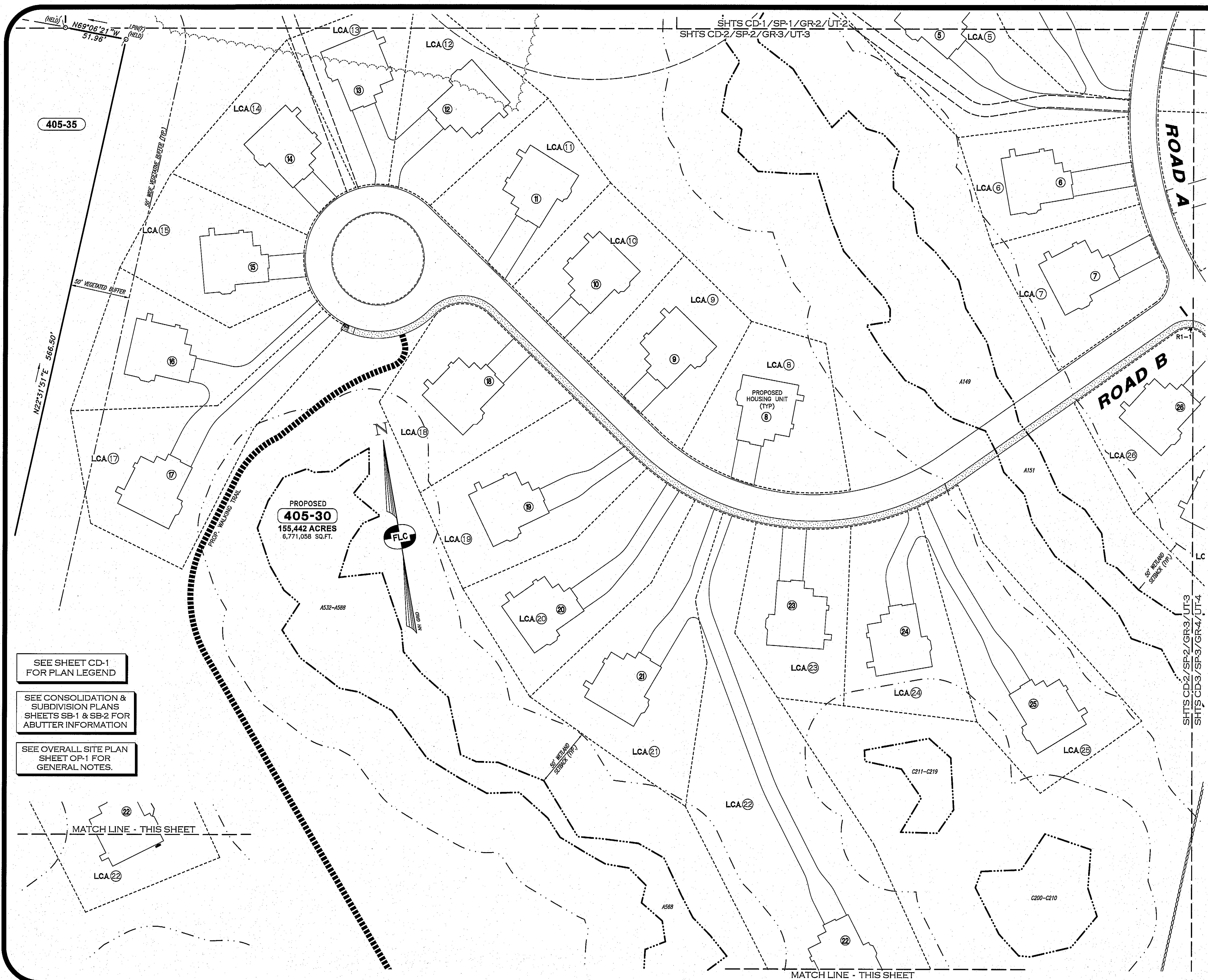


REV.	DATE	DESCRIPTION	C/O	DR	CK

CONDIMINIUM PLAN - 1
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034
LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034
SCALE: 1" = 40'
OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

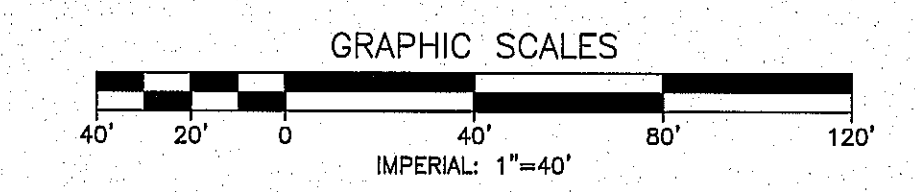


CERTIFICATION:
"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLANS CITED HEREON AND THAT IT IS BASED ON A SURVEY THAT IS ACCURATE AND MATHEMATICALLY CORRECT."

CERTIFICATION:
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024.

APPROVED BY THE CANDIA PLANNING BOARD

CHAIRMAN:	DATE:
MEMBER:	DATE:
MEMBER:	DATE:
MEMBER:	DATE:
MEMBER:	DATE:



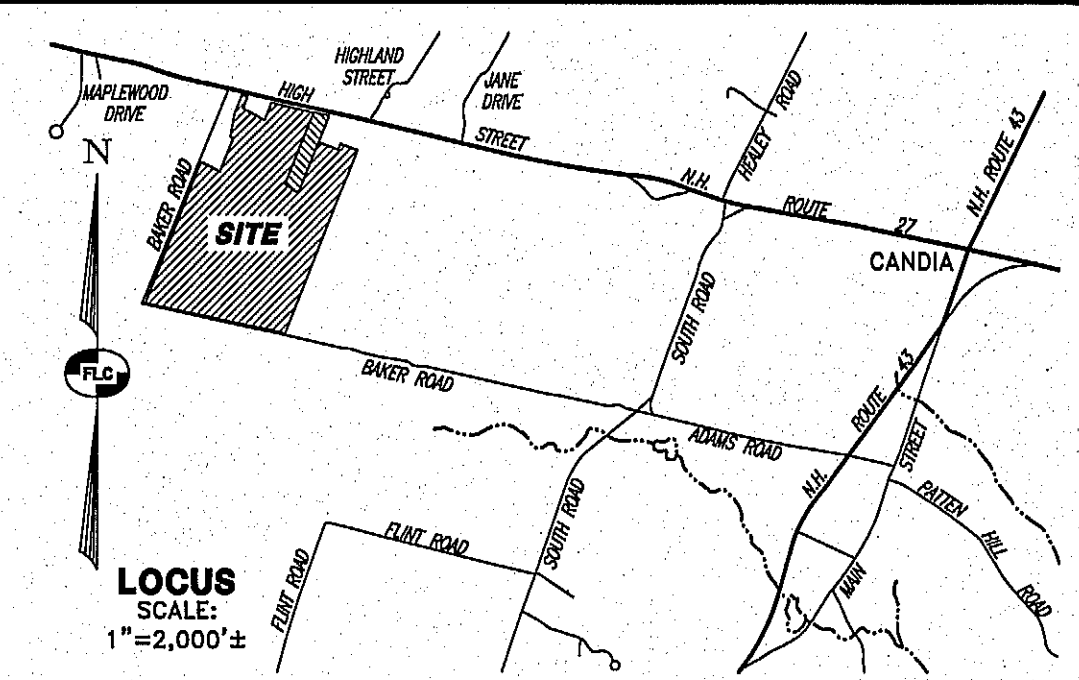
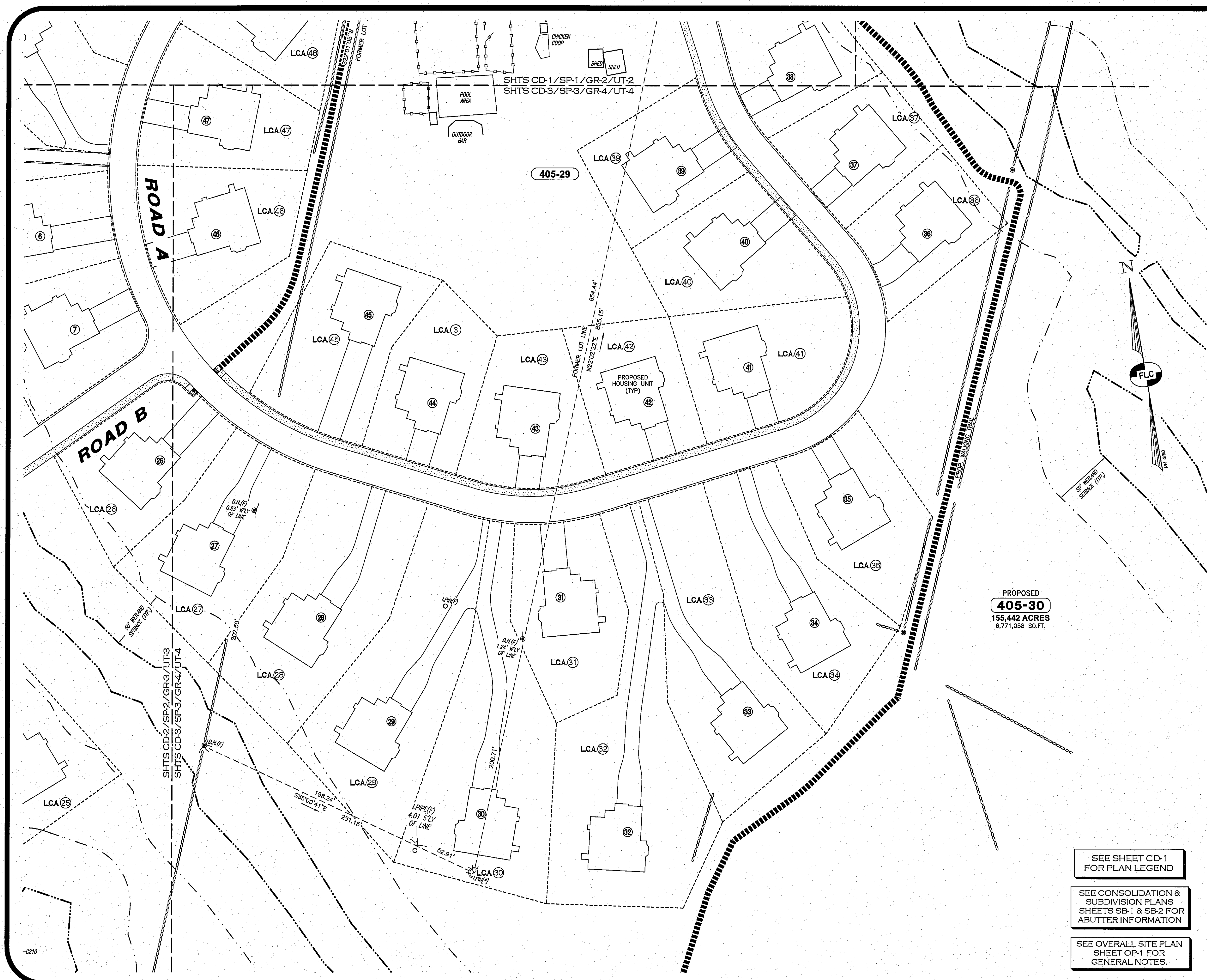
REV.	DATE	DESCRIPTION	C/O	DR	CK

CONDIMINIUM PLAN - 2
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034
LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034
SCALE: 1" = 40' OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 3528SP00.dwg PROJ. NO. 3528.00 SHEET: CD-2

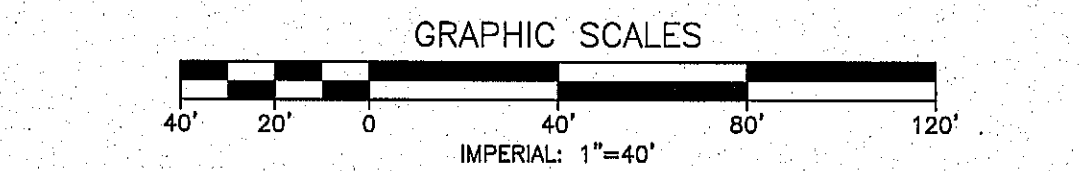


CERTIFICATION:
"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLANS CITED HEREON AND THAT IT IS BASED ON A SURVEY THAT IS ACCURATE AND MATHEMATICALLY CORRECT."

CERTIFICATION:
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH-CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024.

APPROVED BY THE CANDIA PLANNING BOARD

CHAIRMAN:	DATE:
MEMBER:	DATE:
MEMBER:	DATE:
MEMBER:	DATE:
MEMBER:	DATE:



REV.	DATE	DESCRIPTION	C/O	DR	CK

CONDIMINIUM PLAN - 3
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034
LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

SCALE: 1" = 40' OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

SEE SHEET CD-1
FOR PLAN LEGEND

SEE CONSOLIDATION &
SUBDIVISION PLANS
SHEETS SB-1 & SB-2 FOR
ABUTTER INFORMATION

SEE OVERALL SITE PLAN
SHEET OP-1 FOR
GENERAL NOTES.

EXISTING FEATURES

- | | |
|--|------------------------------|
| | RIGHT-OF-WAY LINE |
| | BOUNDARY LINE |
| | ABUTTING LOT LINE |
| | 50' VEGETATIVE BUFFER LINE |
| | EDGE OF PAVED ROAD |
| | EDGE OF GRAVEL ROAD |
| | 10' CONTOUR |
| | 2' CONTOUR |
| | STONE WALL |
| | EDGE OF TREE LINE |
| | EDGE OF WETLANDS |
| | WETLANDS BLDGS. SETBACK LINE |
| | SEPTIC SETBACK LINE |
| | THE COURSE LINE |
| | CULVERT |
| | OVERHEAD UTILITY LINE |
| | TAX MAP & LOT NUMBER |
| | DRILL HOLE FOUND |
| | DRILL HOLE PER REF.PLAN |
| | WOODEN HUB PER REF.PLAN |
| | GRANITE BOUND TO BE SET |
| | IRON PIN TO BE SET |
| | UTILITY POLE & GUY |
| | CATCH BASIN (SQUARE) |
| | WELL |
| | MANHOLE COVER |
| | TEST PIT LOCATION |

EDGE OF PAVEMENT

- | | |
|-----------------------------|---|
| | LOT LINE |
| | CAPE COD BERM |
| | PAVED AREA |
| | WALKING TRAIL |
| | GUARDRAIL |
| | STONE CHECK DAM |
| | SILT SACK |
| | SWALE |
| | TEMPORARY SILT FENCE |
| | CONCRETE SIDEWALK |
| | PAVED WALK |
| | EROSION CONTROL STONE |
| | FOUNDATION KNEE WALL OPTION
AND FINISH STOP GRADE |
| | LIMITS OF CLEARING |
| 610 | 10 FT. CONTOUR |
| 612 | 2 FT. CONTOUR |
| | EARTHEN BERM |
| | SPOT ELEVATION |
| D14 CB107 --- HW1
FES1 | STORM WATER DRAINAGE |
| DMH1 | STORM DRAIN MANHOLE |
| R1-1 | STOP SIGN & STREET ID SIGN |
| | BUILDING LIGHT |
| | UNDERGROUND UTILITY BOXES |
| | UNIT NUMBER |
| | LIMITED COMMON AREA |
| LCA. | LIMITED COMMON AREA NUMBER |
| T.B.R. | TO BE REMOVED |
| | WATER GATE VALVE |
| | WATER SERVICE SHUT-OFF |
| | GRAVITY SEPTIC LINE |
| SFM | EFFLUENT FORCE MAIN |
| W | WATER LINE |
| UGE | UNDERGROUND UTILITY LINES
AND UTILITY BOXES LOCATION |
| | PRECAST THURST BLOCK |
| | UTILITY PULL BOX |
| | SEPTIC TANK |
| | TRAFFIC FLOW
(NOT PAINTED ARROWS) |

$\frac{SHTS\ CD-1/SP-1/GR-2/UT-2}{SHTS\ CD-2/SP-2/GR-3/UT-3}$

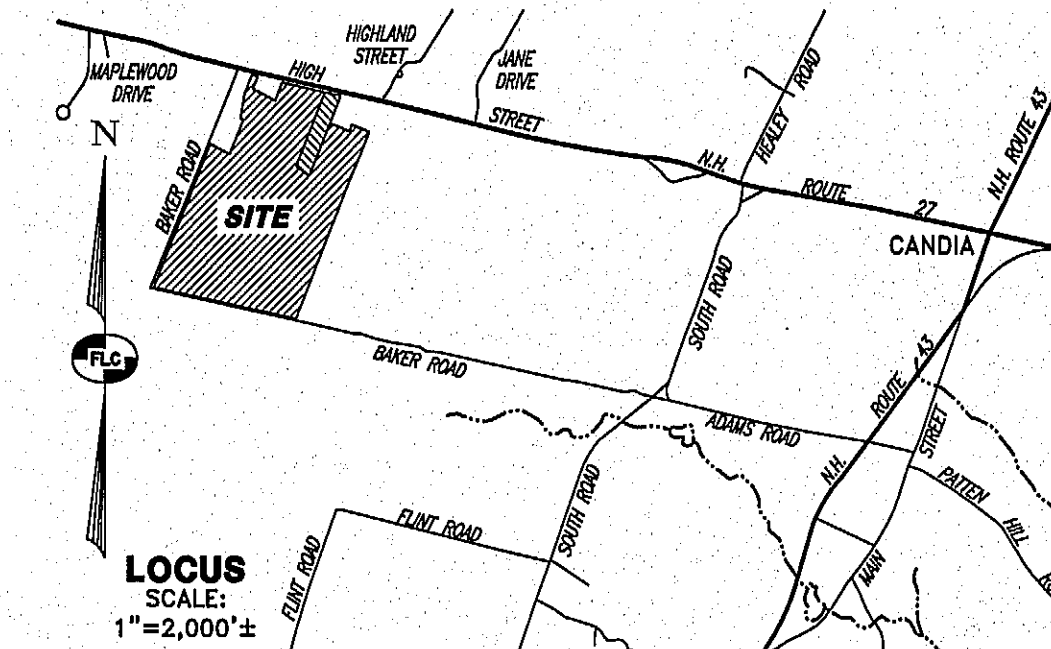
SEE OVERALL SITE PLAN
SHEET OP-1 FOR
GENERAL NOTES.

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION

DIGSAFE.COM

OR DIAL 8 1 1

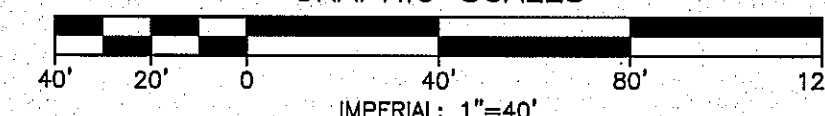
CALL 811 - KNOW WHAT'S BELOW



1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF CANDIA AND THE NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2016.

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF CANDIA AND THE NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2016.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND AND PLANTS, TREES, AND DESIGN ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (DIAL 811).
4. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
5. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, ROAD SURVEY AND ANY OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
8. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430.5-3 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS), NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.
9. PRIOR TO THE COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH PLANS AND COORDINATE UTILITIES EXISTING ELEMENTS OF THE SITE INCLUDING BASE LINE CONTROLS FOR BUILDING AREAS, PARKING LOT CORNERS AND MAJOR RADIUS POINTS AND CATCH BASINS AND MANHOLE CENTERLINE POINTS.
10. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT BUILDING DIMENSIONS AND DETAILS.
11. ALL DIMENSIONS ARE FROM THE FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
12. ALL PAVEMENT MARKINGS SHALL BE 4-INCH WHITE PAINT UNLESS NOTED OTHERWISE. 4-INCH DOUBLE YELLOW PAINT SHALL BE USED FOR THE ROADWAY CENTERLINES AND 4-INCH SINGLE YELLOW FOR RESERVED PARKING SPACES AS REQUIRED.

GRAPHIC SCALES



-	-	-	-	-	-
REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE LAYOUT PLAN - 1
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE

PREPARED FOR:

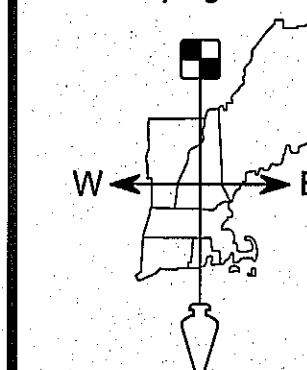
LAMES LOGAN

JAMES LOGAN
273 CUBBIER ROAD, GANDIA, NH 03034

LAND OF,
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

SCALE: 1" = 40' OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



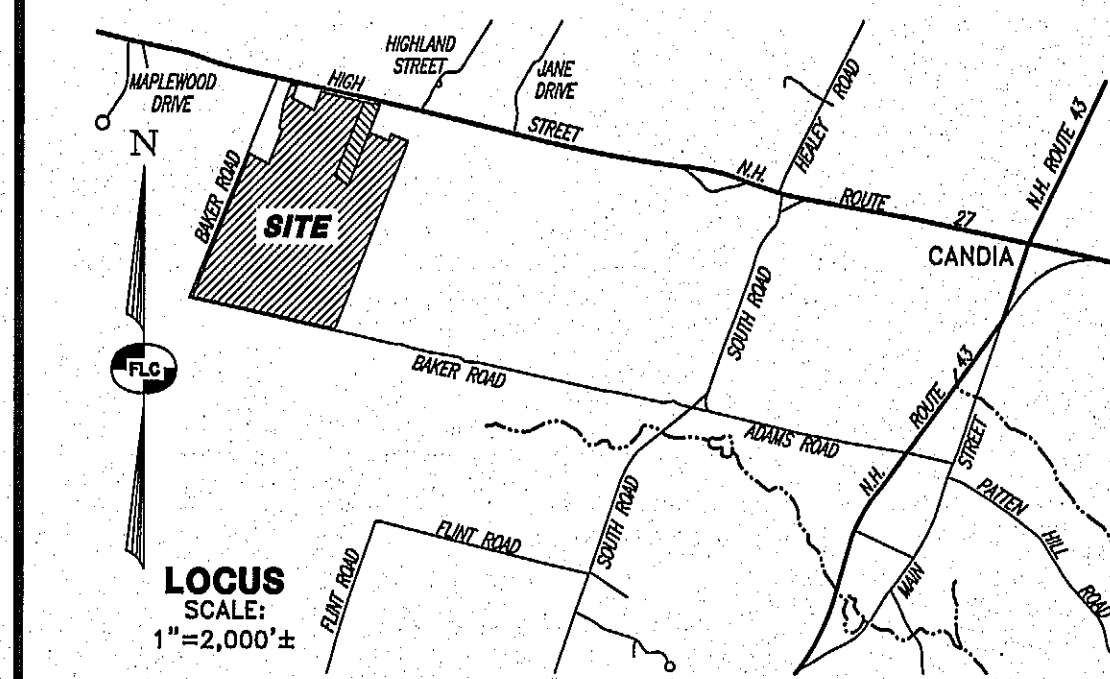
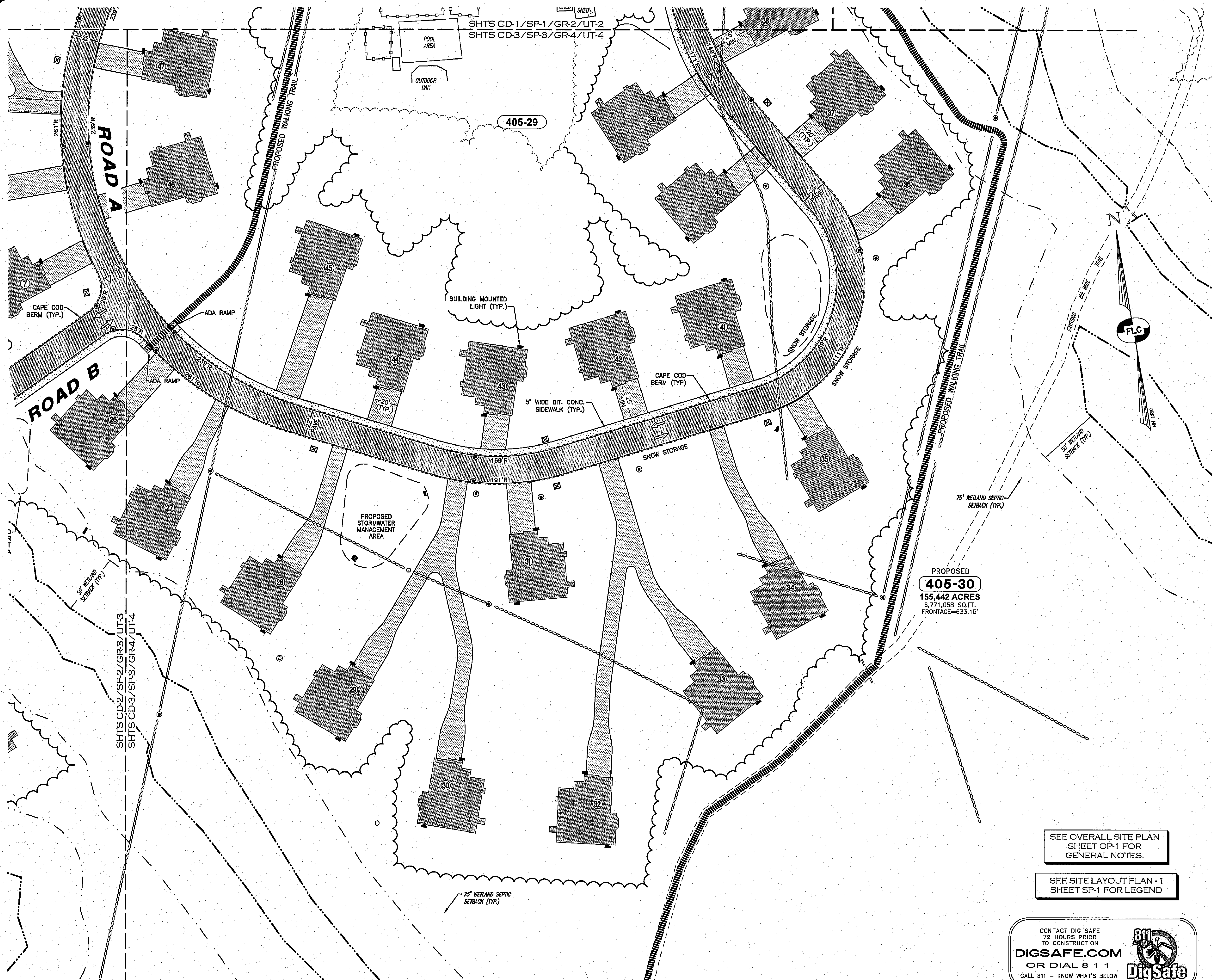
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

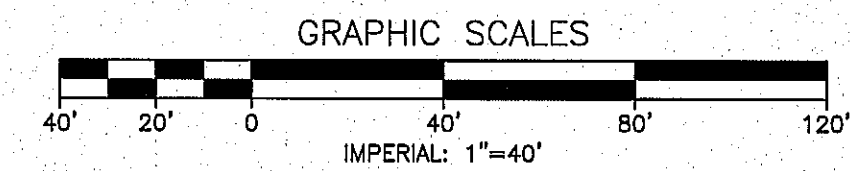
FILE: 3528SP00.dwg

PROJ. NO. 3528.00

SHEET: SP-1



- CONSTRUCTION & LAYOUT NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF CANDIA AND THE NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2016.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (DIAL 811).
 - COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
 - ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND STRUCTURES. FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
 - THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3900 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.
 - PRIOR TO THE COMMENCEMENT OF MAJOR CONSTRUCTION ACTIVITIES, THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH LAYOUT PLANS AND COORDINATE VALUES FOR STRATEGIC ELEMENTS OF THE SITE INCLUDING BASE LINE CONTROLS FOR BUILDING AREAS, PARKING LOT CORNERS AND MAJOR RADIUS POINTS AND CATCH BASINS AND MANHOLE CENTERLINE POINTS.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT BUILDING DIMENSIONS AND DETAILS.
 - ALL DIMENSIONS ARE FROM THE FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
 - ALL PAVEMENT MARKINGS SHALL BE 4-INCH WHITE PAINT UNLESS NOTED OTHERWISE. 4-INCH DOUBLE YELLOW PAINT SHALL BE USED FOR THE ROADWAY CENTERLINES AND 4-INCH SINGLE YELLOW FOR RESERVED PARKING SPACES AS REQUIRED.



REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE LAYOUT PLAN - 2
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034
LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

SCALE: 1" = 40' OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW

NRCS SOILS LEGEND:

SOURCE: USDA NRCS WEB SOIL SURVEY

--- SOIL BOUNDARY

44C MONTAUK FINE SANDY LOAM
8 TO 15% SLOPES

45B MONTAUK FINE SANDY LOAM
0 TO 8% SLOPES, VERY STONY

45C MONTAUK FINE SANDY LOAM
8 TO 15% SLOPES, VERY STONY

45D MONTAUK FINE SANDY LOAM
15 TO 25% SLOPES, VERY STONY

140B CHATFIELD-HOLLIS-CANTON
COMPLEX, 0 TO 8% SLOPES,
ROCKY

140C CHATFIELD-HOLLIS-CANTON
COMPLEX, 8 TO 15% SLOPES,
ROCKY

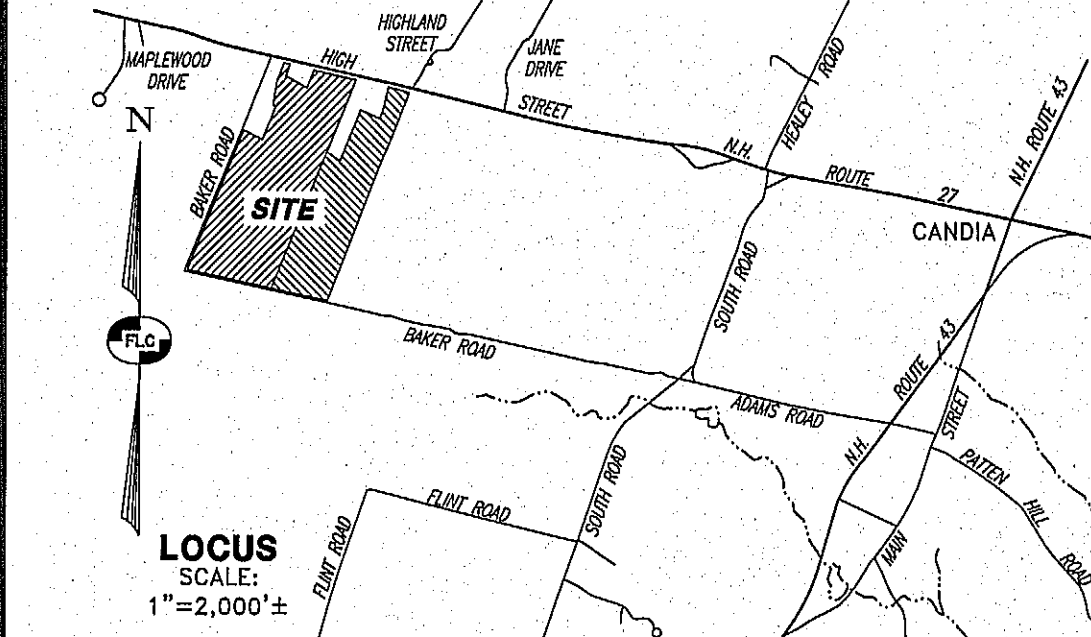
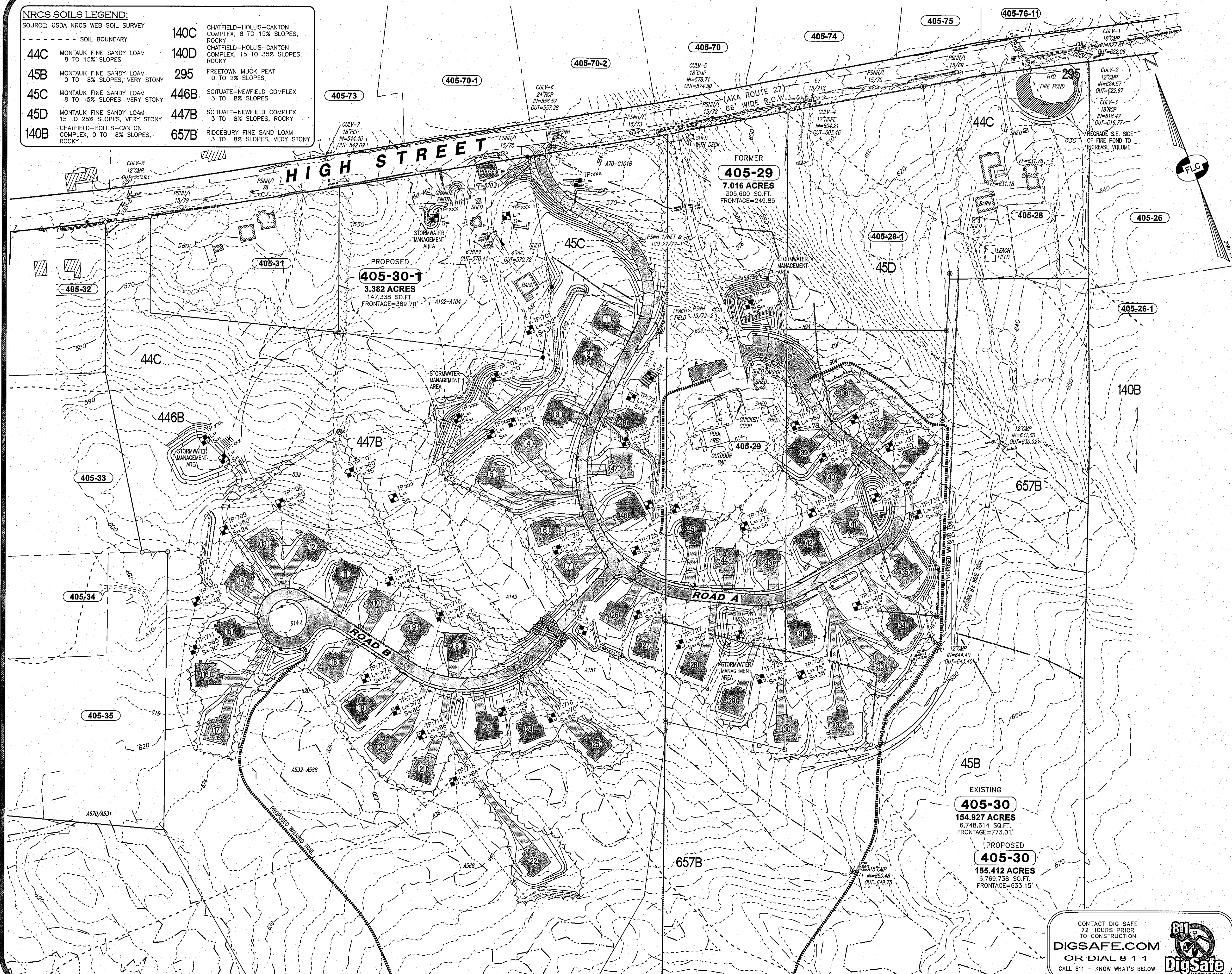
140D CHATFIELD-HOLLIS-CANTON
COMPLEX, 15 TO 35% SLOPES,
ROCKY

29S FREETOWN MUCK PEAT
0 TO 2% SLOPES

446B SCITUATE-NEWFIELD COMPLEX
3 TO 8% SLOPES

447B SCITUATE-NEWFIELD COMPLEX
3 TO 8% SLOPES, ROCKY

657B RIDGEBURY FINE SAND LOAM
3 TO 8% SLOPES, VERY STONY



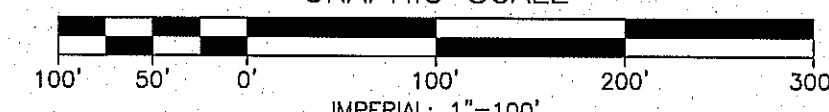
GRADING, DRAINAGE & EROSION CONTROL NOTES:

- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF NEW HAMPSHIRE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE STORMWATER MANAGEMENT AREAS UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

SEE OVERALL SITE PLAN
SHEET OP-1 FOR
GENERAL NOTES.

SEE SITE LAYOUT PLAN - 1
SHEET SP-1 FOR LEGEND

GRAPHIC SCALE



REV.	DATE	DESCRIPTION	C/O	DR	CK
------	------	-------------	-----	----	----

OVERALL GRADING PLAN
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE

PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034

LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

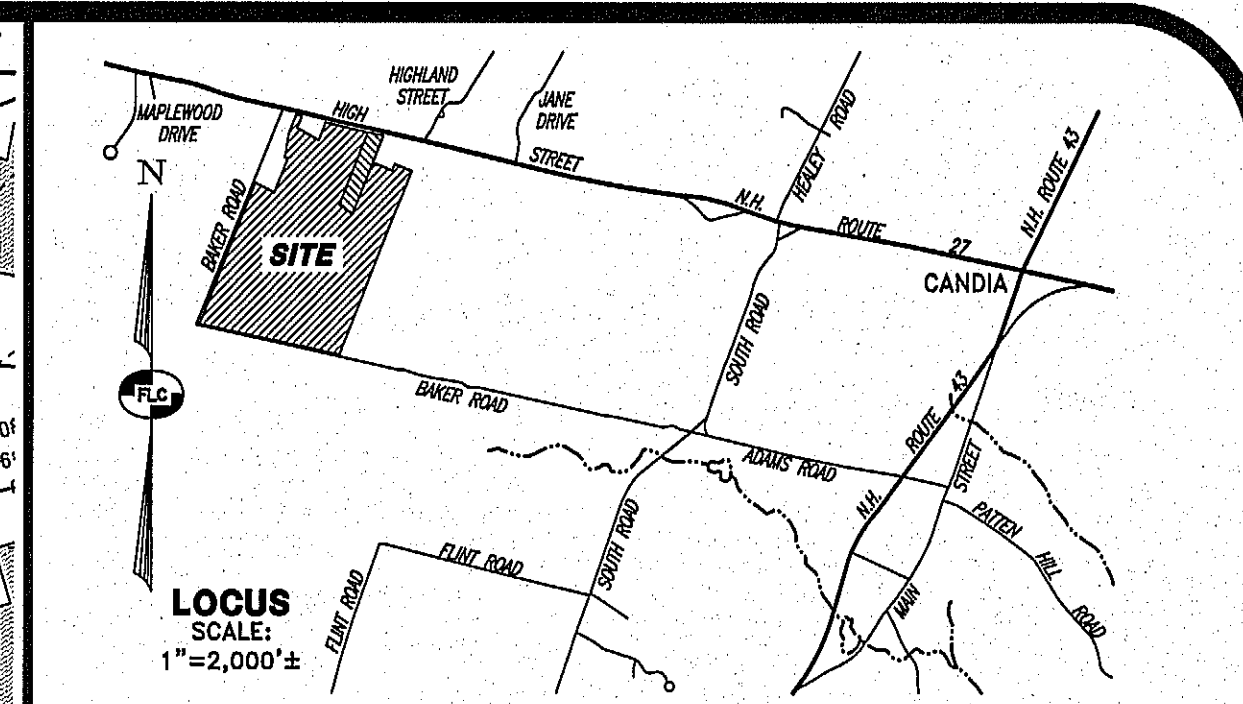
SCALE: 1" = 100' OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

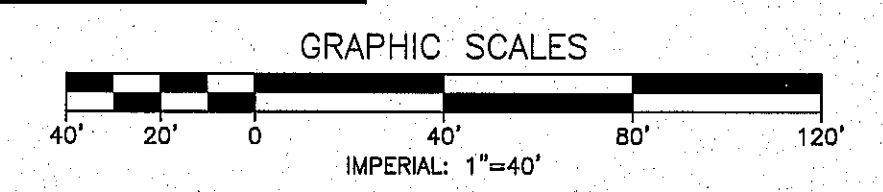
CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW





1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF NEW HAMPSHIRE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. THE SWPPP SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE STORMWATER MANAGEMENT AREAS UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
5. AN AREA SHALL BE CONSIDERED STABLE IF ONE THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN STABILIZED IN AREAS TO BE MAID.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
6. ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
8. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
9. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
10. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

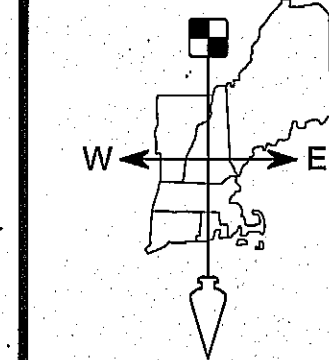
SEE SITE LAYOUT PLAN - 1
SHEET SP-1 FOR LEGEND

[illegible]

273 CURRIER ROAD, CANDIA, NH 03034

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

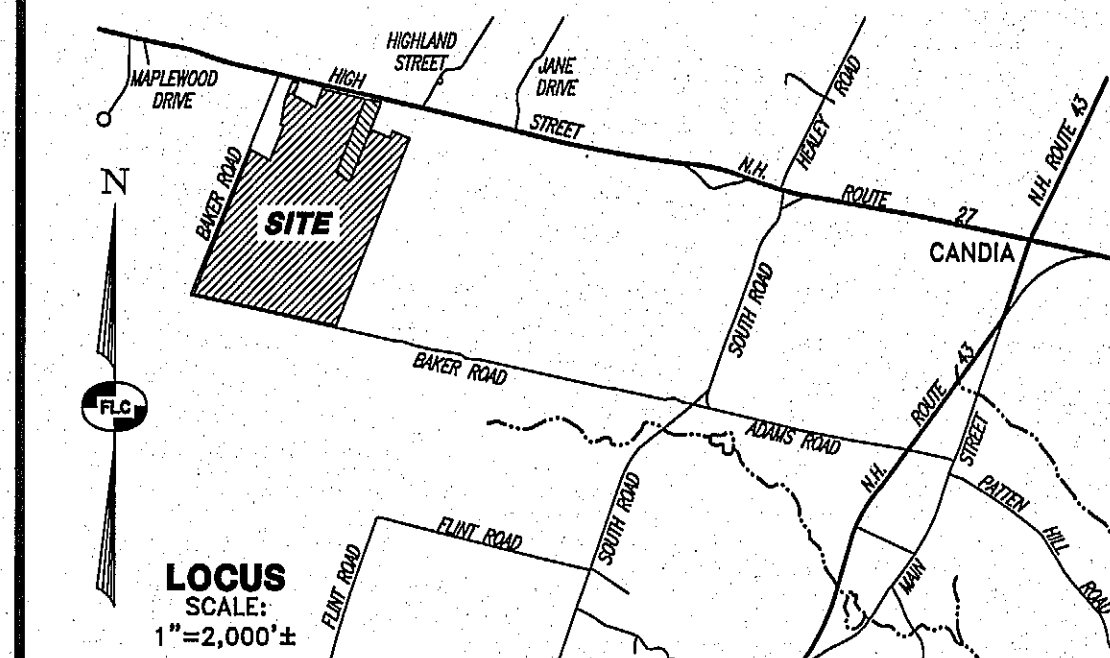
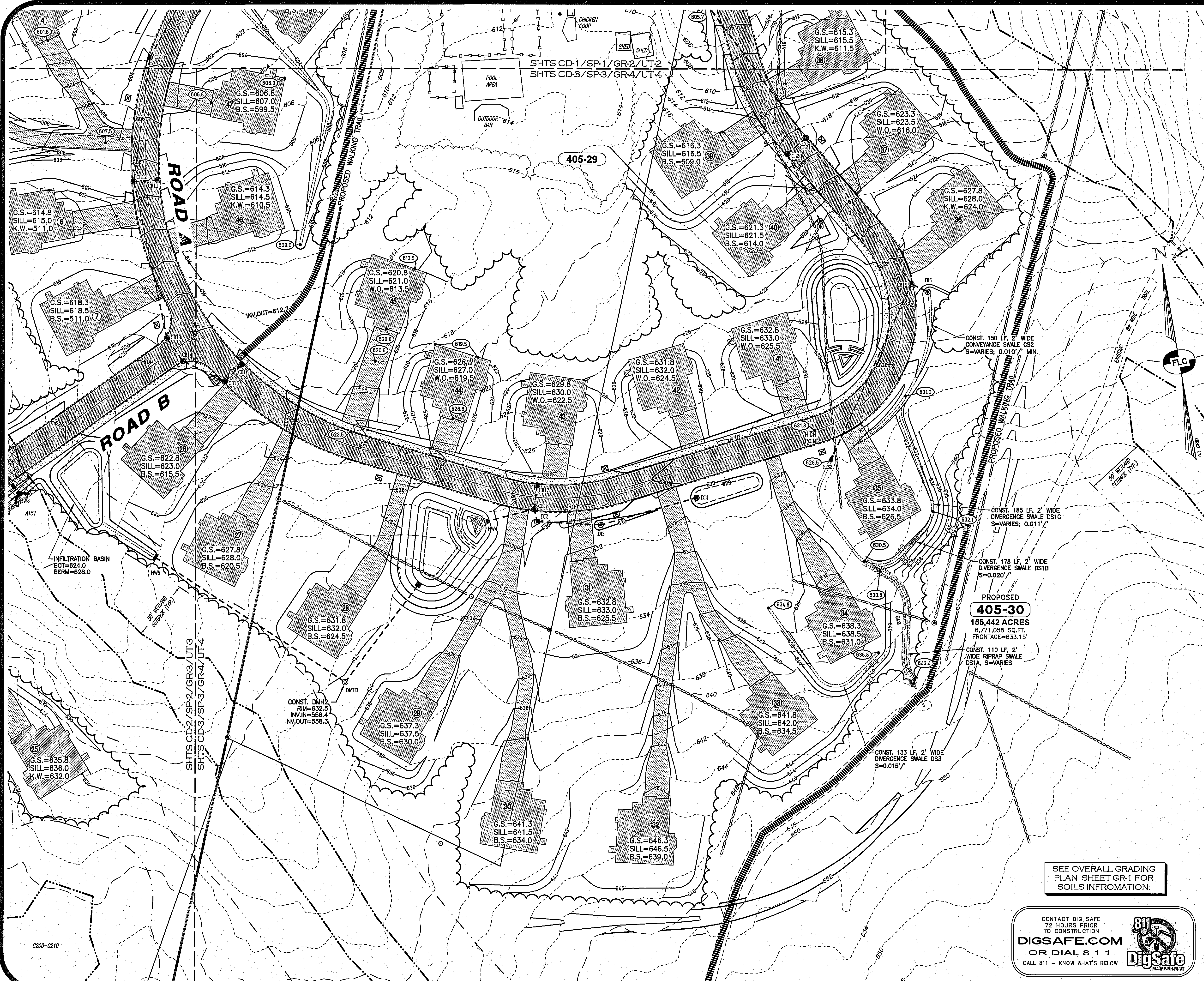
100



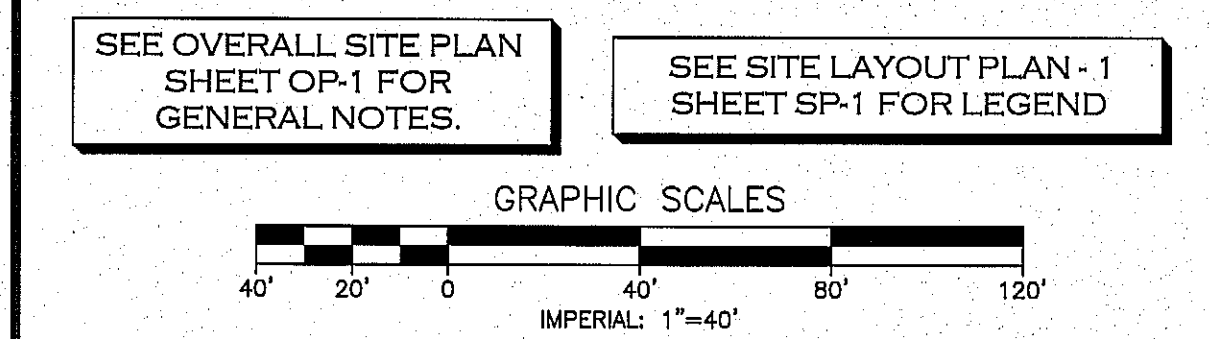
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 3528SP00.dwg	PROJ. NO. 3528.00	SHEET: GR-3
--------------------	-------------------	-------------



- GRADING, DRAINAGE & EROSION CONTROL NOTES:**
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF NEW HAMPSHIRE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
 - THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
 - STORMWATER FLOWS ARE NOT TO BE DIRECTED TO THE STORMWATER MANAGEMENT AREAS UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
 - ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
 - INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 - ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
 - SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE SILT FENCE.
 - THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.



REV.	DATE	DESCRIPTION	C/O	DR	CK

GRADING, DRAINAGE & EROSION CONTROL PLAN 3

FARMS OF CANDIA

TAX MAP 405 LOTS 29 & 30

(466 & 476 HIGH STREET)

CANDIA, NEW HAMPSHIRE

PREPARED FOR:

JAMES LOGAN

273 CURRIER ROAD, CANDIA, NH 03034

LAND OF:

LONDON BRIDGE SOUTH, INC.

273 CURRIER ROAD, CANDIA, NH 03034

SCALE: 1" = 40' OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE

LAND CONSULTANTS PLLC

206 Elm Street, Milford, NH 03055

45 Roxbury Street, Keene, NH 03431

Phone: (603) 672-5456 Fax: (603) 413-5456

www.FieldstoneLandConsultants.com

SEE OVERALL GRADING PLAN SHEET GR-1 FOR SOILS INFORMATION.

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION

DIGSAFE.COM

OR DIAL 8 1 1

CALL 811 - KNOW WHAT'S BELOW

DigSafe

MAINE RIV

NRCS SOILS LEGEND:

SOURCE: USDA NRCS WEB SOIL SURVEY

----- SOIL BOUNDARY

44C MONTAUK FINE SANDY LOAM
8 TO 15% SLOPES

45B MONTAUK FINE SANDY LOAM
0 TO 8% SLOPES, VERY STONY

45C MONTAUK FINE SANDY LOAM
8 TO 15% SLOPES, VERY STONY

45D MONTAUK FINE SANDY LOAM
15 TO 25% SLOPES, VERY STONY

140B CHATFIELD-HOLLIS-CANTON
COMPLEX, 0 TO 8% SLOPES,
ROCKY

140C CHATFIELD-HOLLIS-CANTON
COMPLEX, 8 TO 15% SLOPES,
ROCKY

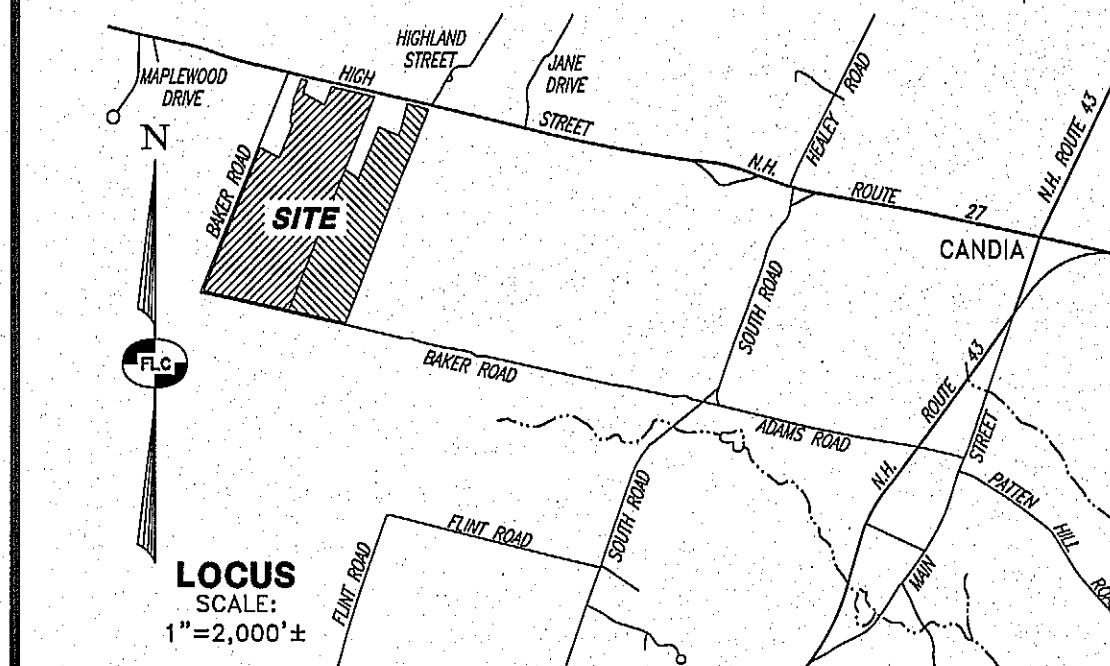
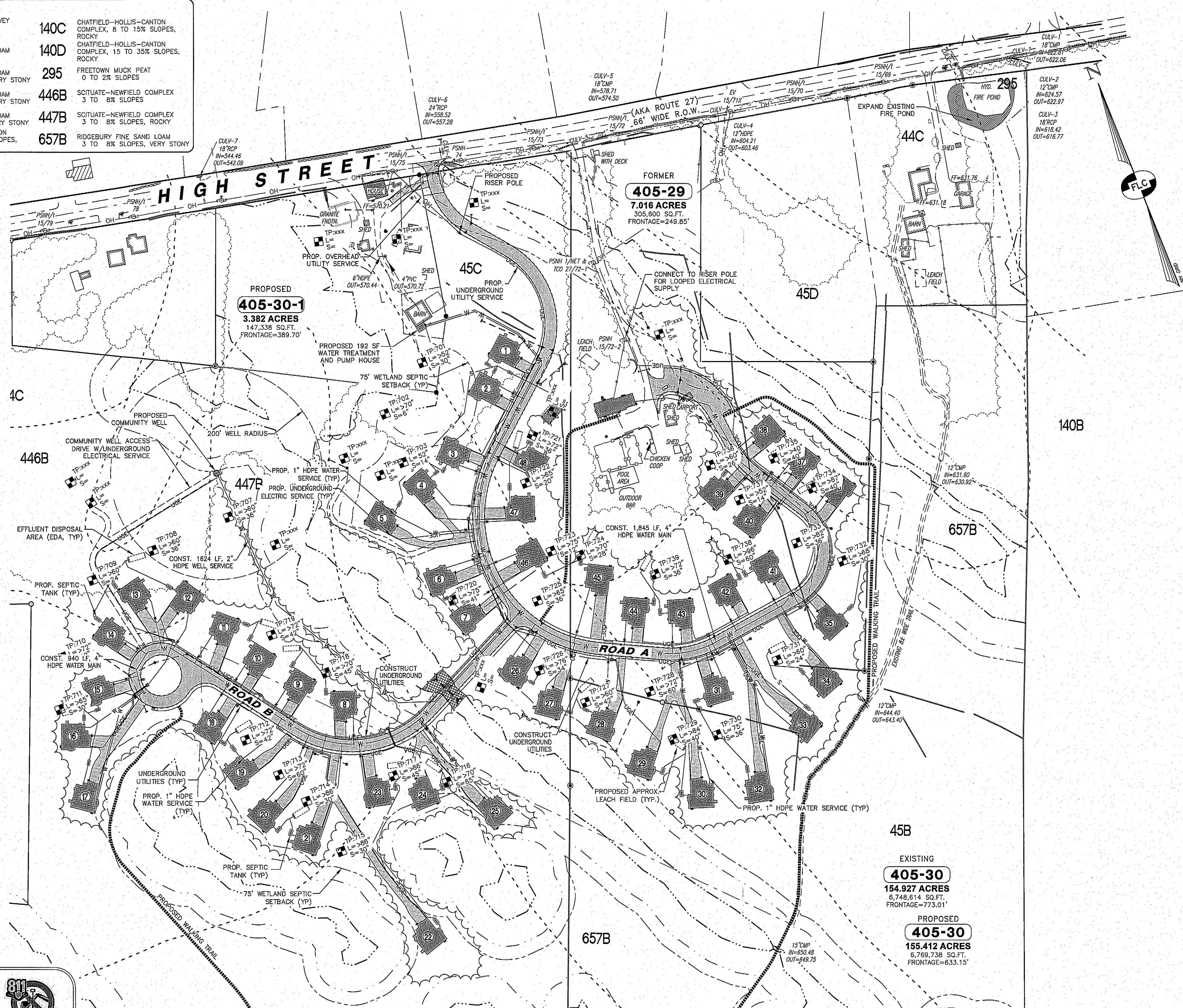
140D CHATFIELD-HOLLIS-CANTON
COMPLEX, 15 TO 35% SLOPES,
ROCKY

295 FREETOWN MUCK PEAT
0 TO 2% SLOPES

446B SCITUATE-NEWFIELD COMPLEX
3 TO 8% SLOPES

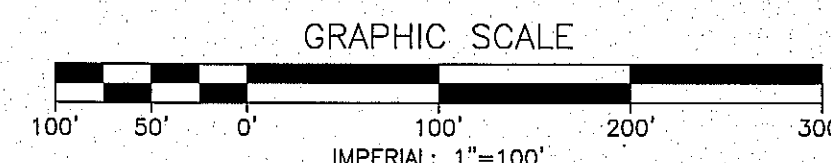
447B SCITUATE-NEWFIELD COMPLEX
3 TO 8% SLOPES, ROCKY

657B RIDGEBURY FINE SAND LOAM
3 TO 8% SLOPES, VERY STONY



UTILITY NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF CANDIA AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF CANDIA DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233).
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
- BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF CANDIA FIRE DEPARTMENT REGULATIONS.
- ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- ALL POWER WORK SHALL CONFORM TO PUBLIC SERVICE OF NEW HAMPSHIRE STANDARDS.
- ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
- STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH THE TOWN OF CANDIA SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ALL RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
- THE SOIL TYPES SHOWN ARE PER NRCS SOILS SURVEY. SEE NRCS SOILS LEGEND THIS SHEET.



REV.	DATE	DESCRIPTION	C/O	DR	CK
------	------	-------------	-----	----	----

OVERALL UTILITY PLAN FARMS OF CANDIA TAX MAP 405 LOTS 29 & 30 (466 & 476 HIGH STREET) CANDIA, NEW HAMPSHIRE

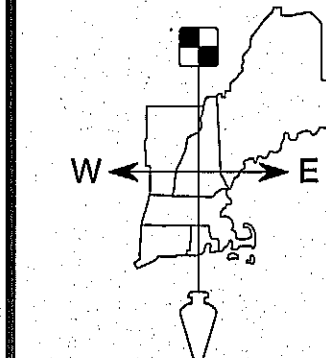
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034

LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

SCALE: 1" = 100'

OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE
LAND CONSULTANTS PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW



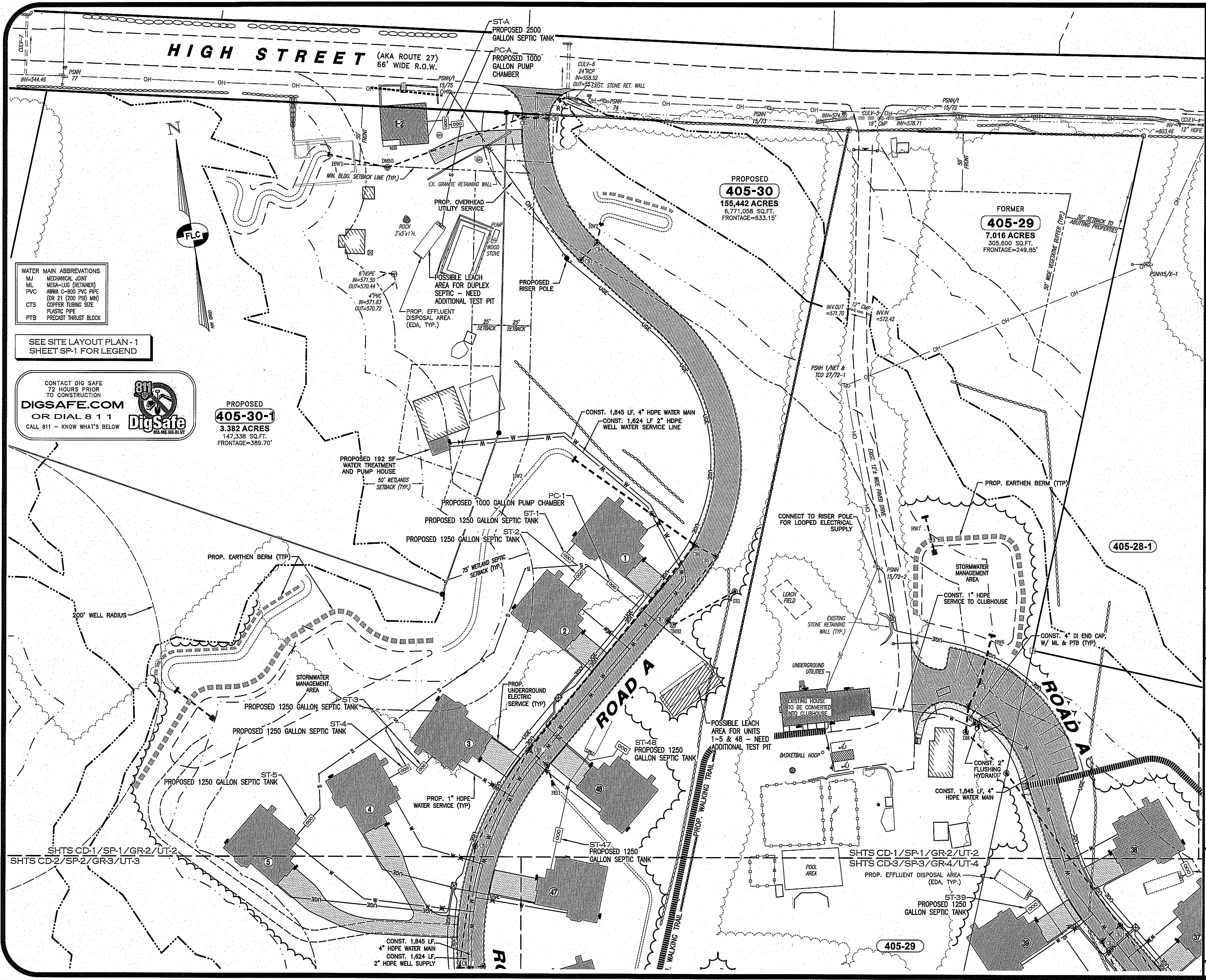
SEE OVERALL SITE PLAN
SHEET OP-1 FOR
GENERAL NOTES.

SEE SITE LAYOUT PLAN - 1
SHEET SP-1 FOR LEGEND

FILE: 3528SP00.dwg

PROJ. NO. 3528.00

SHEET: UT-1



WATER MAIN ABBREVIATIONS
MJ MECHANICAL JOINT
ML MEGA-LUG (RETAINER)
PVC AWWA C-900 PVC PIPE
OR 21 (200 PSI MIN)
CTS COPPER TUBING SIZE
PTB PRECAST THRUST BLOCK

SEE SITE LAYOUT PLAN - 1
SHEET SP-1 FOR LEGEND

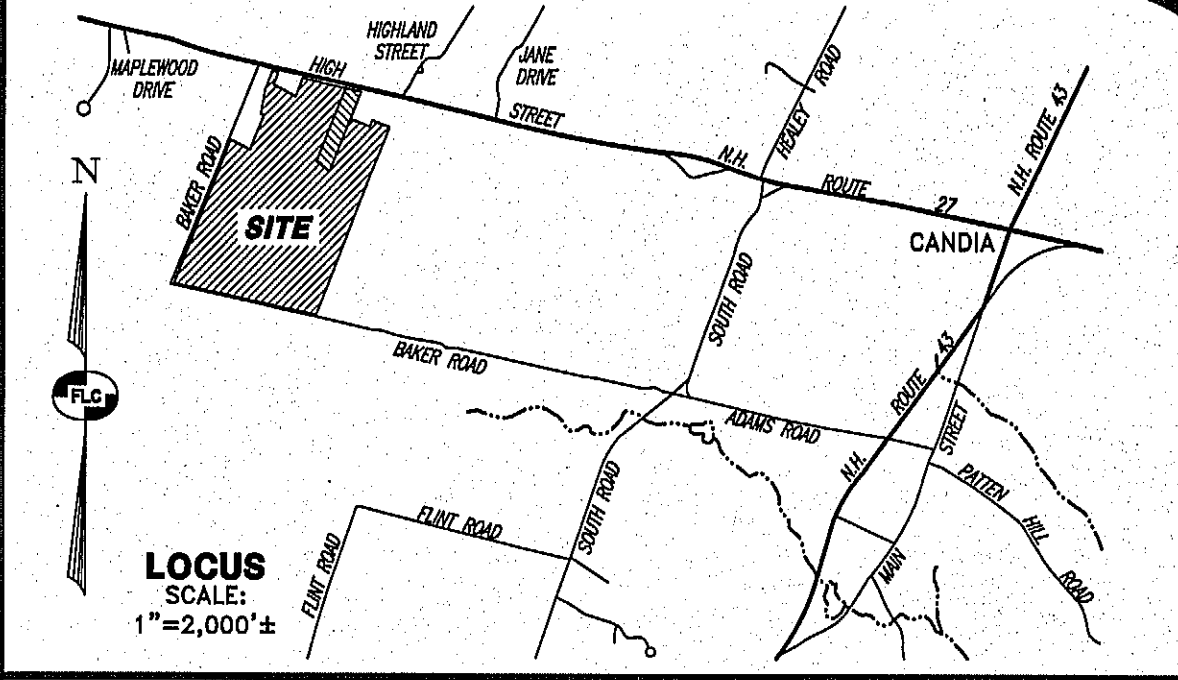
CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW



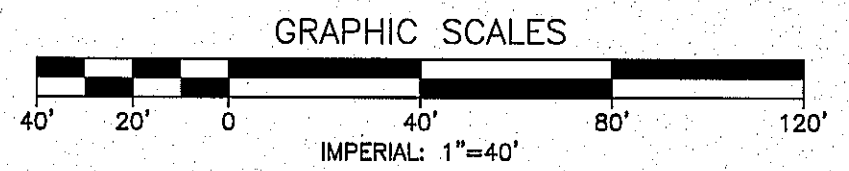
PROPOSED
405-30-1
3.382 ACRES
147,338 SQ.FT.
FRONTAGE=389.70'

PROPOSED
405-30
155,442 ACRES
6,771,058 SQ.FT.
FRONTAGE=633.15'

FORMER
405-29
7.016 ACRES
305,600 SQ.FT.
FRONTAGE=249.85'



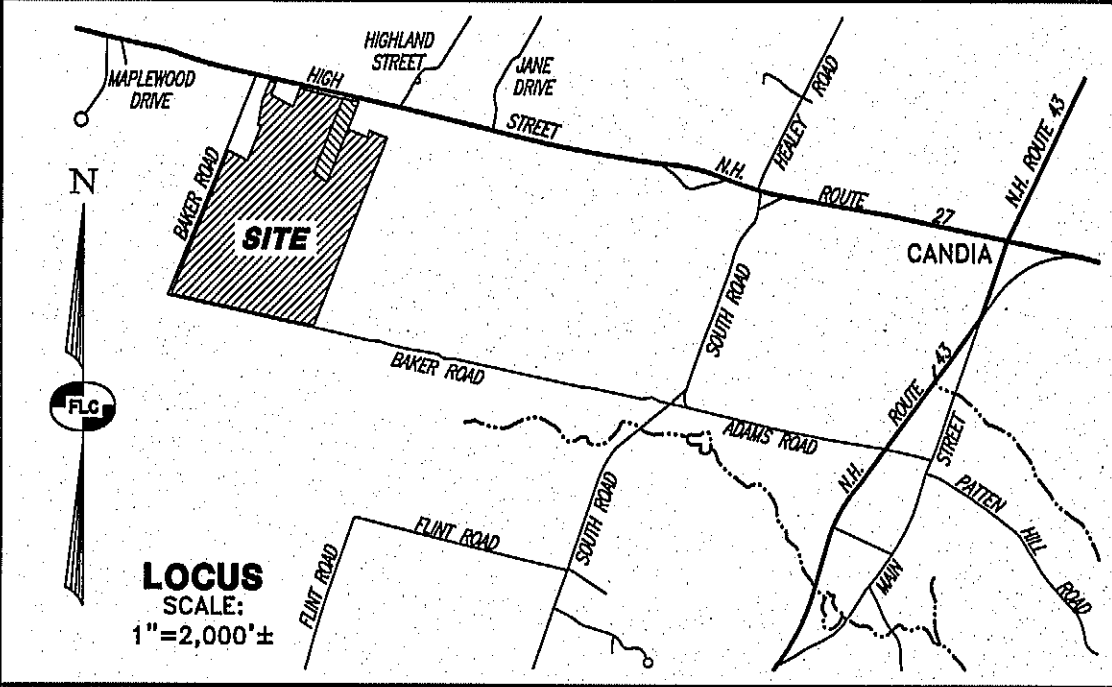
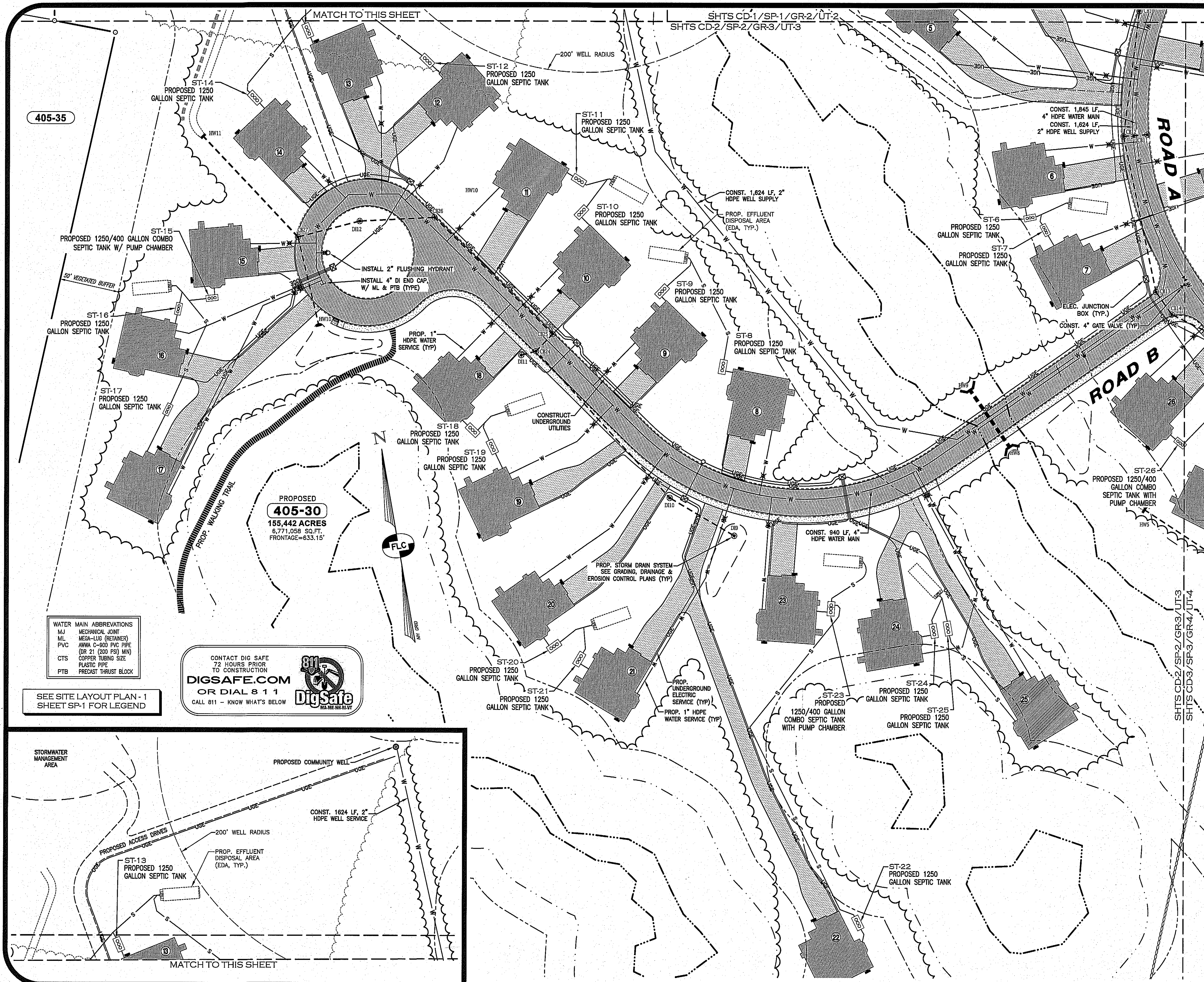
- UTILITY NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF CANDIA AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF CANDIA DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINAGE STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233).
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF CANDIA FIRE DEPARTMENT REGULATIONS.
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDING IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ALL POWER WORK SHALL CONFORM TO PUBLIC SERVICE OF NEW HAMPSHIRE STANDARDS.
 11. ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
 12. STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH THE TOWN OF CANDIA SPECIFICATIONS.
 13. CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ALL RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
 14. THE SOIL TYPES SHOWN ARE PER NRCS SOILS SURVEY. SEE NRCS SOILS LEGEND ON OVERALL UTILITY PLAN SHEET UT-1.



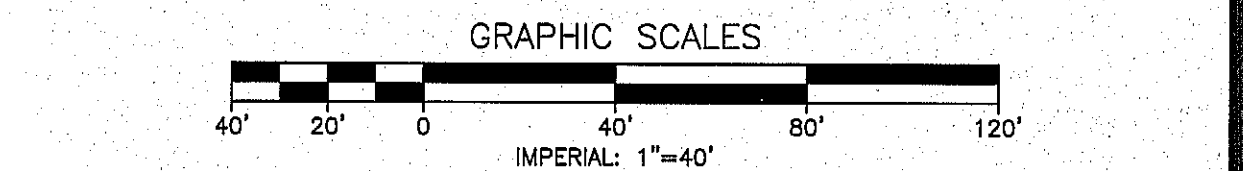
REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE UTILITY PLAN - 1
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034
LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034
SCALE: 1" = 40' OCTOBER 20, 2025
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com
FILE: 3528SP00.dwg PROJ. NO. 3528.00 SHEET: UT-2



- UTILITY NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF CANDIA AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF CANDIA DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233).
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF CANDIA FIRE DEPARTMENT REGULATIONS.
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ALL POWER WORK SHALL CONFORM TO PUBLIC SERVICE OF NEW HAMPSHIRE STANDARDS.
 11. ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
 12. STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH THE TOWN OF CANDIA SPECIFICATIONS.
 13. CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ALL RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
 14. THE SOIL TYPES SHOWN ARE PER NRCS SOILS SURVEY. SEE NRCS SOILS LEGEND ON OVERALL UTILITY PLAN SHEET UT-1.

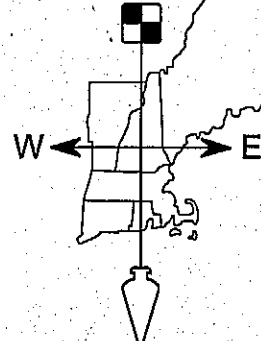


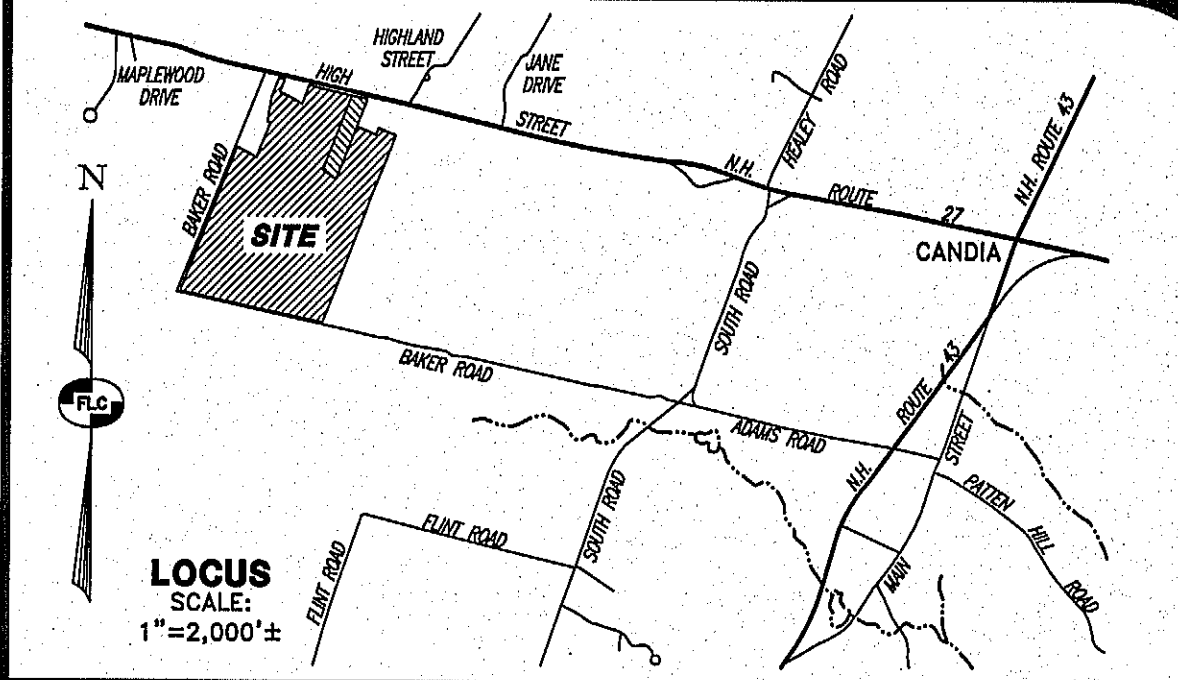
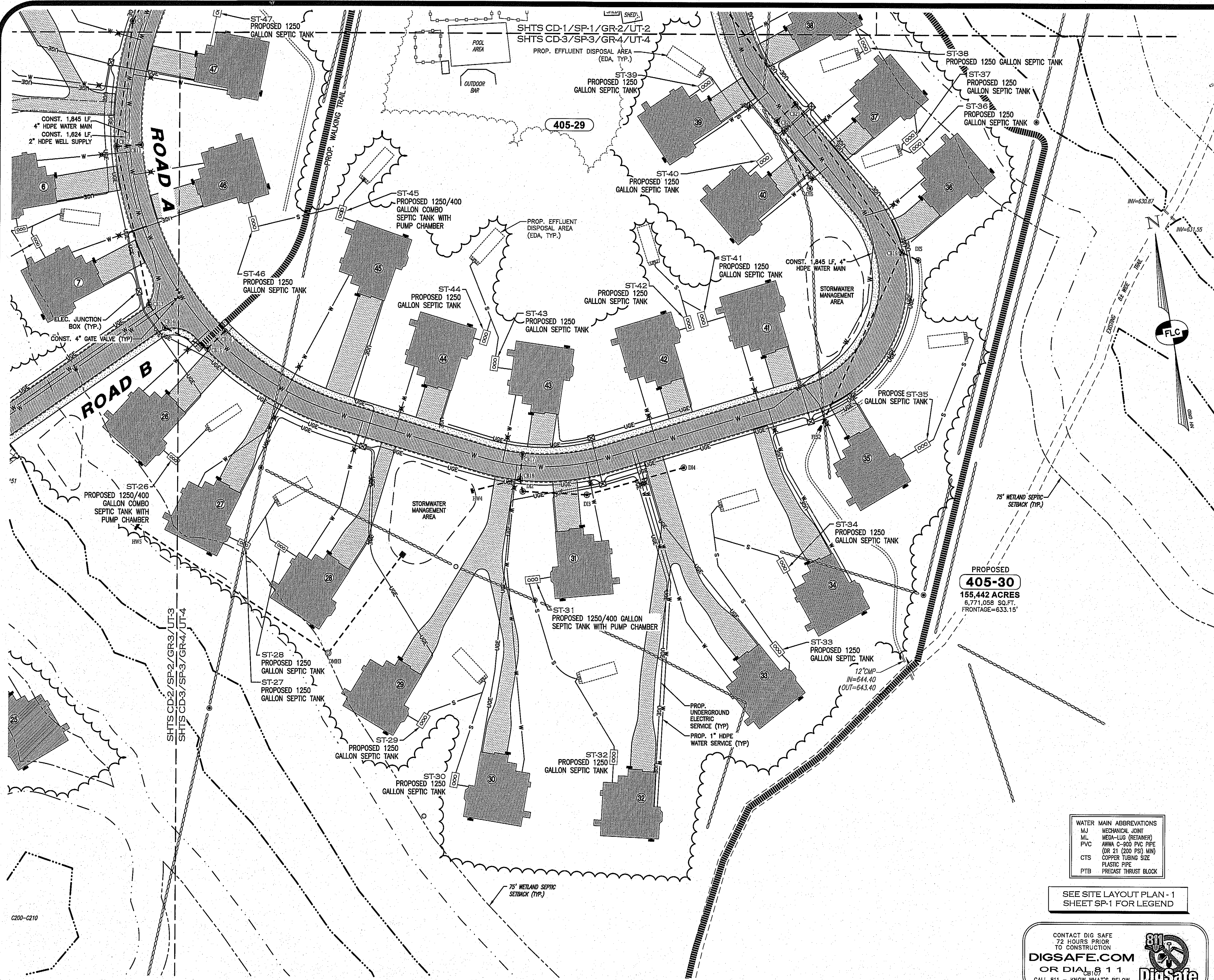
REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE UTILITY PLAN - 2
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034
LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

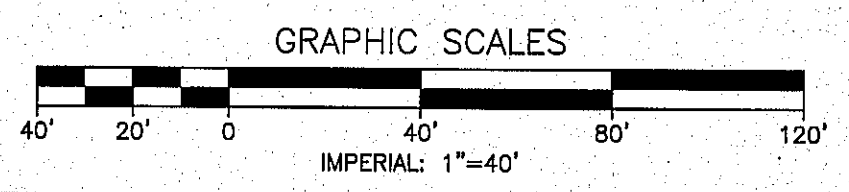
SCALE: 1" = 40' OCTOBER 20, 2025

Surveying + Engineering + Land Planning + Permitting + Septic Designs

**FIELDSTONE**
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



- UTILITY NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF CANDIA AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF CANDIA DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233).
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF CANDIA FIRE DEPARTMENT REGULATIONS.
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDING IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ALL POWER WORK SHALL CONFORM TO PUBLIC SERVICE OF NEW HAMPSHIRE STANDARDS.
 11. ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
 12. STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH THE TOWN OF CANDIA SPECIFICATIONS.
 13. CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ALL RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
 14. THE SOIL TYPES SHOWN ARE PER NRCS SOILS SURVEY. SEE NRCS SOILS LEGEND ON OVERALL UTILITY PLAN SHEET UT-1.



REV.	DATE	DESCRIPTION	C/O	DR	CK

SITE UTILITY PLAN - 3
FARMS OF CANDIA
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE

PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034

LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

SCALE: 1" = 40' OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

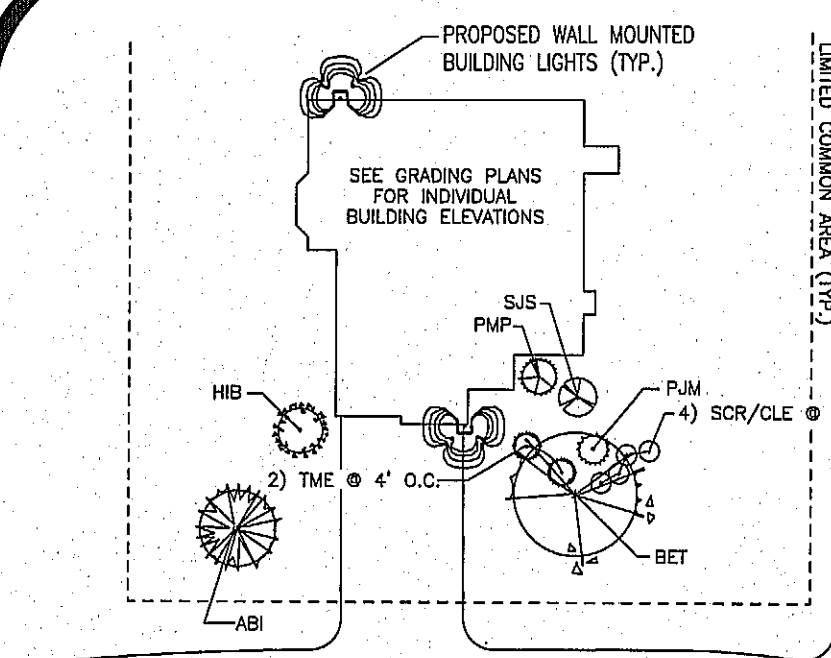
- WATER MAIN ABBREVIATIONS**
- MJ MECHANICAL JOINT
 - ML MEGA-LUG (RETAINER)
 - PVC AWWA C-900 PVC PIPE (OR 21 (200 PS) MIN) COPPER TUBING SIZE
 - CTS PLASTIC PIPE
 - PTB PRECAST THRUST BLOCK

SEE SITE LAYOUT PLAN - 1
SHEET SP-1 FOR LEGEND

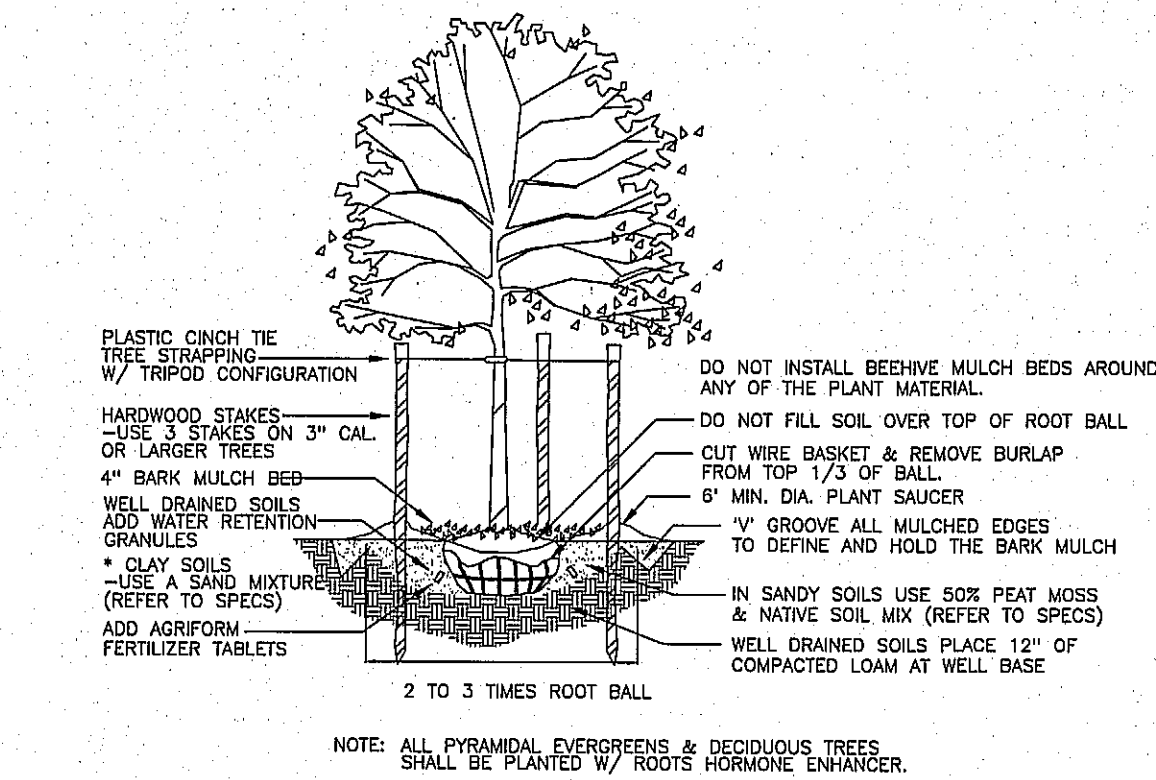
CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION

DIGSAFE.COM
OR DIAL 811
CALL 811 - KNOW WHAT'S BELOW

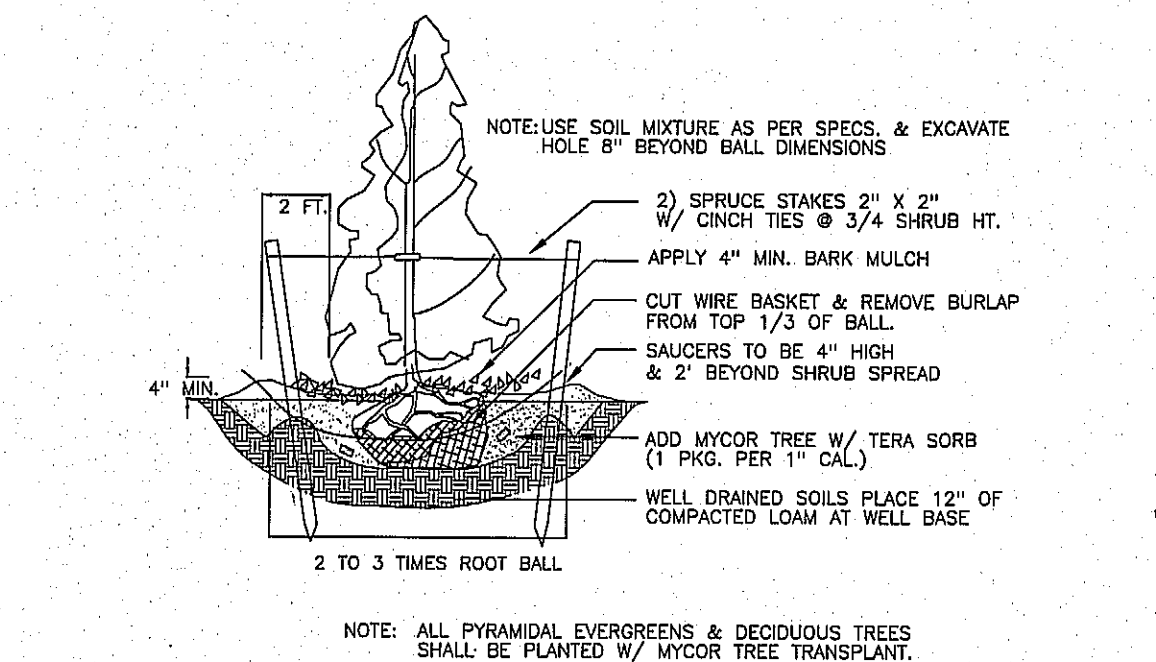
DigSafe
MAINE NH VT



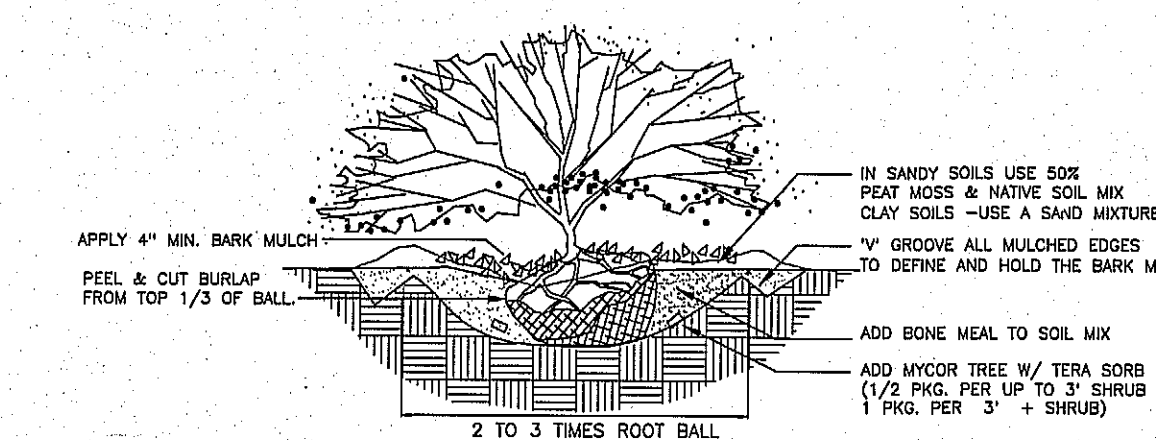
PROPOSED ROAD
RESIDENTIAL STRUCTURE & LOT LANDSCAPING (TYPICAL)



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



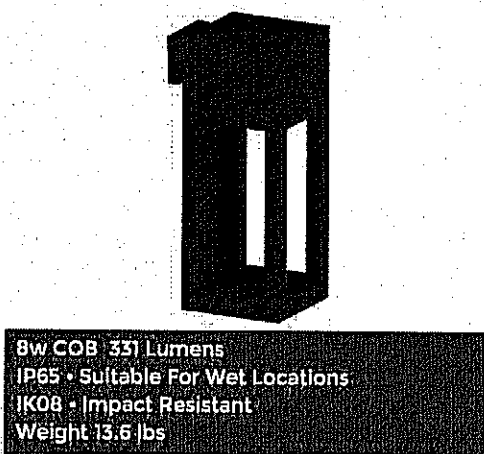
B & B SHRUB PLANTING DETAIL



- PLANT LEGEND**
- ABI ABIES CONCOLOR (WHITE FIR)
 - BET BETULA NIGRA (HERITAGE RIVER BIRCH MULTI-STEM)
 - CLE CLETHRA COMPACTA (COMPACT SUMMERSWEET)
 - COS CHAMAECYPARIS OSTEA (ORACULUS HINDI FALSECYPRESS)
 - HIB HIBISCUS SYRIACUS (ROSE OF SHARON)
 - HYD HYDRANGEA PANDICULATA (COMPACT P.P., LIMELIGHT HYDRANGEA)
 - PGL PICEA GLAUCA (WHITE SPRUCE)
 - PMP PINUS MUGO PUMILO (DWARF MUGO PINE)
 - RHM RHODODENDRON MEDIUM TALL (CUNNINGHAM, BOULE DE NEIGE, BOURSALTI)
 - SCH SYRINCA CHINENSIS (CHINESE LILAC)
 - SCR SPIRAEA X. B. (CRISP LEAF SPIRAEA)
 - SJA SPIRAEA JAPONICA (SHIBORI SPIRAEA)
 - SLS SYRINCA PATULA (MISS SLUG LILAC)
 - STE STEWARTIA PSEUDOCAMELIA (JAPANESE STEWARTIA)
 - TCO TAXUS CUSPIDATA (GREENWAVE YEW)
 - TME TAXUS MEDIA (EVER-LOW YEW)
- PLANTING NOTES:**
- THERE SHALL BE ONE SHADE TREE PER UNIT PLANTED AT LEAST 10 FEET OFF THE ROADWAY. FINAL TREE LOCATIONS SHALL BE DETERMINED BY THE OWNER AND ENGINEER.
 - ALL SHRUBS ARE TO BE 24" HIGH WHEN PLANTED. ALL TREES ARE TO BE 2 TO 2-1/2 INCHES CAL WHEN PLANTED.
 - ALL NORTH & EAST ORIENTED UNITS SHALL BE PLANTED WITH THESE NOTED SHADE/SEMI-SHADE PLANT SELECTIONS.
 - THE OWNER RESERVES THE RIGHT TO CHANGE THE HOUSE STYLES TO MEET MARKET DEMANDS, WHICH MAY INCLUDE A TWO STORY OPTION, PROVIDED TOWN AND STATE REGULATIONS ARE MET.

SCALE: N.T.S.
1
LS-1

UVA-30001 Vancouver 24 Surface



ORDERING EXAMPLE || UVA - 30001 - 8w - W30 - 02 - 120/277v - Options

UVA-30001

LAMP	LED COLOR	FINISH COLOR	VOLTAGE
8w COB 331 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATT SILVER RAL 9006 06 - URBAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

WALL MOUNTED LIGHT FIXTURE DETAILS



NOTES:

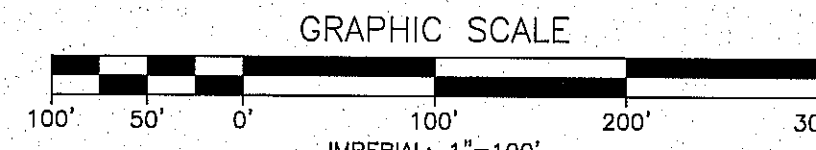
- PLANTS TO BE BACKFILLED WITH A MIX OF LOAM, COMPOSTED COW MANURE AND PEAT MOSS BLENDED WITH "TREE SAVER" SOIL AMENDMENT.
- PLANTS TO BE WATERED IN WELL AS THEY ARE BACKFILLED.
- PLANT BEDS AND TREE CIRCLES TO RECEIVE 4" OF PINE/HEMLOCK BLEND MULCH.
- PLANT PLANTINGS, AS PER DETAILS.
- ALL TREES AND PLANTINGS THAT PROVIDE SCREENING / BUFFERING MUST BE ALLOWED TO GROW THEIR NATURAL SIZE AND SHAPE WITHOUT SHEARING OR PRUNING.
- EXACT PLACEMENT OF TREES WILL BE DETERMINED ON SITE BY THE OWNER.
- PLANTING PERFORMANCE GUARANTEE:
ALL PLANTS TO BE MAINTAINED PROPERLY IN ORDER TO SURVIVE AND THRIVE FOR A MINIMUM PERIOD OF 1 YEAR. PLANTINGS TO BE WATERED MANUALLY - WELL AND DEEP FOR 15 MINUTES ONCE A WEEK INITIALLY FOR 3 MONTHS. AFTER ESTABLISHMENT WATER FOR 15 MINUTES EVERY 3 WEEKS. FERTILIZE IN THE SPRING WITH 10.10.10 FERTILIZER.
- THE CANDIA ZONING BOARD OF ADJUSTMENT AT ITS APRIL 22, 2025 MEETING MADE THE FOLLOWING DECISION REGARDING A REQUEST FOR A VARIANCE AS PROVIDED IN ARTICLE V, SECTION 5.06: CONDITIONAL USE PERMIT STANDARDS WITH RELIEF FROM SECTIONS 5.06.14, 5.06.18, & 5.06.20. CASE #25-004
§ 5.06.14 - SINGLE STORY MAXIMUM BUILDING HEIGHT
§ 5.06.18 - ROAD, ACCESS DRIVES, PARKING LOTS & WALKWAY DESIGN
§ 5.06.20 - LIGHTING DESIGN
- PROPOSED BUILDING MOUNTED LIGHTS WILL BE SHIELDED, DOWNCAST AND MOTION SENSING.

LEGEND:

EXISTING FEATURES	PROPOSED FEATURES
RIGHT-OF-WAY LINE	EDGE OF PAVEMENT
BOUNDARY LINE	CAPE COD BERM
ABUTTING LOT LINE	SWALE
50' VEGETATIVE BUFFER LINE	TEMPORARY SILT FENCE
EDGE OF PAVED ROAD	CONCRETE SIDEWALK
EDGE OF GRAVEL ROAD	PAVED WALK
STONE WALL	EROSION CONTROL STONE
EDGE OF TREE LINE	PAVED AREA
EDGE OF WETLANDS	LIMITS OF CLEARING
WETLANDS BLDG. SETBACK LINE	BUILDING LIGHT ILLUMINATION TEMPLATE
SEPTIC SETBACK LINE	STREET TREE ACER RUBRUM (RED SUNSET MAPLE)
TAX MAP & LOT NUMBER	

STREET TREE LEGEND:

PLANT SYMBOL	PLANTING LIST:	QUANTITY/SIZE:
	ACER RUBRUM (RED SUNSET MAPLE)	10) 2"-2.5" CAL.



SITE LANDSCAPING & LIGHTING PLAN

FARMS OF CANDIA

TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE

PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034

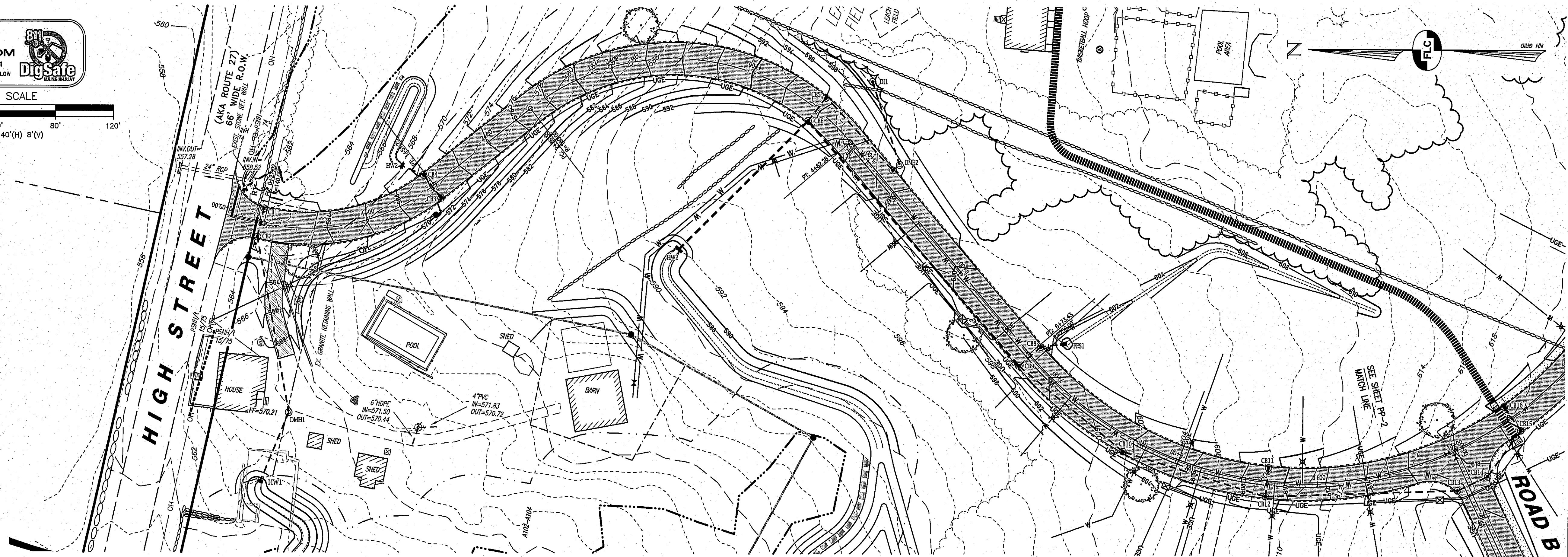
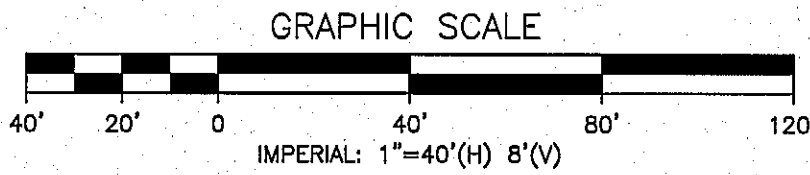
LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

SCALE: 1" = 100' OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



LEGEND:

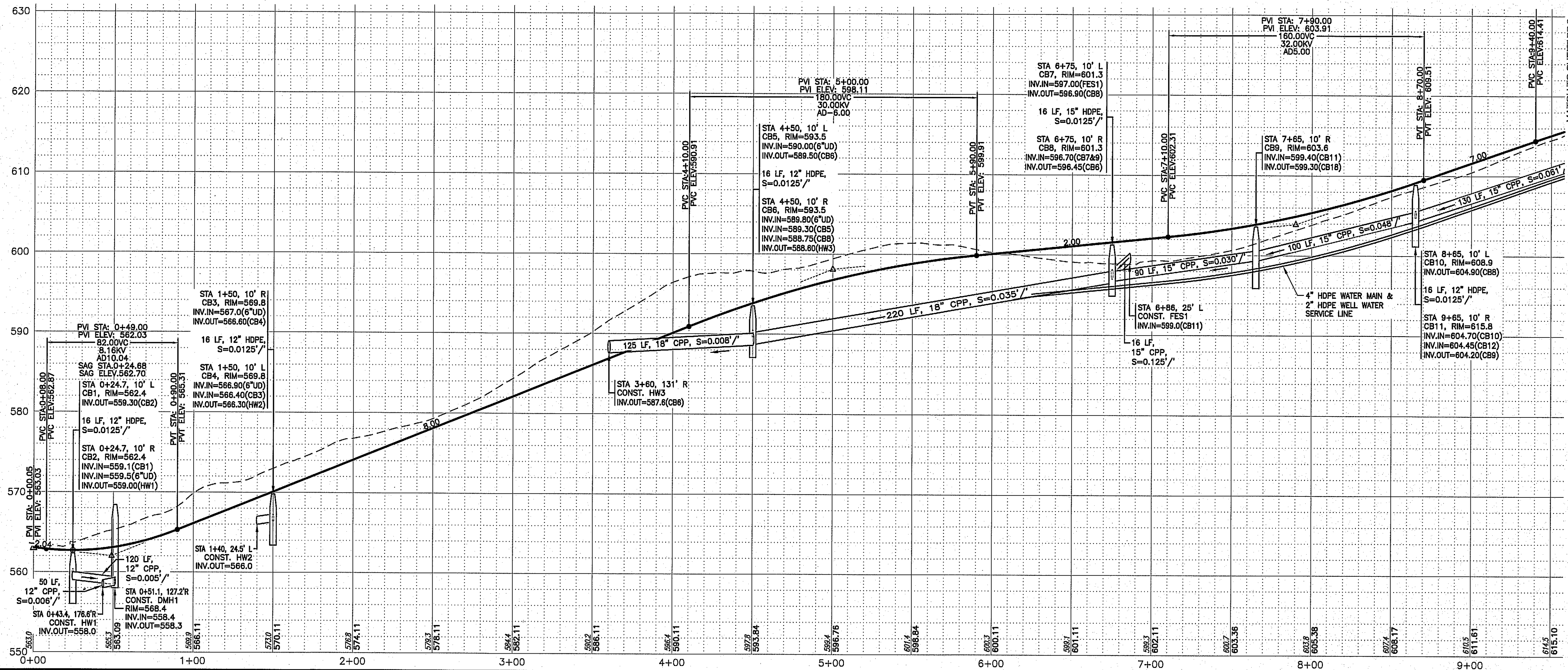
EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- CULVERT
- OH OVERHEAD UTILITY LINE

- 405-28 TAX MAP & LOT NUMBER
- G.B.(F) GRANITE BOUND FOUND
 - D.H.(S) DRILL HOLE SET
 - L.P.W.(S) IRON PIN SET
 - G.B.(*) GRANITE BOUND PER REF. PLAN
 - HUB(*) WOODEN HUB PER REF. PLAN
 - UTILITY POLE & GUY
 - CATCH BASIN (SQUARE)
 - WELL
 - EXISTING BUILDING

PROPOSED FEATURES

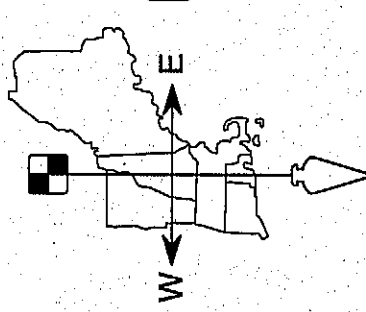
- EDGE OF PAVEMENT
- CAPE COD BERM
- 2 FT. CONTOUR
- 10 FT. CONTOUR
- SURFACE WATER FLOW
- STORM WATER DRAINAGE
- STORM DRAIN MANHOLE
- PAVED WALK
- EROSION CONTROL STONE
- PAVED AREA
- LIMITS OF CLEARING
- WATER GATE VALVE
- WATER SERVICE SHUT-OFF
- GRAVITY SEPTIC LINE
- EFFLUENT FORCE MAIN
- WATER LINE
- UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION
- PRECAST THRUST BLOCK



Surveying & Engineering & Land Planning & Permitting & Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



JAMES LOGAN
273 CURRIER ROAD
CANDIA, NH 03304

ROAD 'A'
STA. 0+00 TO STA. 9+50

PP-1
SHEET

PROJECT NO. 3528.00

FARMS OF CANDIA

PLANS ISSUED FOR:

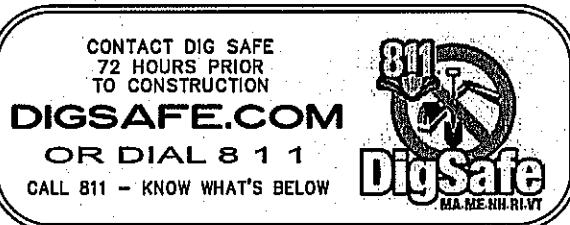
MUNICIPAL REVIEW

TAX MAP 405, LOTS: 29 & 30
CANDIA, NEW HAMPSHIRE

SCALE: 1" = 40' HORIZ. / 8' VERT.

OCTOBER 20, 2025

FILE: 3528SP00.dwg

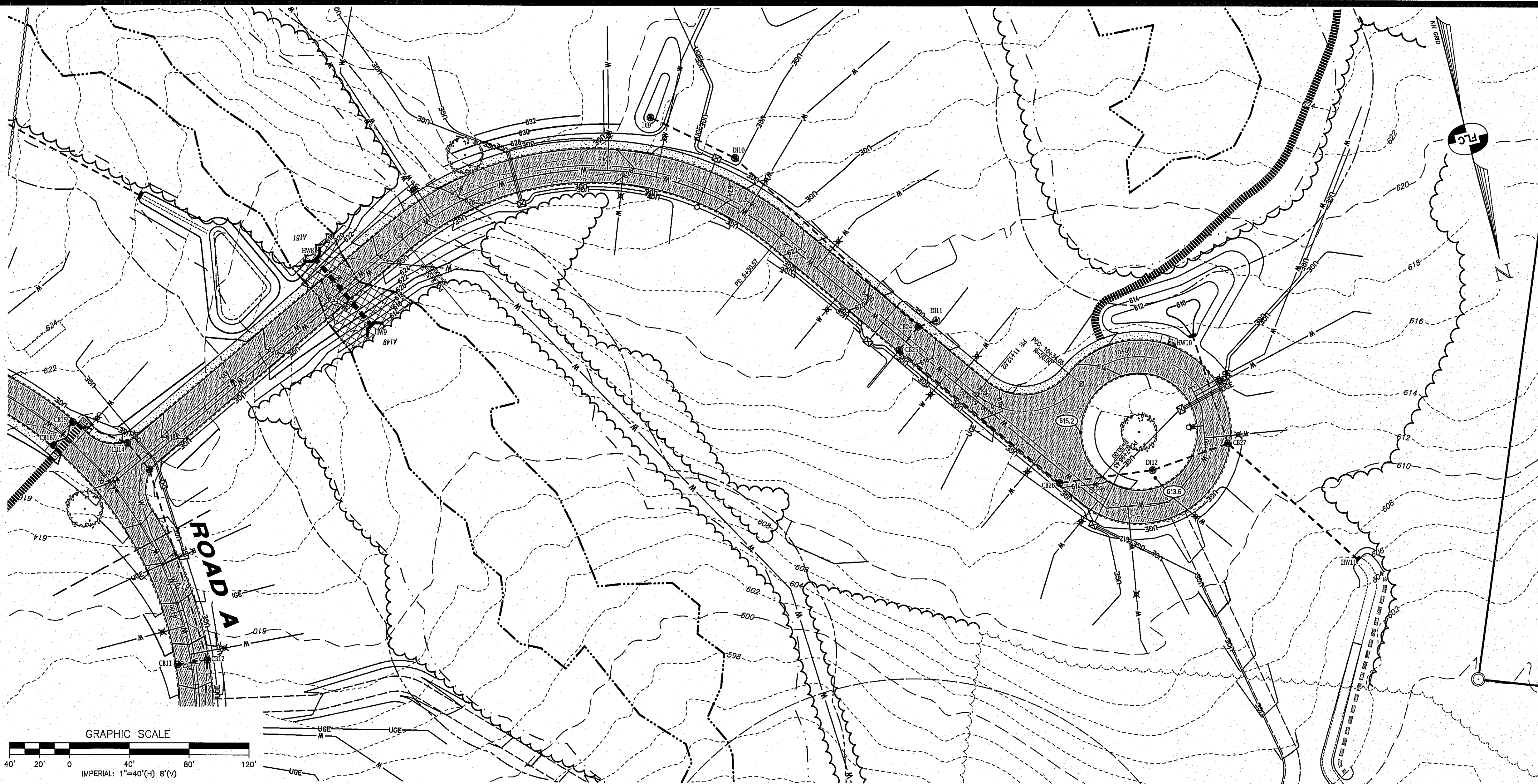


FIELDSTONE
LAND CONSULTANTS, PLLC

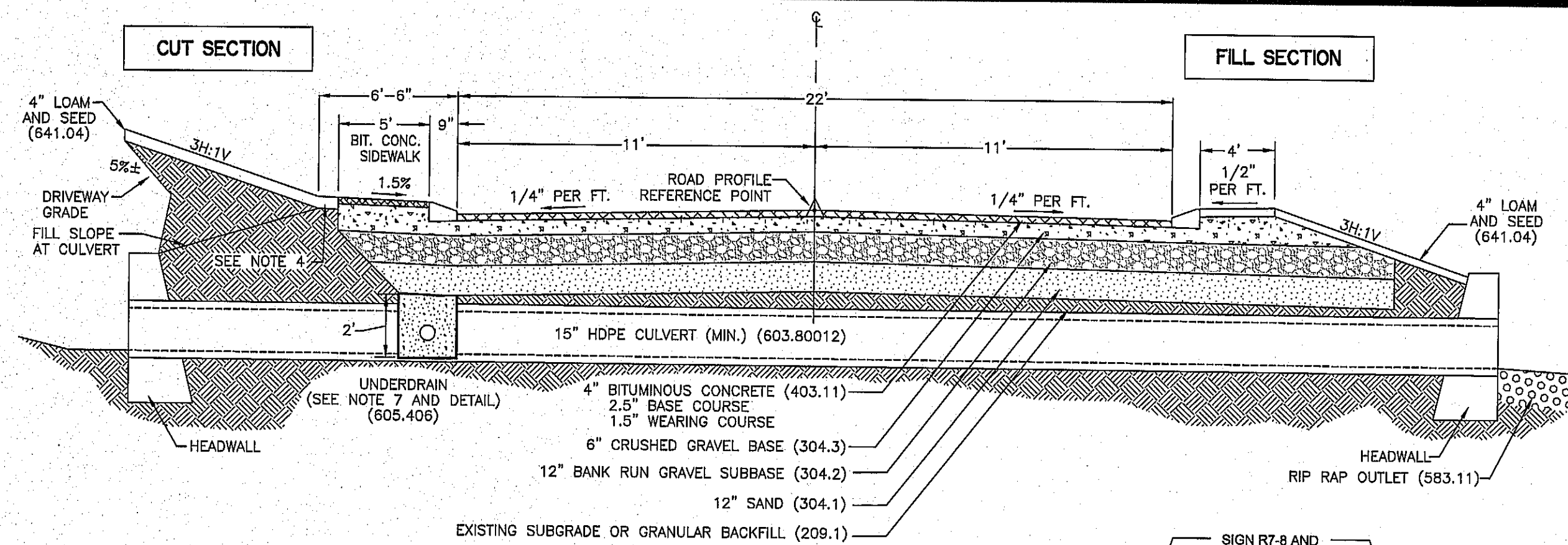
206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 3528SP00.dwg	OCTOBER 20, 2025	SCALE: 1" = 40' HORIZ. / 8' VERT.
--------------------	------------------	-----------------------------------

REV.	DATE	DESCRIPTION	DR	CK
------	------	-------------	----	----



ROAD 'B' STA. 0+00 TO STA. 11+12	JAMES LOGAN 771 CURRIER ROAD CANDIA, NH 03034	<i>FARMS OF CANDIA</i>	PLANS ISSUED FOR:	SCALE: 1" = 40' HORIZ. / 8' VERT.
			MUNICIPAL REVIEW	
PP-4 SHEET	TAX MAP 405, LOTS: 29 & 30 CANDIA, NEW HAMPSHIRE	PROJECT NO. 3528.00	FILE: 3528P00.dwg	
			OCTOBER 20, 2025	



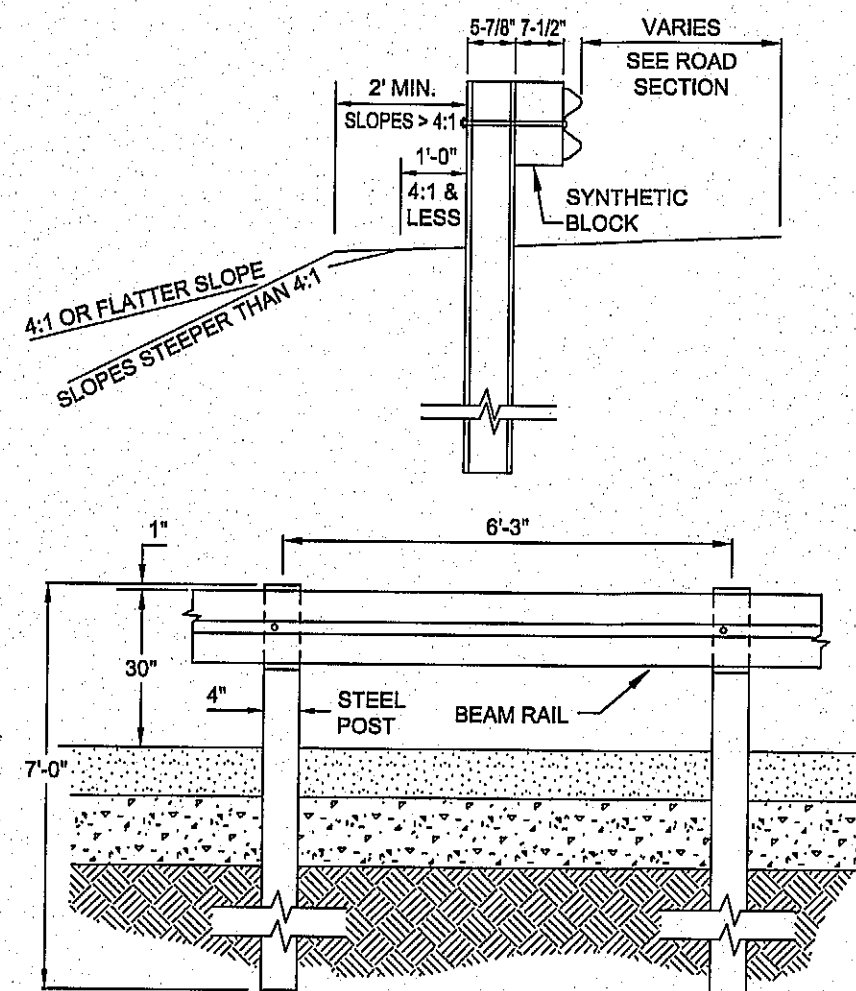
GENERAL ROAD CONSTRUCTION NOTES

1. REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER ROAD FOUNDATION MATERIAL WITHIN 3' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO THE DIRECTOR OF PUBLIC WORKS. COMPACTION TO BE AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM 1557).
2. ALL STRUCTURES AND ROADWAY FILL MUST BE BACKFILLED WITH SUITABLE MATERIAL WITH A MAXIMUM LIFT OF NO GREATER THAN 12" IN DEPTH. ALL FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR. COMPACTION TESTS TO BE COMPLETED NO FURTHER THAN 300 FT. APART.
3. GUARDRAIL REQUIRED FOR ALL SLOPES STEEPER THAN 4:1.
4. A 2.0' SHOULDER EXTENSION IS REQUIRED WHEREVER SLOPES GREATER THAN 4:1 ARE USED/PROPOSED.
5. WHERE ROAD GRADE IS 5% OR GREATER, ROAD SWALE SHALL BE LINED WITH RIPRAP (2 LAYERS, 6" TO 8" STONE, 6' WIDE WITH 6" GRAVEL BASE OR EROSION CONTROL FABRIC).
6. THE CONSTRUCTION OF ALL ROADWAY AND DRAINAGE FACILITIES SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
7. UNDERDRAIN PIPE SHALL BE CONSTRUCTED AS REQUIRED BY THE TOWN OF CANDIA'S CONSULTING ENGINEER. UNDERDRAIN TRENCH TO BE CONSTRUCTED WHENEVER FINISH GRADE IS 24" OR GREATER BELOW EXISTING GROUND. DETERMINATION OF NEED AND EXTENT OF FOR UNDERDRAIN SHALL BE MADE AT TIME OF SUBGRADE INSPECTION. UNDERDRAIN SHALL BE CONSTRUCTED ON UPHILL SIDE OF ROADWAY CUT.
8. SURFACE COURSES SHALL CONFORM TO ALL REQUIREMENTS LISTED IN SECTION 401 OF THE NHDOT STANDARD SPECIFICATIONS.
9. APPROVAL OF PAVING MATERIALS AND CONTRACTORS SHALL BE PRE-APPROVED BY THE PLANNING BOARD, ITS DESIGNATED AGENT OR THE OWNER AS APPLICABLE.
10. THE CONTRACTOR SHALL REMOVE AND REPLACE THE EXISTING GRAVEL ROADWAY WITH THE TYPICAL ROADWAY CROSS-SECTION AS APPLICABLE.

SCALE: N.T.S.

TYPICAL CROSS-SECTION - SUBDIVISION STREET

1 DT-1

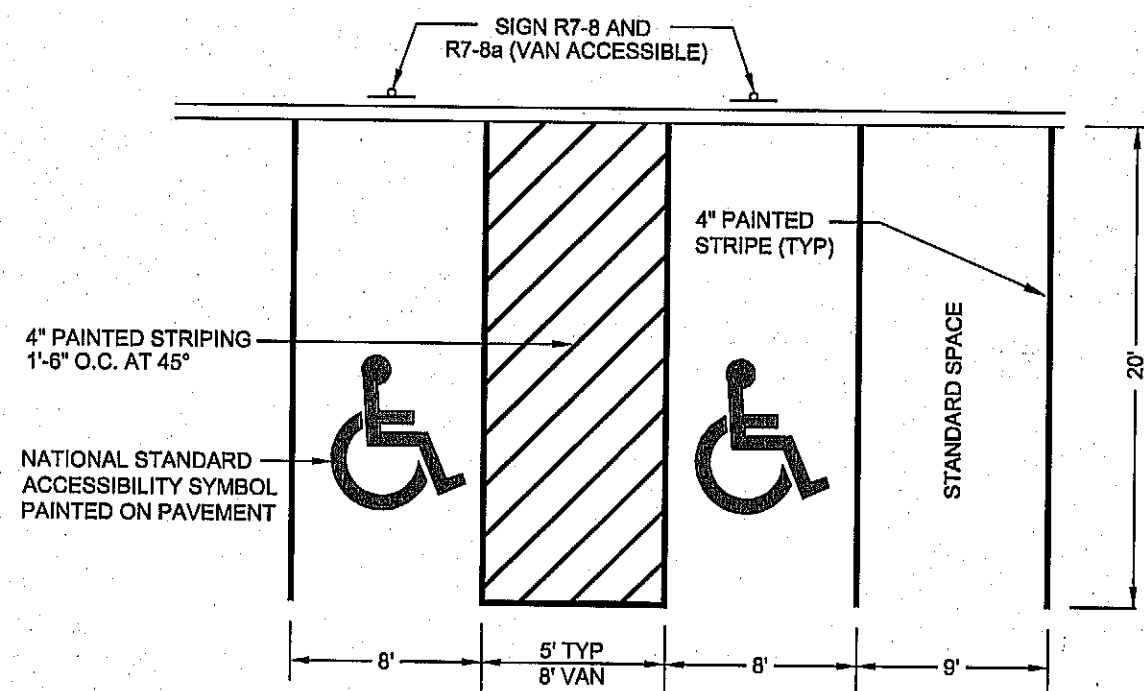
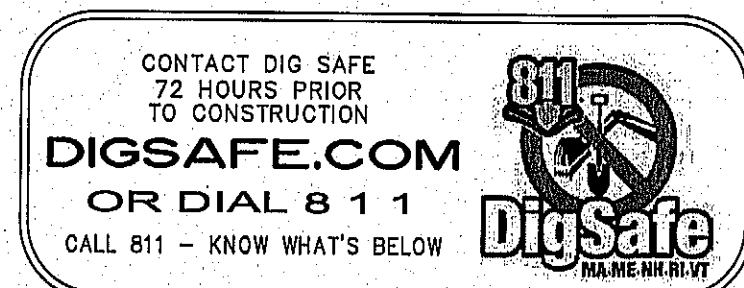


1. ALL MATERIALS AND CONSTRUCTION REQUIREMENTS SHALL CONFORM TO "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS SET FORTH IN SECTION 606, 2010 EDITION.
2. ALL GUARDRAIL SHALL BE STEEL BEAM GUARD RAIL WITH W6X9 STEEL POST AND SYNTHETIC OFFSET BLOCK (606.120).
3. THE END TREATMENT FOR EACH SEGMENT OF RAIL SHALL BE A TERMINAL UNIT TYPE G-2 (606.147) STANDARD No. 8, NHDOT STANDARD PLANS.
4. ALL RAIL MATERIALS SHALL BE GALVANIZED STEEL AND IS SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.

SCALE: N.T.S.

STANDARD NH DOT BEAM GUARDRAIL (OPTIONAL)

2 DT-1



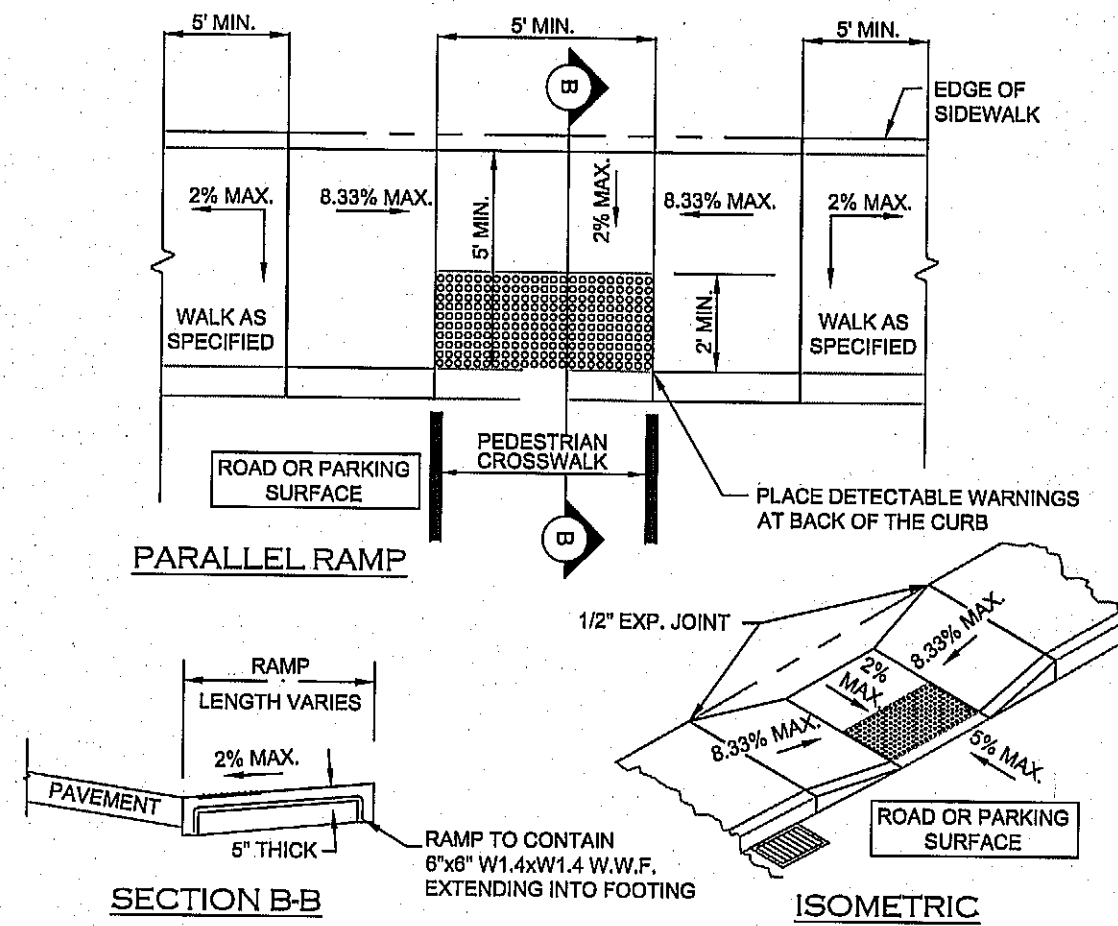
NOTES:

1. MAXIMUM SLOPE IN ANY DIRECTION IS 2.0% FOR HANDICAP SPACES.
2. SEE SITE PLAN FOR LOCATION OF HANDICAP SPACES AND TYPE OF HANDICAP RAMP TO BE USED.
3. HANDICAP SYMBOL SHALL BE CENTERED ON WIDTH OF PARKING STALL AND LOCATED 6" FROM ACCESS DRIVE, INTO PARKING SPACE.
4. THE HANDICAP SYMBOL SHALL HAVE A 5' x 5' CONTRASTING BACKGROUND, NORMALLY BLUE. A BACKGROUND IS NOT REQUIRED IF WHITE OR YELLOW SYMBOL IS ON BLACK ASPHALT.

SCALE: N.T.S.

PARKING STALL LAYOUT

3 DT-1



SECTION B-B

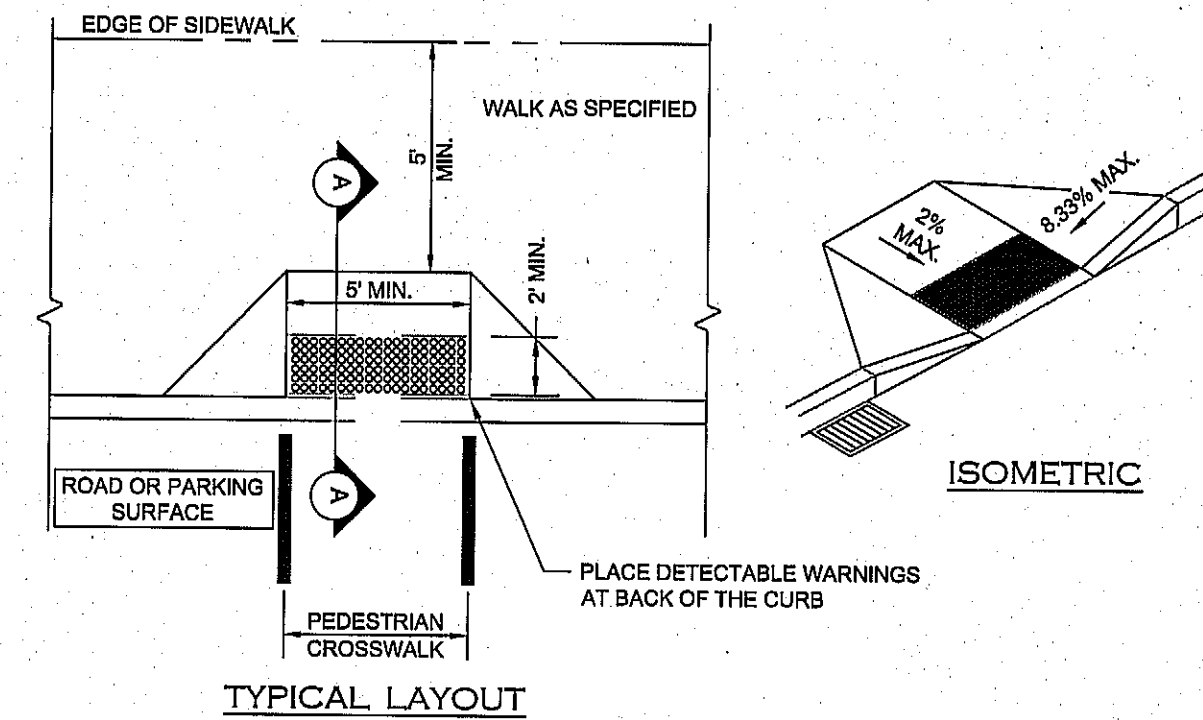
HANDICAP RAMP NOTES:

1. A SIDEWALK CURB RAMP IS DEFINED AS THE ENTIRE CONCRETE SURFACE WHICH INCLUDES THE RAMP AND FLARED SIDES.
2. THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 8.33% (1:12). THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION. THE FLARED SIDE OF THE RAMP SHALL LIE ON A SLOPE OF 10% (1:10) MAXIMUM MEASURED ALONG THE CURB.
3. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMP SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FEET FROM THE ROADWAY CURBLINE.
4. INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF SIDEWALK CURB RAMPS OR LANDINGS. CATCH BASINS, MANHOLES, ETC. SHALL NOT BE LOCATED IN, OR AT THE BASE OF, SIDEWALK CURB RAMPS OR LANDINGS.
5. THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS. IT IS DESIRABLE THAT THE LOCATION OF THE RAMP BE AS CLOSE AS POSSIBLE TO THE CENTER OF THE CROSSWALK.
6. THE SIDEWALK CURB RAMP OR THE LANDING AREA (PARALLEL SIDEWALK CURB RAMP) SHALL CONTRAST VISUALLY WITH THE ADJOINING SIDEWALK SURFACE, EITHER ASPHALT/LIGHT-COLORED CONCRETE OR LIGHT-COLORED CONCRETE/DARK-STAINED CONCRETE. THE CONCRETE SURFACE SHALL BE SLIP RESISTANT (BROOM FINISHED).
7. DETECTABLE WARNING PANELS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION OR LANDING AND THE STREET.
8. A LEVEL LANDING 6'-0" DEEP, WITH A 2% MAXIMUM SLOPE IN EACH DIRECTION SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP TO ALLOW SAFE EGRESS FROM THE RAMP SURFACES. THE WIDTH OF THE LEVEL LANDING SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE RAMP. A LEVEL LANDING 4' DEEP SHALL BE PROVIDED AT ALL PEDESTRIAN PUSH BUTTONS AT SIGNALIZED CROSSINGS.
9. RAMP OPENING SHALL BE THE SAME WIDTH AS THE SIDEWALK, UP TO 6'-0" WIDE.
10. FOR NEW CONSTRUCTION - ALL DETECTABLE WARNINGS ARE TO BE CAST IRON AND SET IN CONCRETE.

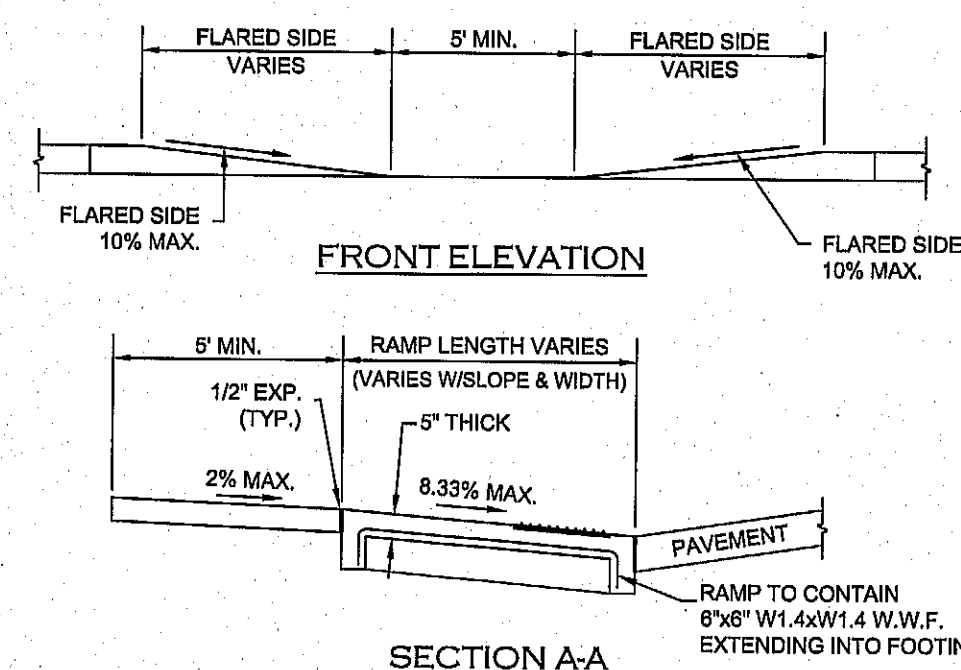
SCALE: N.T.S.

HANDICAP SIDEWALK RAMP - HCR2

4 DT-1



TYPICAL LAYOUT



SECTION A-A

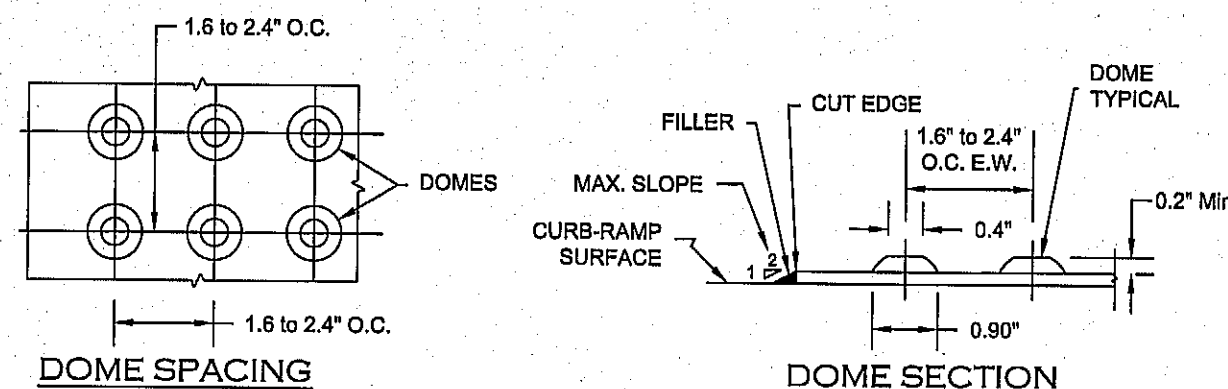
HANDICAP RAMP NOTES:

1. A SIDEWALK CURB RAMP IS DEFINED AS THE ENTIRE CONCRETE SURFACE WHICH INCLUDES THE RAMP AND FLARED SIDES.
2. THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 8.33% (1:12). THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION. THE FLARED SIDE OF THE RAMP SHALL LIE ON A SLOPE OF 10% (1:10) MAXIMUM MEASURED ALONG THE CURB.
3. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMPS SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FEET FROM THE ROADWAY CURBLINE.
4. INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF SIDEWALK CURB RAMPS OR LANDINGS. CATCH BASINS, MANHOLES, ETC. SHALL NOT BE LOCATED IN, OR AT THE BASE OF, SIDEWALK CURB RAMPS OR LANDINGS.
5. THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS. IT IS DESIRABLE THAT THE LOCATION OF THE RAMP BE AS CLOSE AS POSSIBLE TO THE CENTER OF THE CROSSWALK.
6. THE SIDEWALK CURB RAMP OR THE LANDING AREA (PARALLEL SIDEWALK CURB RAMP) SHALL CONTRAST VISUALLY WITH THE ADJOINING SIDEWALK SURFACE, EITHER ASPHALT/LIGHT-COLORED CONCRETE OR LIGHT-COLORED CONCRETE/DARK-STAINED CONCRETE. THE CONCRETE SURFACE SHALL BE SLIP RESISTANT (BROOM FINISHED).
7. DETECTABLE WARNING PANELS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION OR LANDING AND THE STREET.
8. A LEVEL LANDING 6'-0" DEEP, WITH A 2% MAXIMUM SLOPE IN EACH DIRECTION SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP TO ALLOW SAFE EGRESS FROM THE RAMP SURFACES. THE WIDTH OF THE LEVEL LANDING SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE RAMP. A LEVEL LANDING 4' DEEP SHALL BE PROVIDED AT ALL PEDESTRIAN PUSH BUTTONS AT SIGNALIZED CROSSINGS.
9. RAMP OPENING SHALL BE THE SAME WIDTH AS THE SIDEWALK, UP TO 6'-0" WIDE.
10. FOR NEW CONSTRUCTION - ALL DETECTABLE WARNINGS ARE TO BE CAST IRON AND SET IN CONCRETE.

SCALE: N.T.S.

HANDICAP SIDEWALK RAMP - HCR1

5 DT-1



NOTES:

1. DETECTABLE WARNINGS SHALL BE PROVIDED WHERE EVER A CURB RAMP CROSSES A VEHICULAR WAY.
2. DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE.
3. DETECTABLE WARNINGS MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT OR DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
4. DETECTABLE WARNINGS SHALL BE PLACED 8" TO 8" BEHIND THE FACE OF THE CURB JOINT.
5. DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEETGOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. THE SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES GUIDELINES 4.29, 10.3.

SCALE: N.T.S.

DETECTABLE WARNING SURFACE FOR HANDICAP RAMPS

6 DT-1

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF CANDIA AND THE NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2016.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
4. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
5. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
8. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

SCALE: N.T.S.

GENERAL CONSTRUCTION NOTES

7 DT-1

1. INSTALL STONE CHECK DAMS AND SILTATION CONTROL FENCES IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
3. CUT AND CLEAR TREES: DISPOSE OF DEBRIS. STUMPS ARE TO BE GROUND AND THE GRINDINGS STOCK-PILED ON SITE. STUMP TAILINGS SHALL BE USED FOR EROSION CONTROL. EXCESS TAILINGS SHALL BE COMPACTED WITH SUITABLE MATERIAL IN NON STRUCTURAL FILL SLOPES. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
4. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. CONSTRUCT ROAD AND INSTALL DRAINAGE PIPES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
7. PLACE STONE CHECK DAMS AROUND INLETS AROUND ALL STRUCTURES UNTIL ROAD AND PARKING AREAS ARE PAVED AND ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER. SILT SACKS MAY BE UTILIZED IN PLACE OF STONE CHECK DAMS ON CATCHBASINS.
8. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
9. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
10. FINISH GRADING TO PREPARE FOR PAVING AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
11. FINISH PAVING. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF ROAD AND PARKING AREA PAVING (SEE EROSION CONTROL NOTES).
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
14. IN AN EFFORT TO RESTORE ADEQUATE INFILTRATION RATES OF THE BASINS PRIOR TO USE, THE BASES OF THE INFILTRATION BASINS SHALL BE DEEPLY TILLED AND THEN FOLLOWED BY A PASS WITH A LEVELING DRAG. STORMWATER FLOWS ARE NOT TO BE DIRECTED INTO THE INFILTRATION BASINS UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
15. ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.

SCALE: N.T.S.

CONSTRUCTION SEQUENCE NOTES

8 DT-1

REV.	DATE	DESCRIPTION	C/O	DR	CK
-	-	-	-	-	-

GENERAL CONSTRUCTION DETAILS

TAX MAP 405 LOTS 29 & 30

(466 & 476 HIGH STREET)

CANDIA, NEW HAMPSHIRE

PREPARED FOR:

JAMES LOGAN

273 CURRIER ROAD, CANDIA, NH 03034

LAND OF:

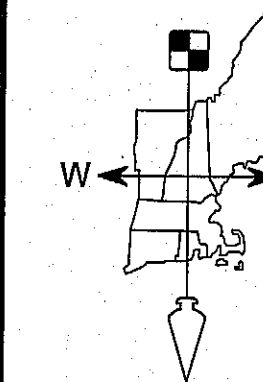
LONDON BRIDGE SOUTH, INC.

273 CURRIER ROAD, CANDIA, NH 03034

SCALE: NOT TO SCALE

OCTOBER 20, 2025

Surveying + Engineering + Land Planning + Permitting + Septic Designs



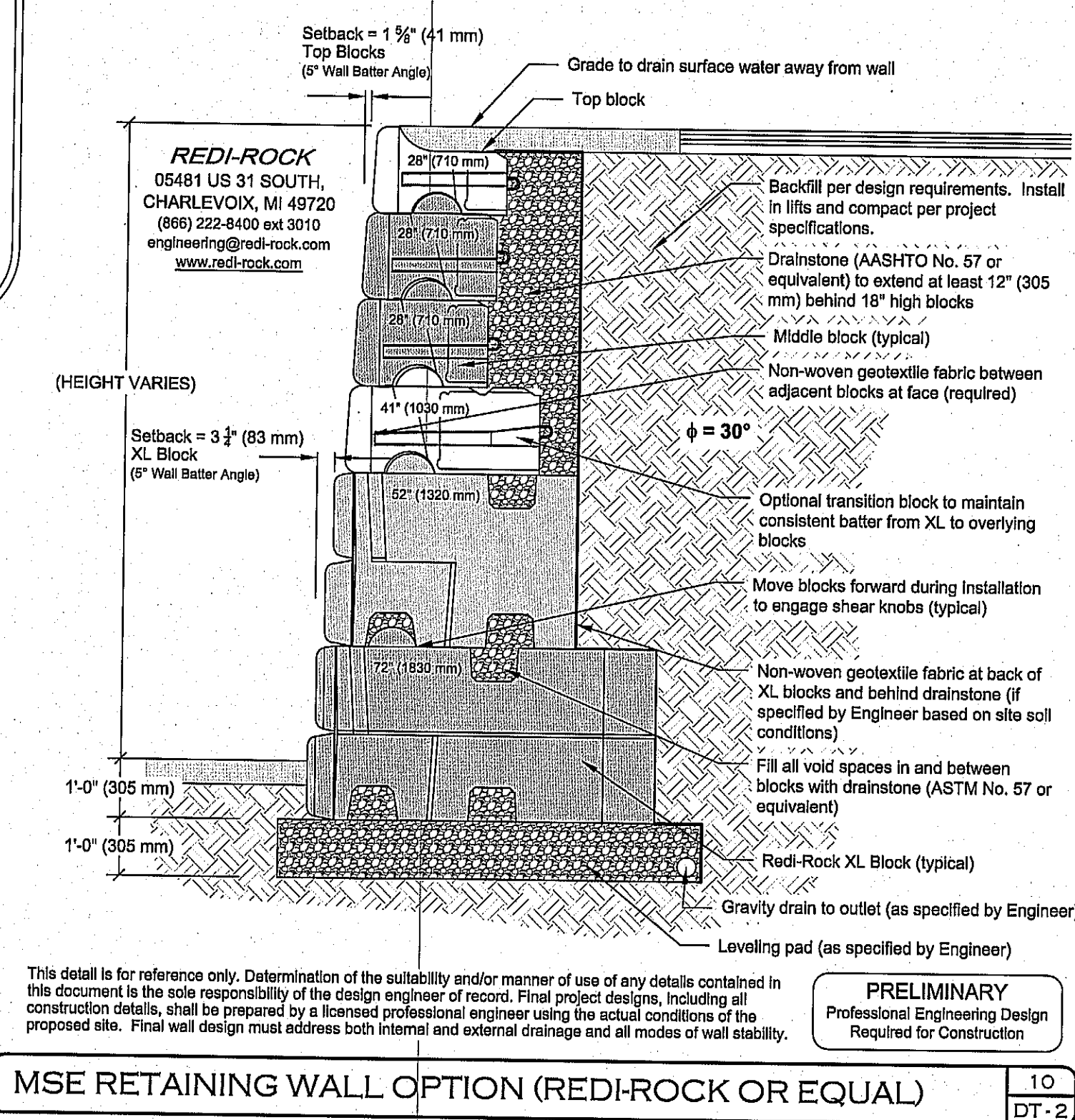
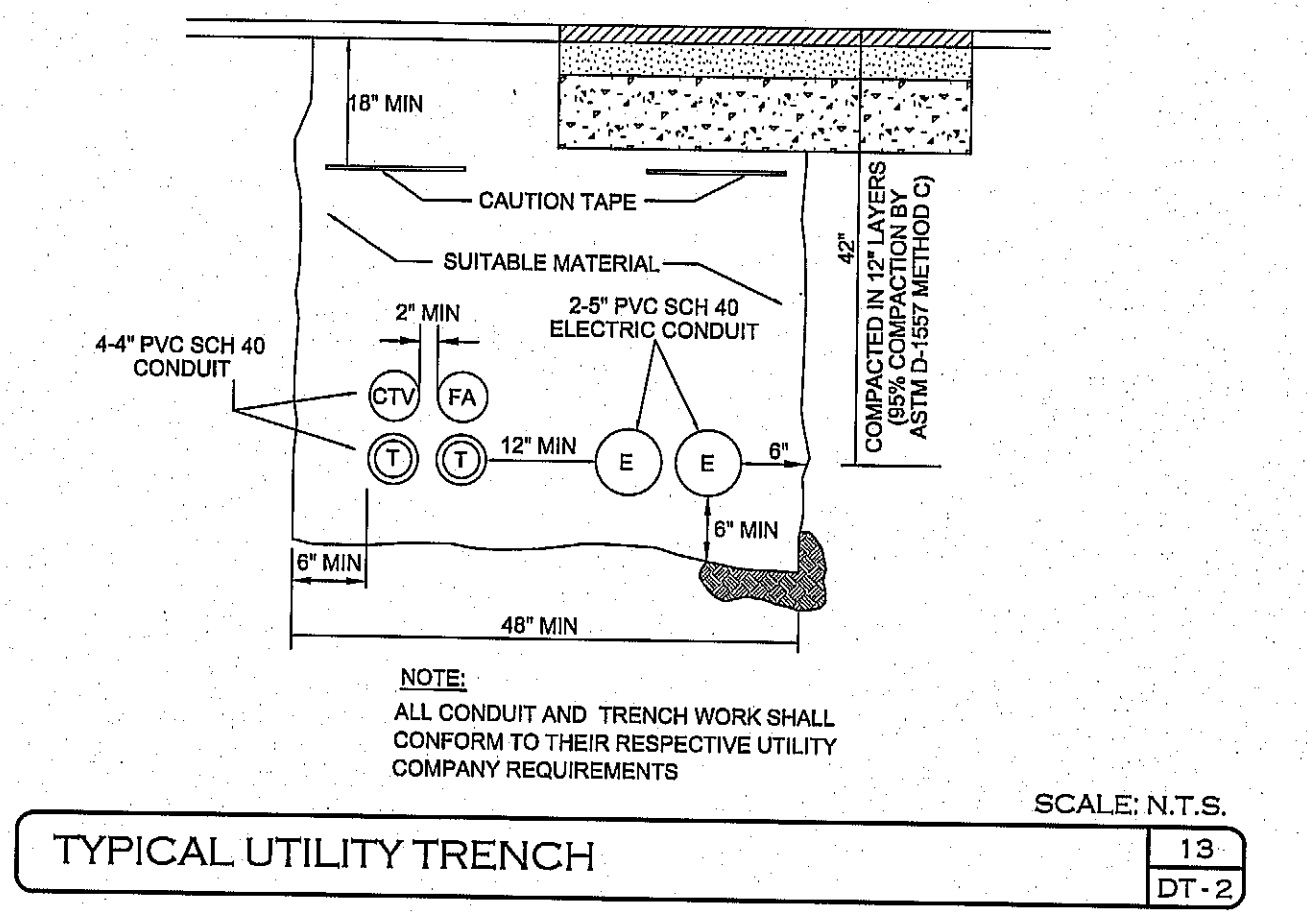
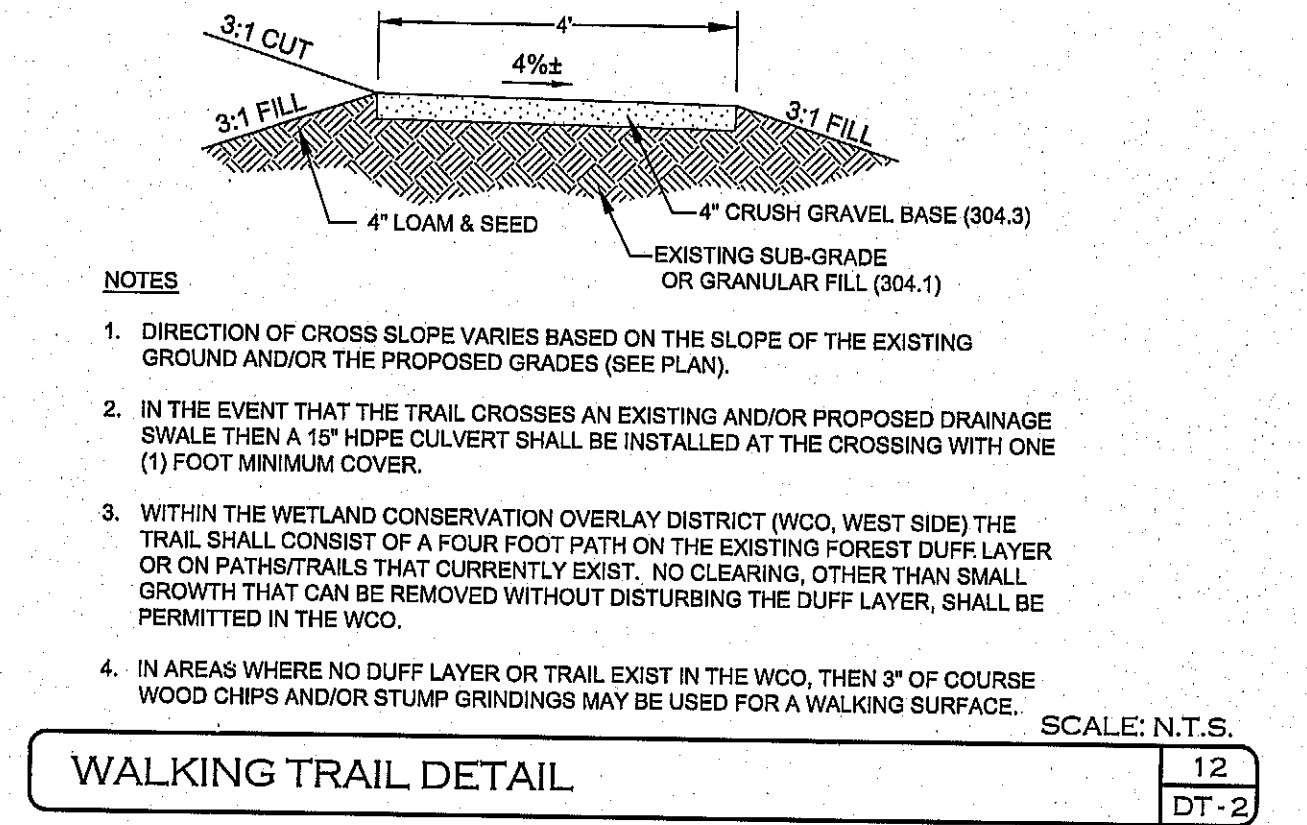
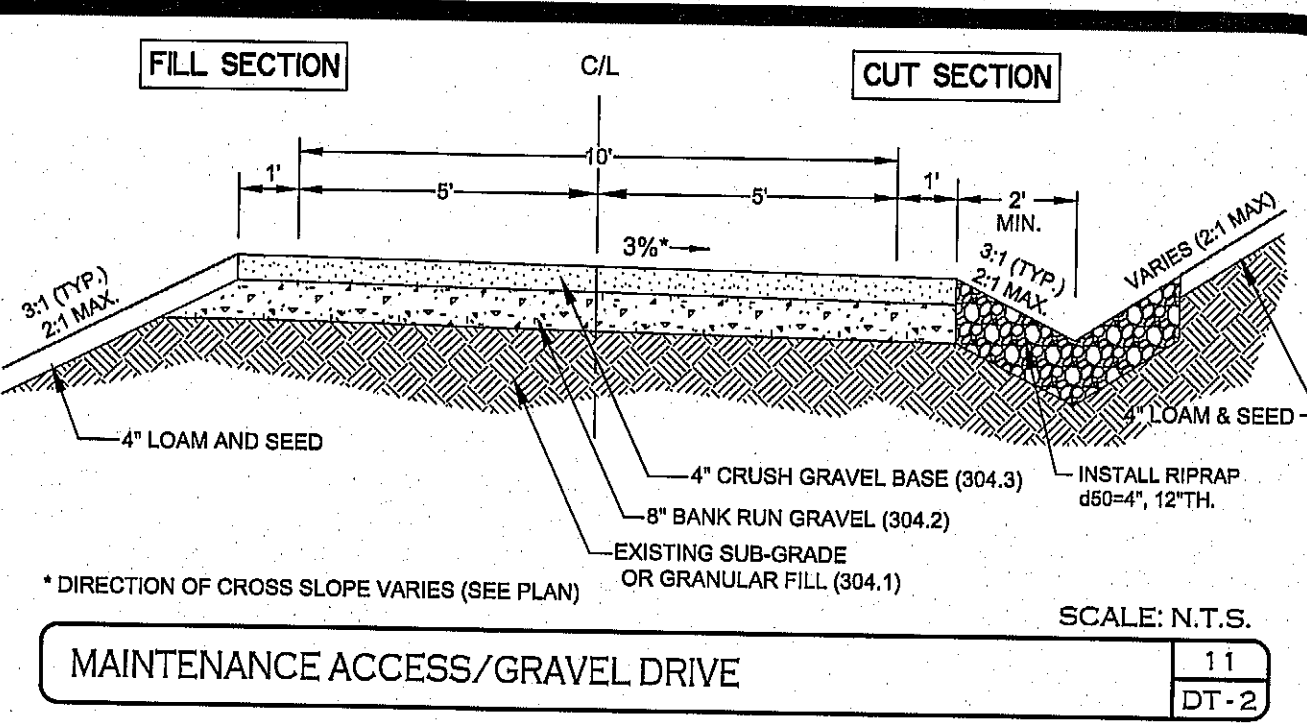
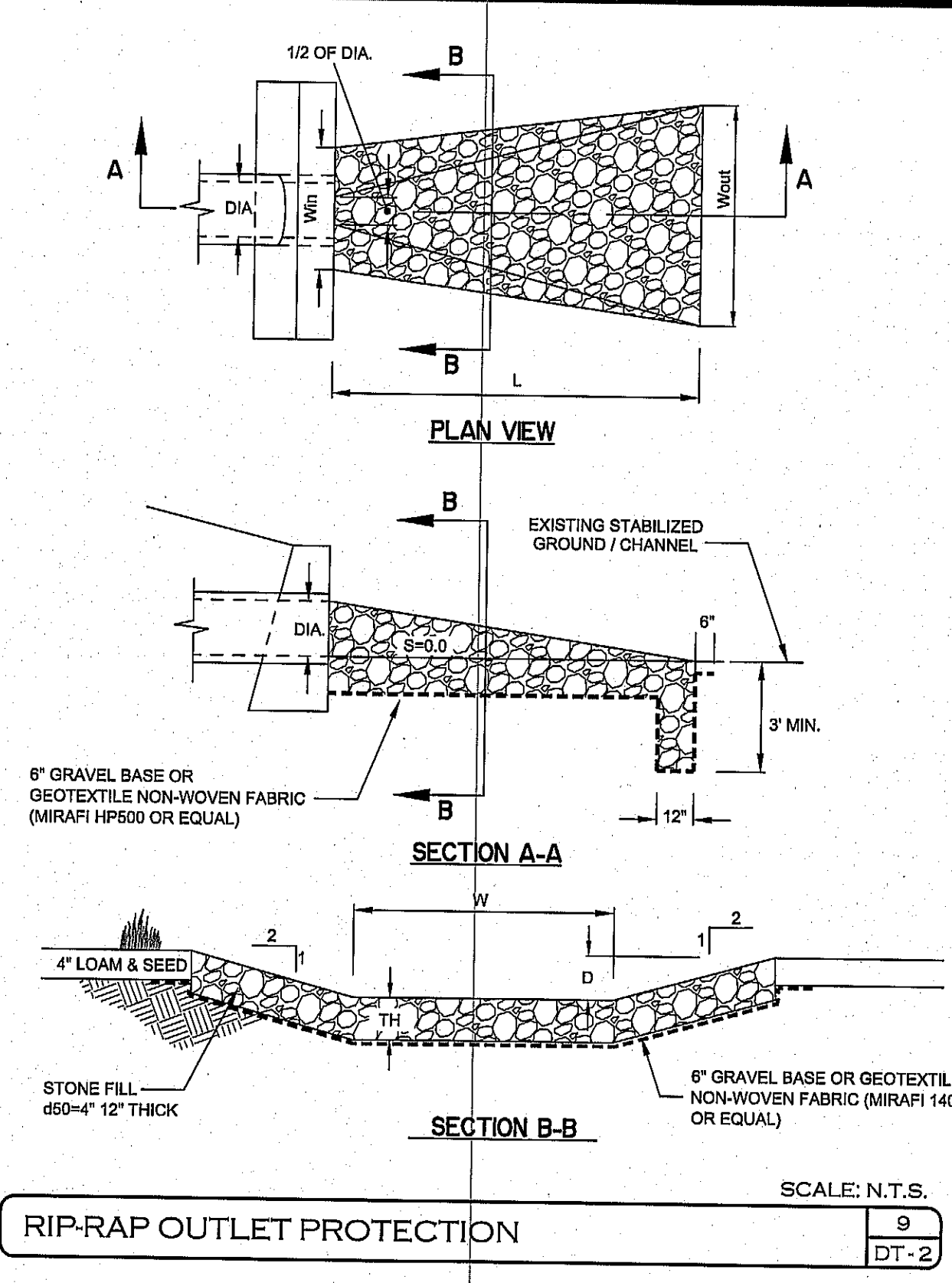
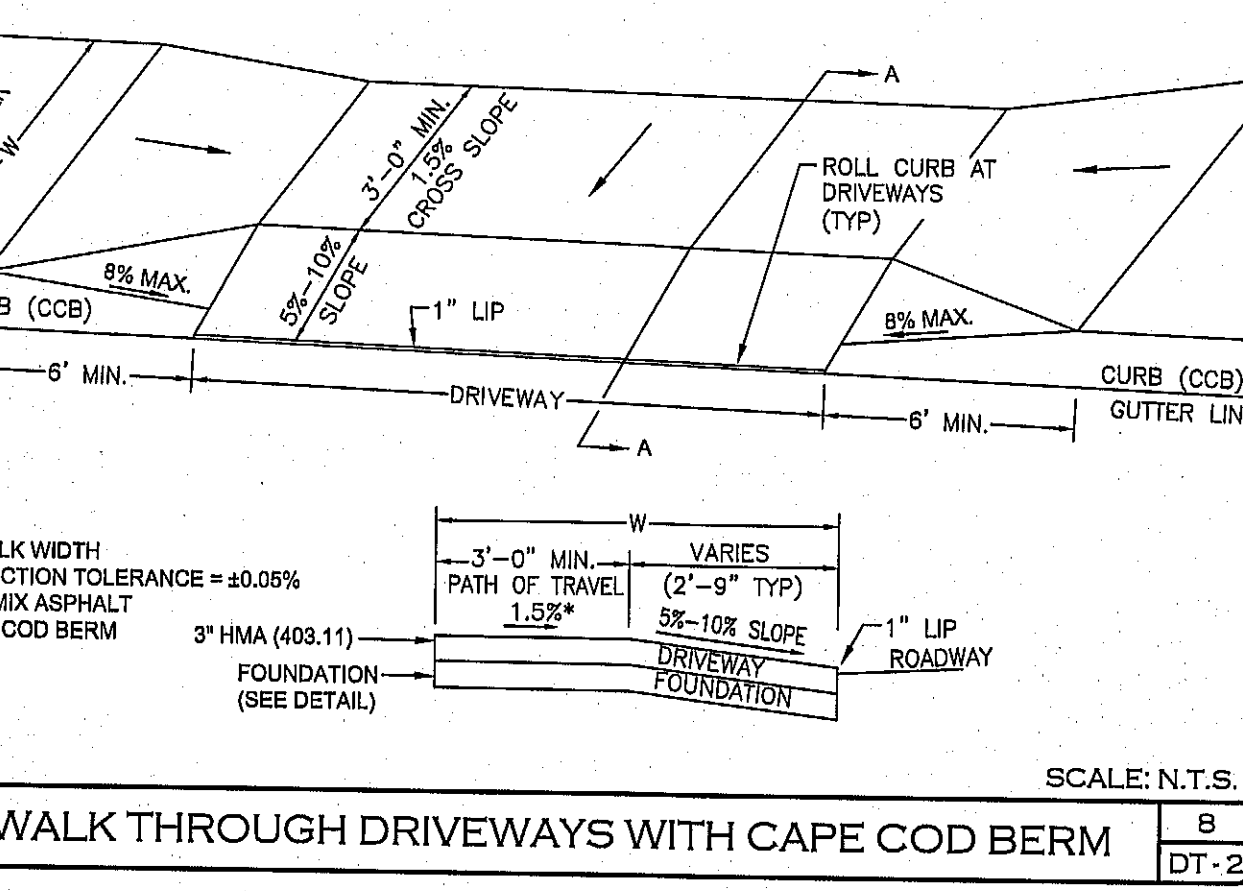
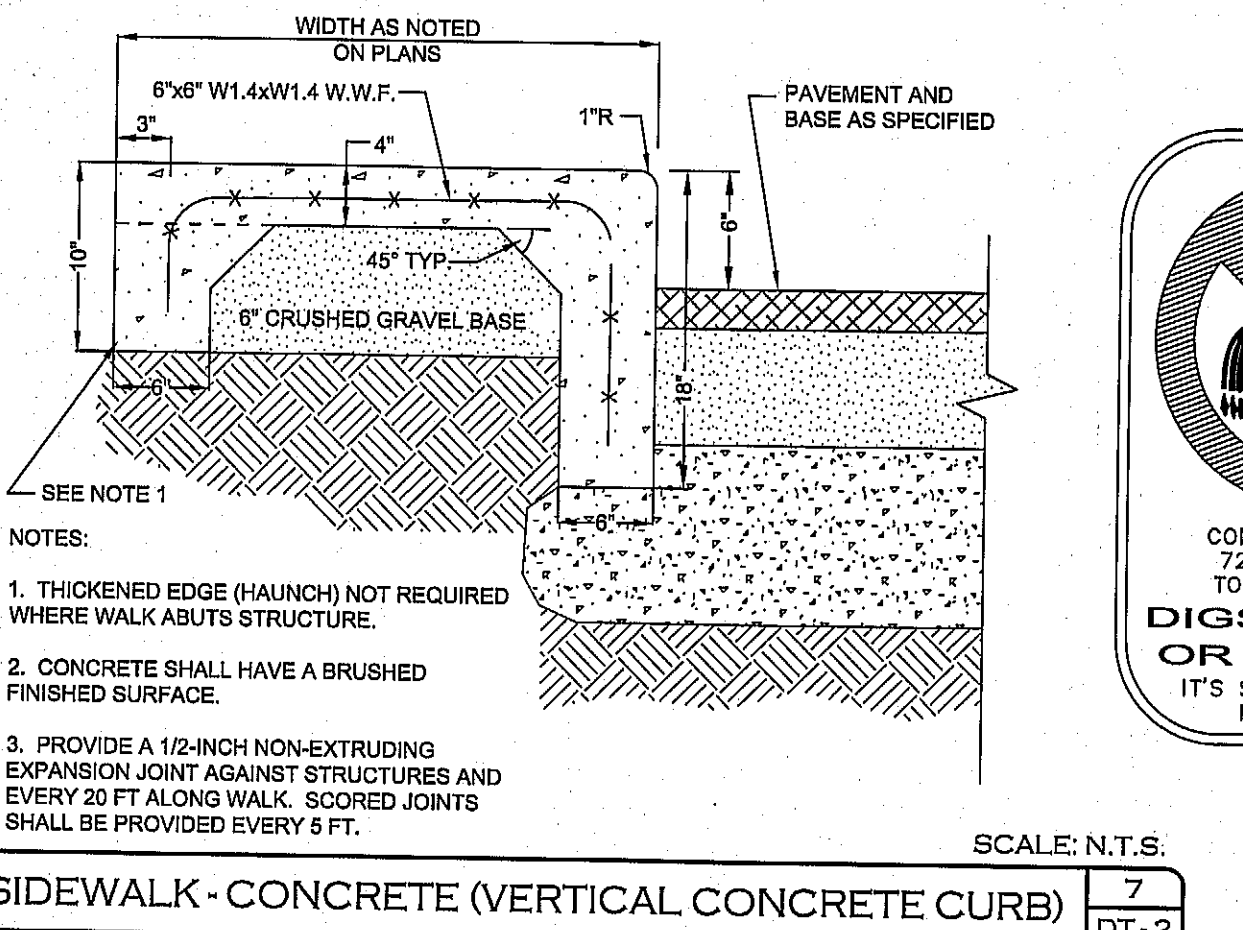
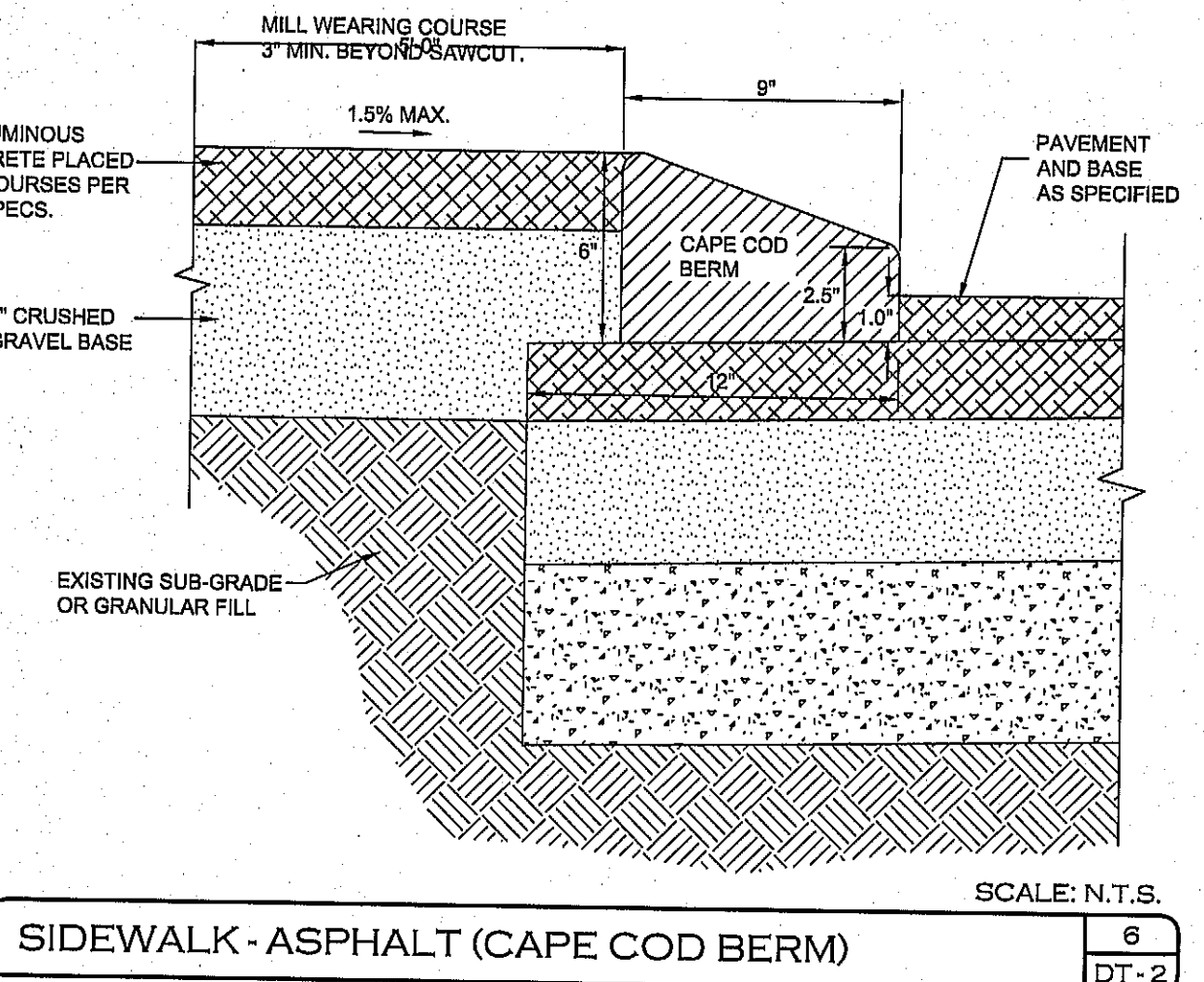
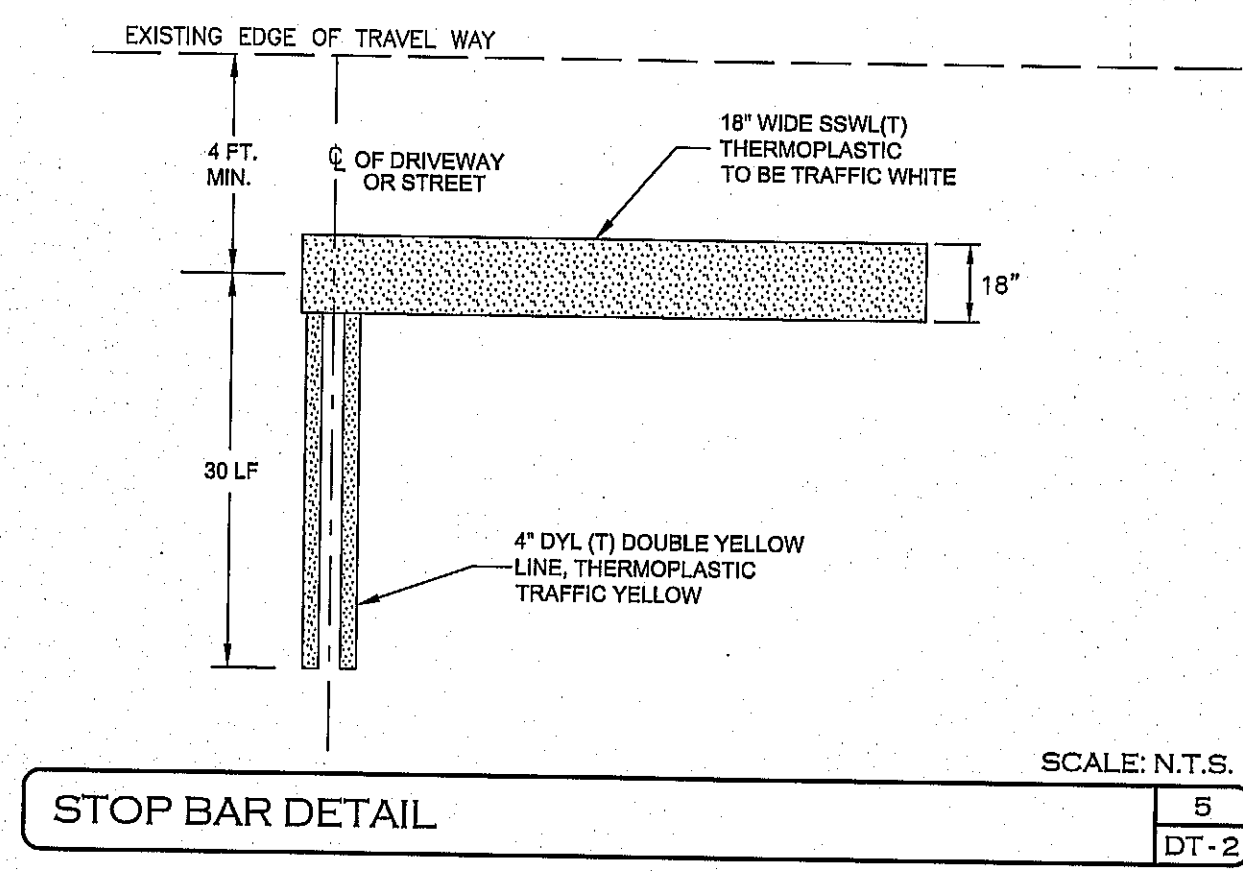
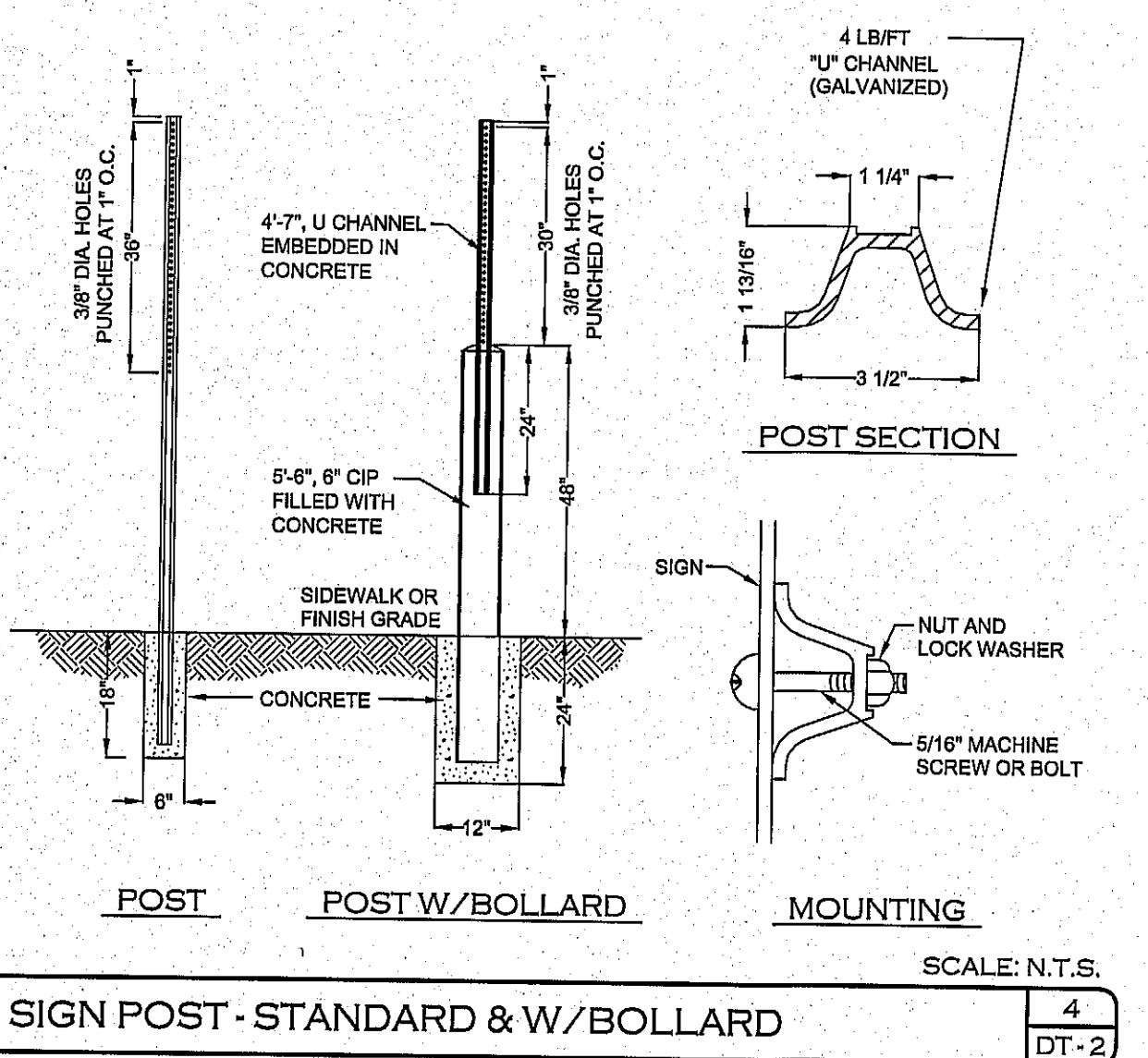
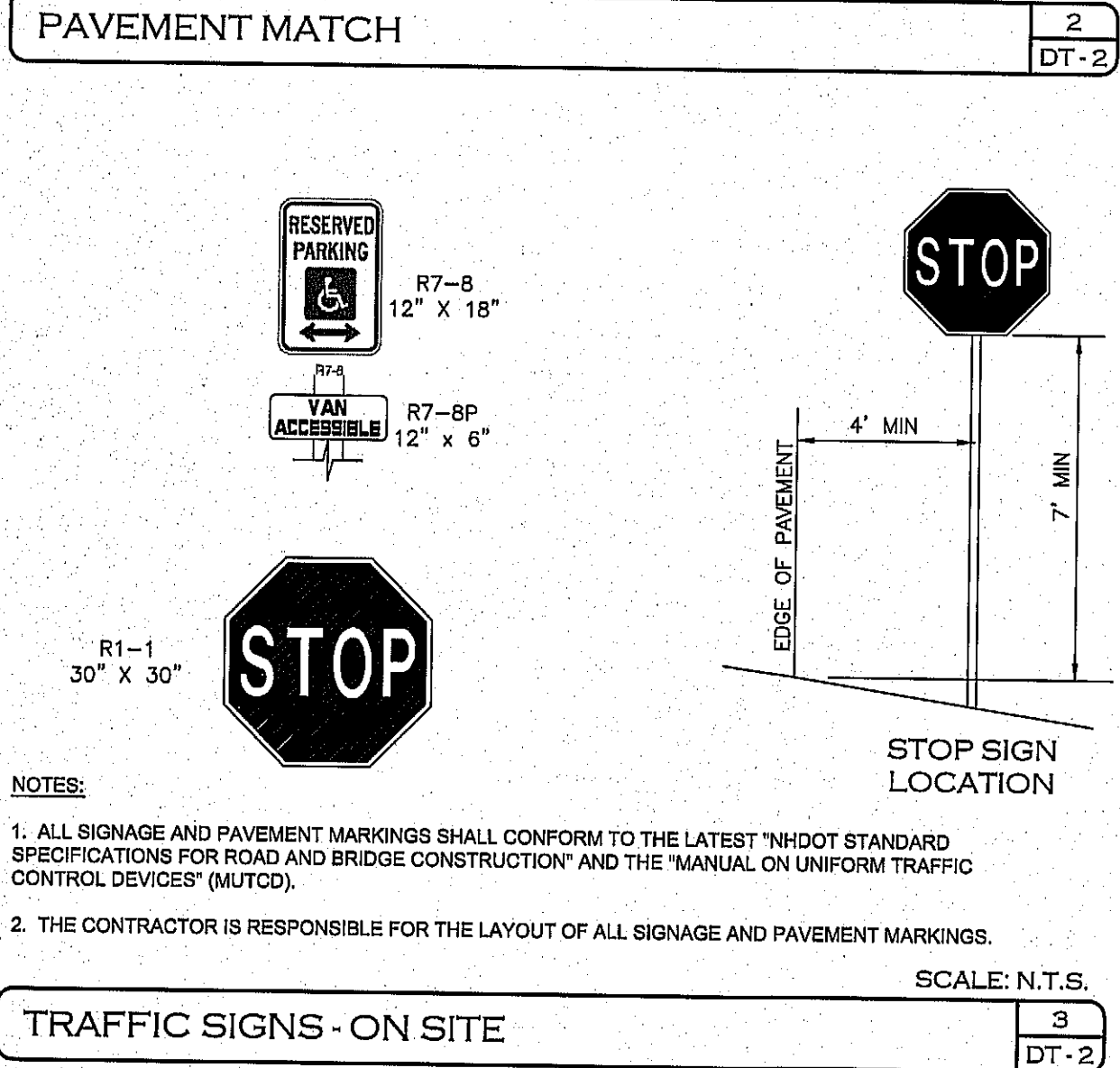
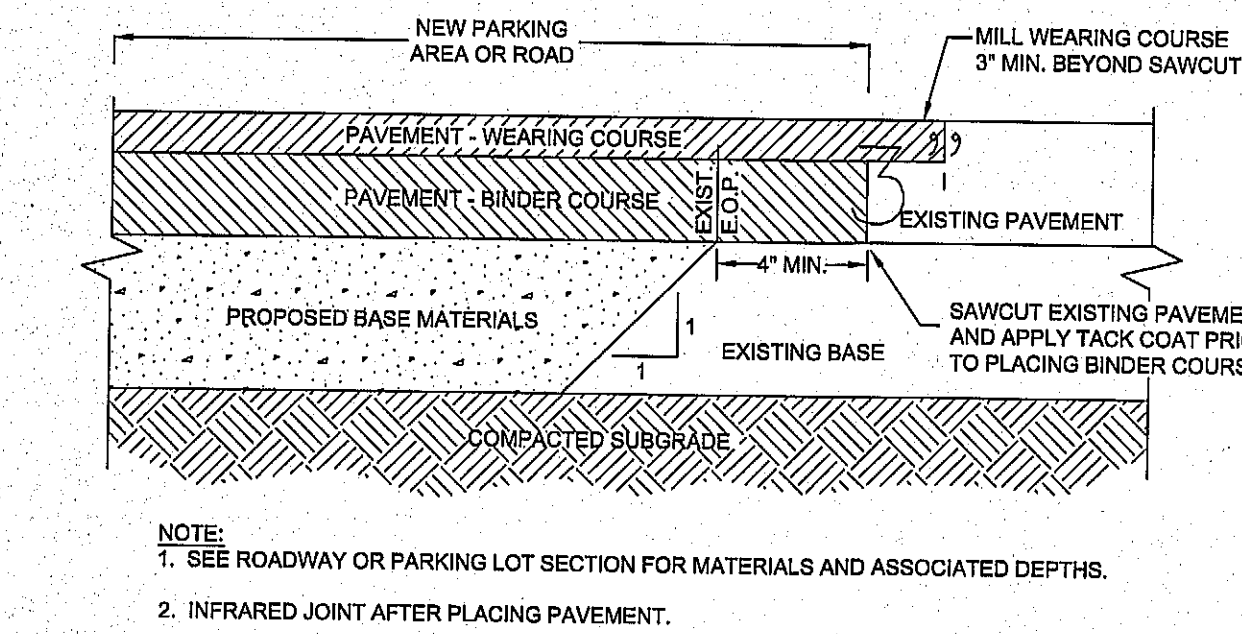
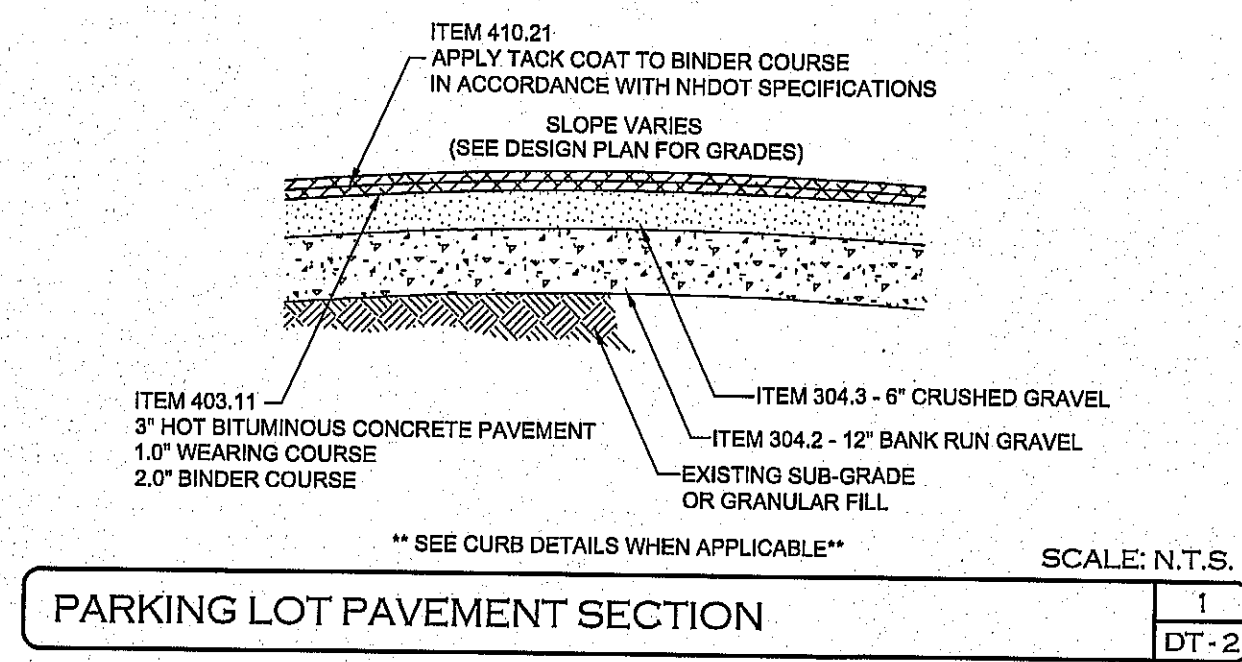
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 3528DT00.dwg

PROJ. NO. 3528.00

SHEET: DT-1



GENERAL CONSTRUCTION DETAILS

**TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE**

**PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034**

**LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034**

SCALE: NOT TO SCALE

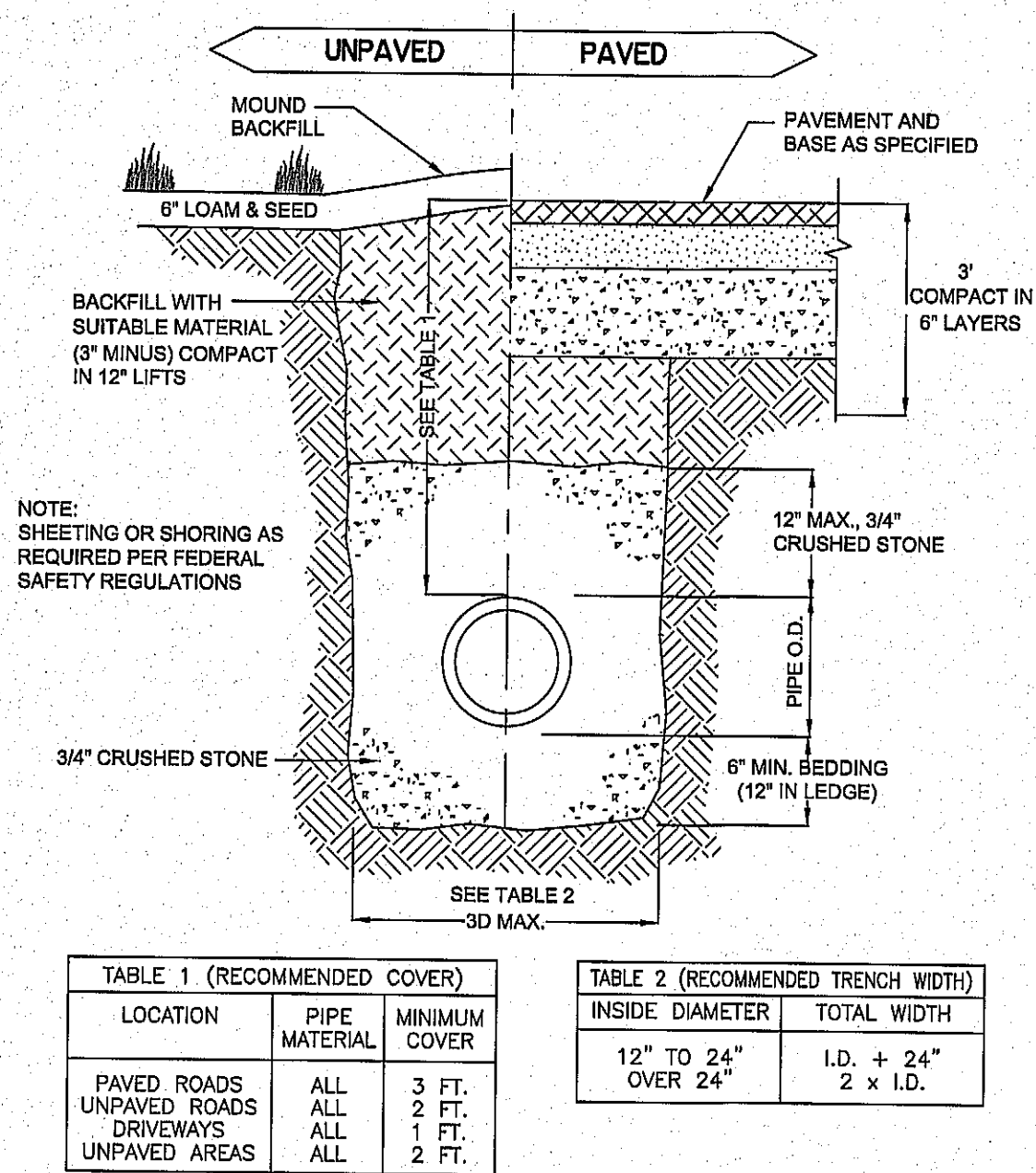
OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

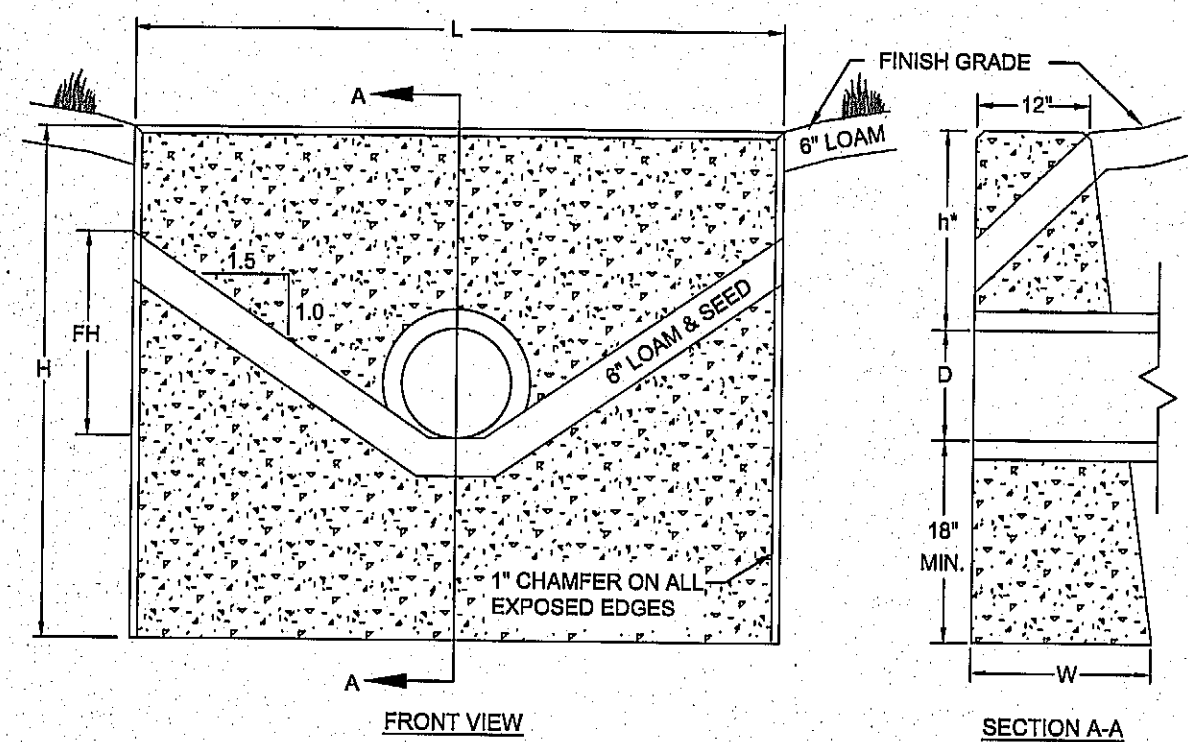
**FIELDSTONE
LAND CONSULTANTS, PLLC**

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 3528DT00.dwg PROJ. NO. 3528.00 SHEET: DT-2



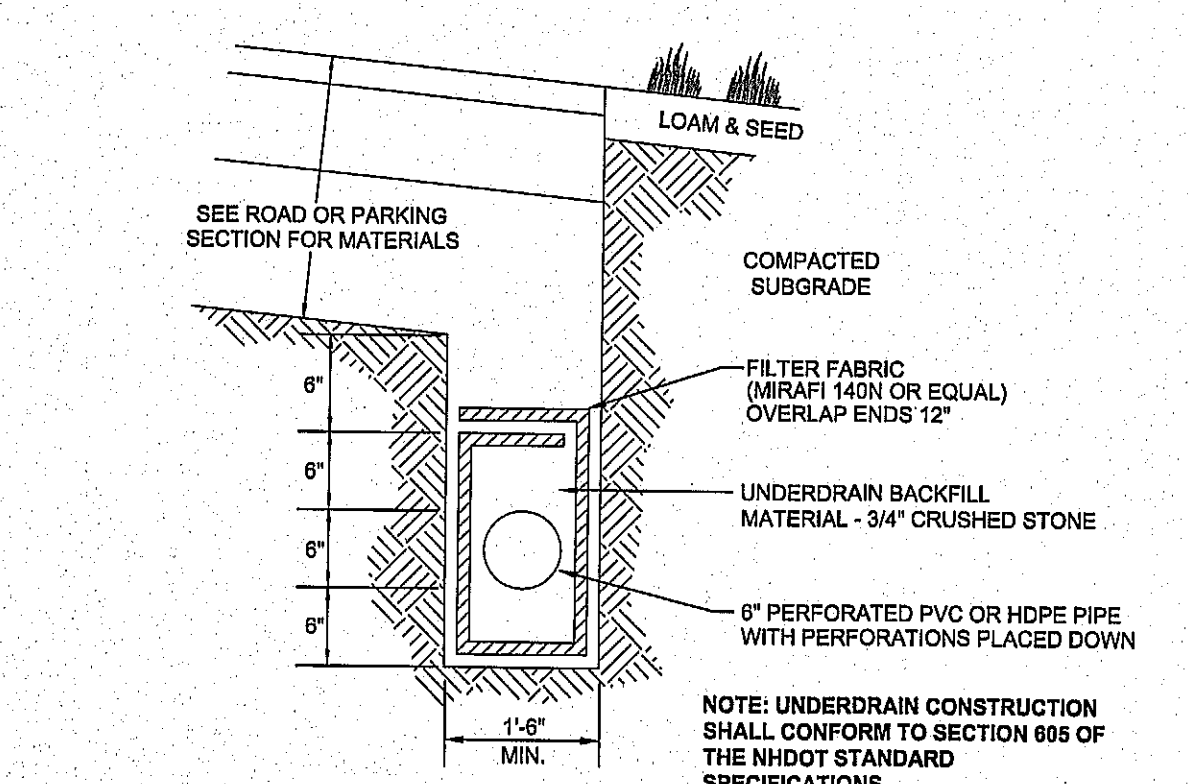
DRAINAGE TRENCH (TYPICAL) SCALE: N.T.S. DT-3



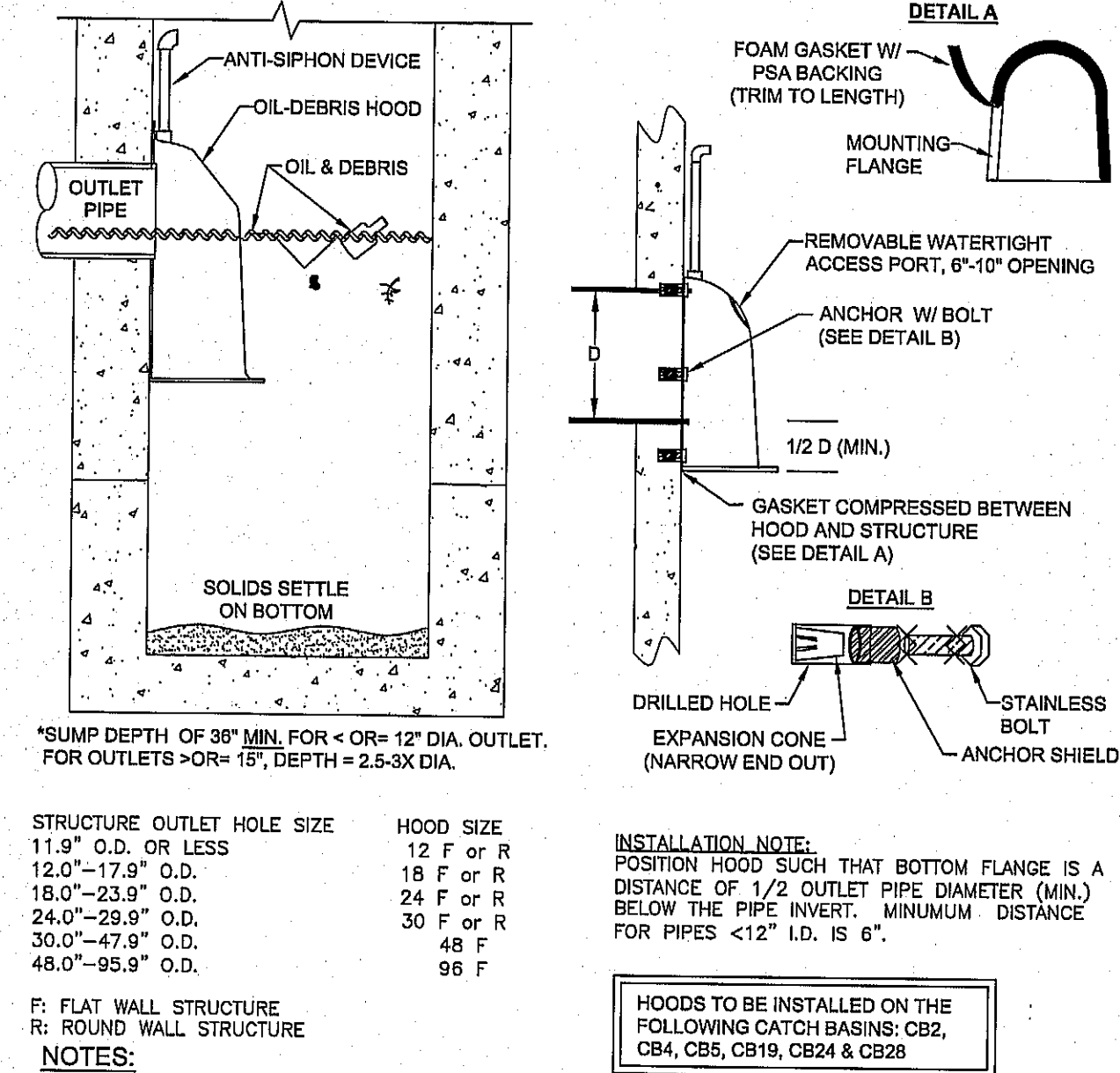
CULVERT DIAM.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	TOP HEIGHT	HEADWALL BOTTOM
D	L	H	FH	h	W
INCHES	FEET & INCHES	FEET & INCHES	FEET & INCHES	FEET & INCHES	FEET & INCHES
12	4'-3"	3'-9"	1'-1"	1'-3"	1'-11.25"
15	6'-0"	4'-3"	1'-7"	1'-6"	2'-0.75"
18	7'-0"	4'-6"	1'-10"	1'-6"	2'-1.50"
24	9'-0"	5'-0"	2'-4"	1'-6"	2'-3.00"
30	11'-0"	5'-6"	2'-10"	1'-6"	2'-4.50"
36	13'-0"	6'-0"	3'-4"	1'-6"	2'-6.00"

HEADWALL SHALL BE STEEL REINFORCED AND CONFORM TO NHDOT STANDARD PLAN HW-2, LAST REVISED JUNE 16, 2010.

HEADWALL - PRECAST CONCRETE SCALE: N.T.S. DT-3

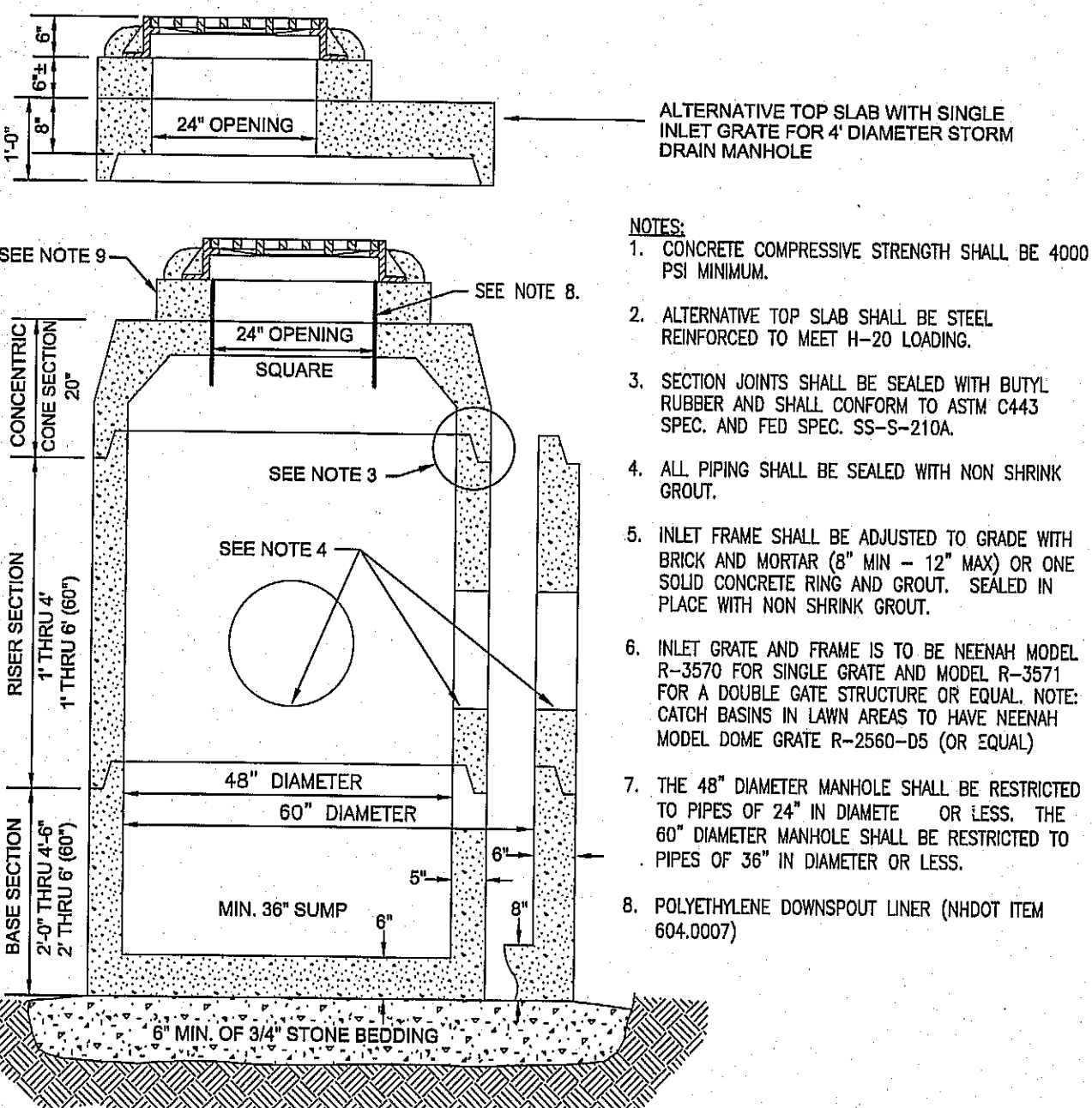


UNDERDRAIN DETAIL SCALE: N.T.S. DT-3

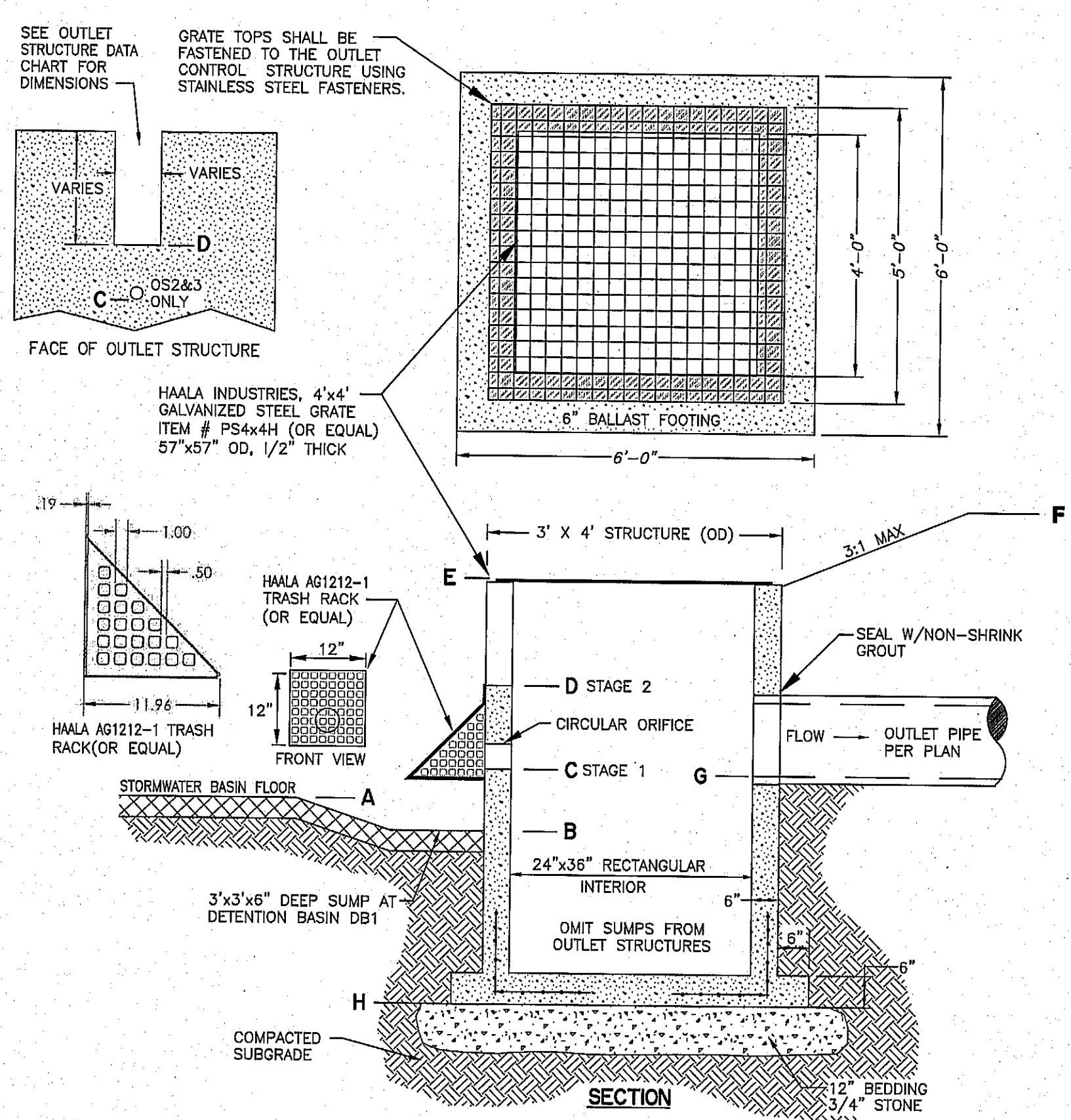


- STRUCTURE OUTLET HOLE SIZE: 11.9" O.D. OR LESS, 12.0"-17.9" O.D., 18.0"-23.9" O.D., 24.0"-29.9" O.D., 30.0"-47.9" O.D., 48.0"-95.9" O.D.
- HOOD SIZE: 12" F or R, 18" F or R, 24" F or R, 30" F or R, 48" F, 96" F
- INSTALLATION NOTE: POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES <12" I.D. IS 6".
- HOODS TO BE INSTALLED ON THE FOLLOWING CATCH BASINS: CB2, CB4, CB5, CB19, CB24 & CB28
- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
 - THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
 - THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <12" I.D.
 - THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
 - THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND THE PIPE SHALL BE TRIMMED FLUSH TO WALL.
 - THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
 - ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC., LYME, CT OR EQUAL.

OIL - DEBRIS HOOD SCALE: N.T.S. DT-3

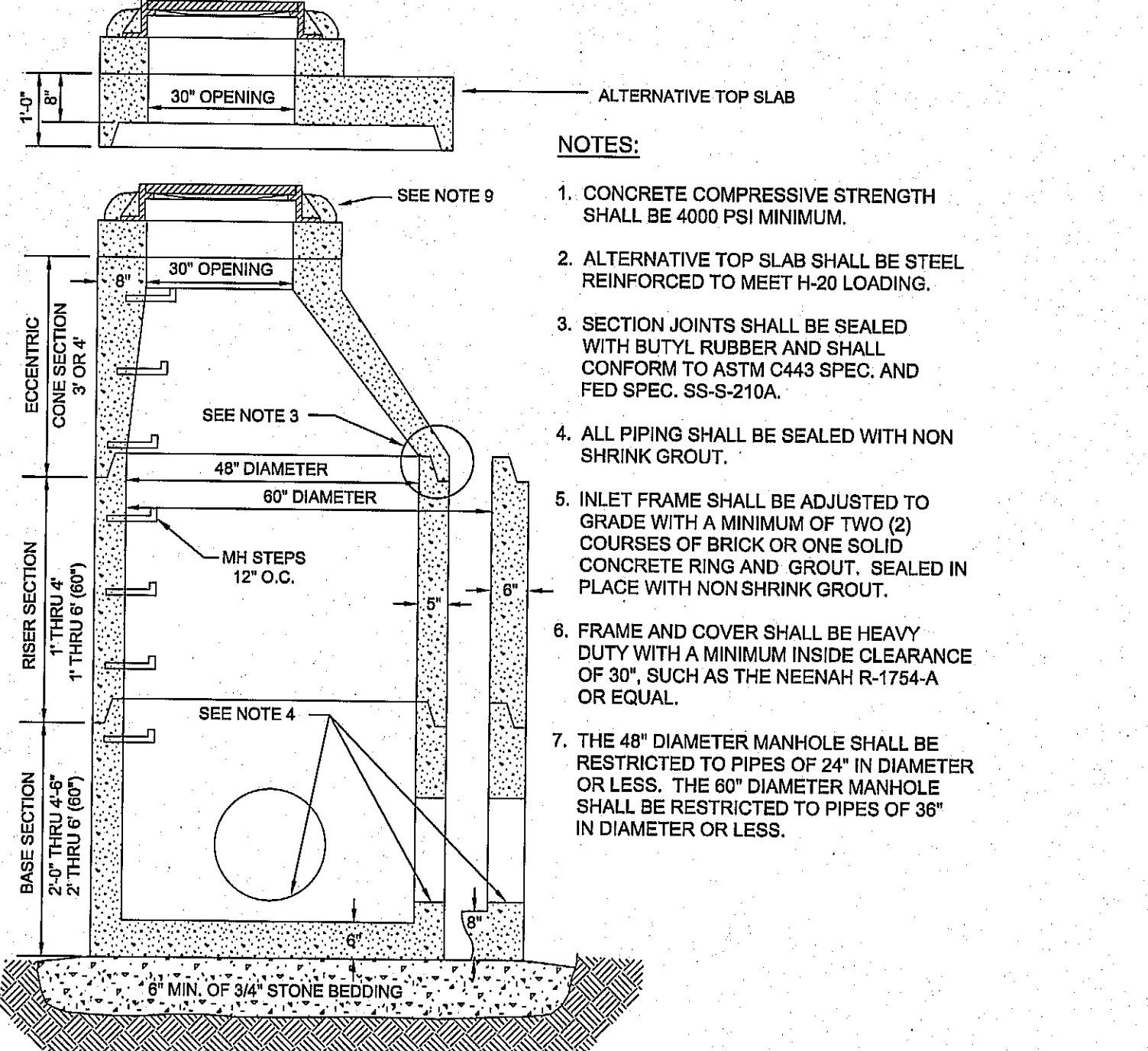


CATCH BASIN SCALE: N.T.S. DT-3

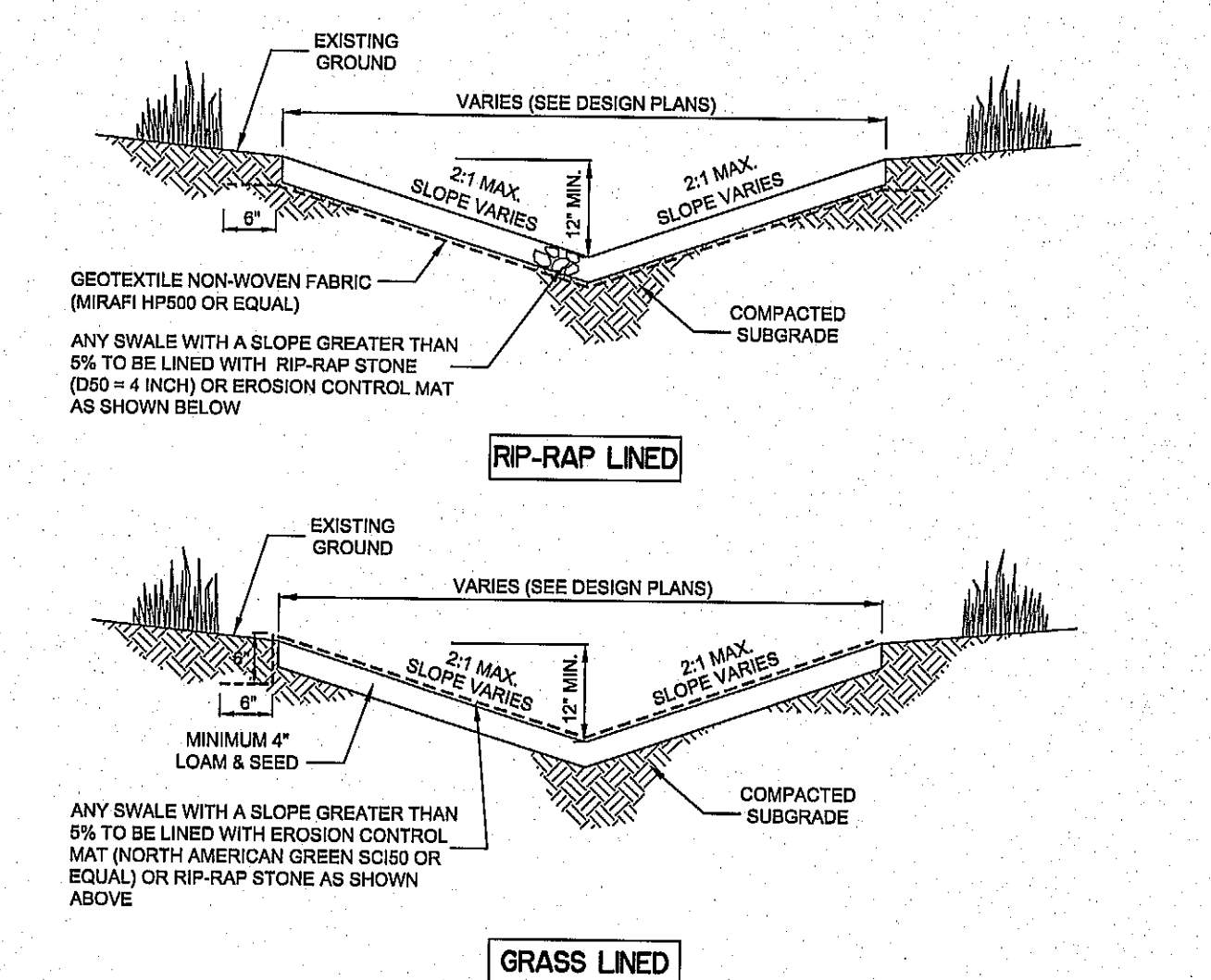
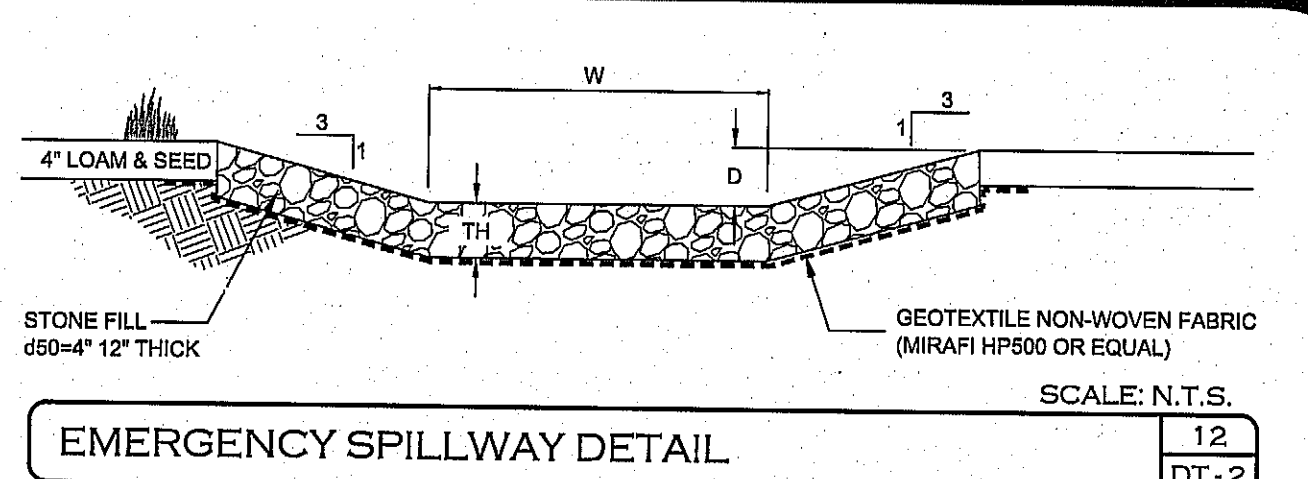


LOCATION	BASIN OUTLETS		ELEVATIONS (FT.)							
	STAGE 1	STAGE 2	A	B	C	D	E	F	G	H
OS2 (DB1)	6.0" ORIFICE	18"x12" WEIR	621.0	620.5	621.0	623.4	624.4	626.0	620.94	619.9
OS3 (IB1)	3.0" ORIFICE	NA	626.0	NA	627.0	NA	628.4	630.0	625.2	624.2
OS5 (BR1)	12"x12" WEIR	NA	617.0	NA	617.6	NA	618.6	620.0	614.3	613.4

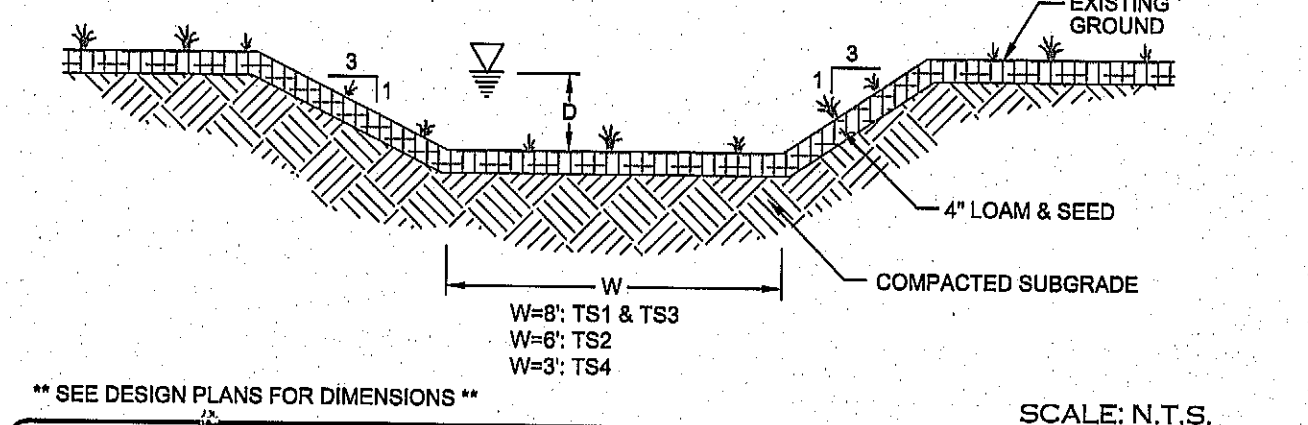
DB1, IB1 & BR1 OUTLET STRUCTURE SCALE: N.T.S. DT-3



MANHOLE - STORM DRAIN SCALE: N.T.S. DT-3



TYPICAL SWALE DETAILS SCALE: N.T.S. DT-2



TREATMENT SWALE SCALE: N.T.S. DT-2

DRAINAGE DETAILS
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034
LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

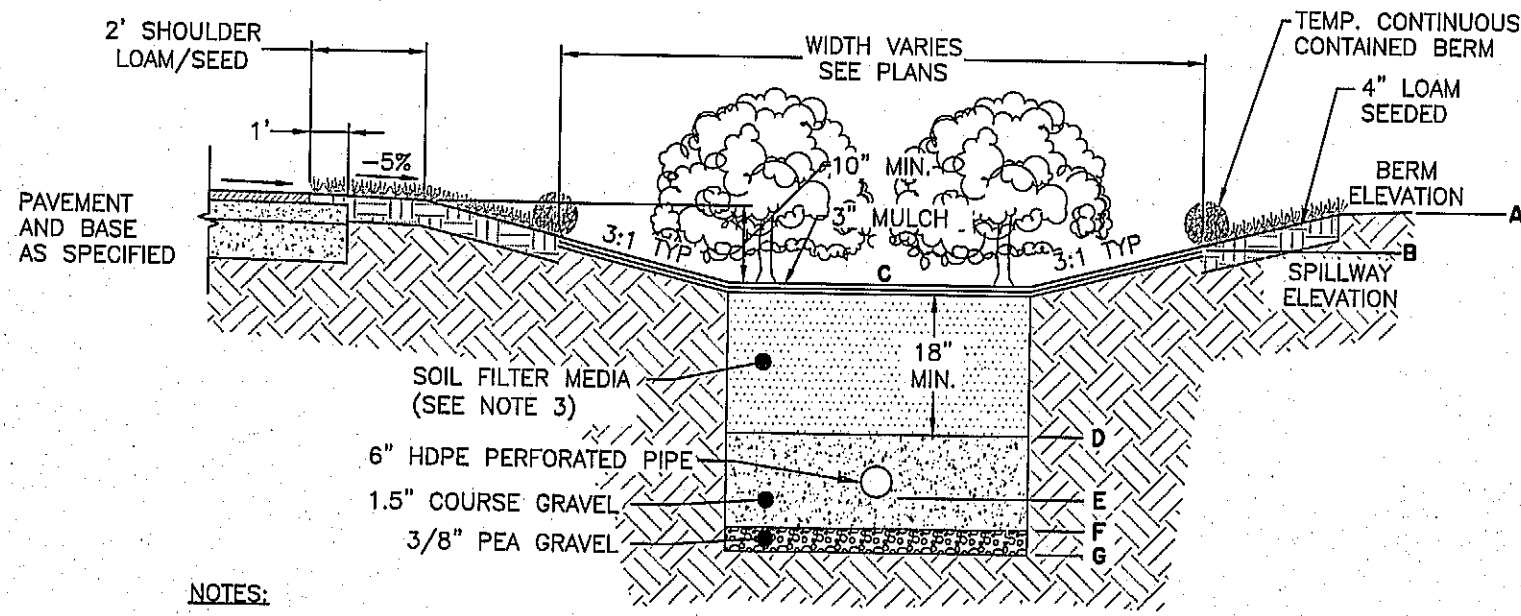
SCALE: NOT TO SCALE OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 45 Roxbury Street, Keene, NH 03431
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

FILE: 3528DT00.dwg PROJ. NO. 3528.00 SHEET: DT-3



NOTES:

- DO NOT PLACE RAIN GARDEN SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING DRAINAGE AREA(S) HAVE BEEN FULLY STABILIZED.
- TO PREVENT DEGRADATION OF INFILTRATION FUNCTION:
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
 - DO NOT COMPACT THE EXCAVATION.
 - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN AREA DURING ANY STAGE OF CONSTRUCTION.
- SOIL MEDIA SPECIFIED ACCORDING TO PERFORMANCE REQUIREMENTS: PARTICLE SIZE DISTRIBUTION ACCORDING TO ASTM D422 (STANDARD TEST METHOD FOR PARTICLE-SIZE ANALYSIS OF SOILS).
 - PARTICLE SIZE DISTRIBUTION BY SEPARATES:
 - EXCLUDE ANY MATERIAL >4.75 mm - 0%
 - VERY COARSE SAND/GRAVEL: GRAVEL (2.0 TO 4.75 mm) 5% MAXIMUM (PERCENT BY DRY WEIGHT).
 - SAND (0.425 TO 2.0 mm) 60 - 85% (PERCENT BY DRY WEIGHT).
 - SILT (0.075 TO 0.425 mm) 20% MAXIMUM (PERCENT BY DRY WEIGHT).
 - CLAY (LESS THAN 0.075 mm) 5% MAXIMUM (PERCENT BY DRY WEIGHT).

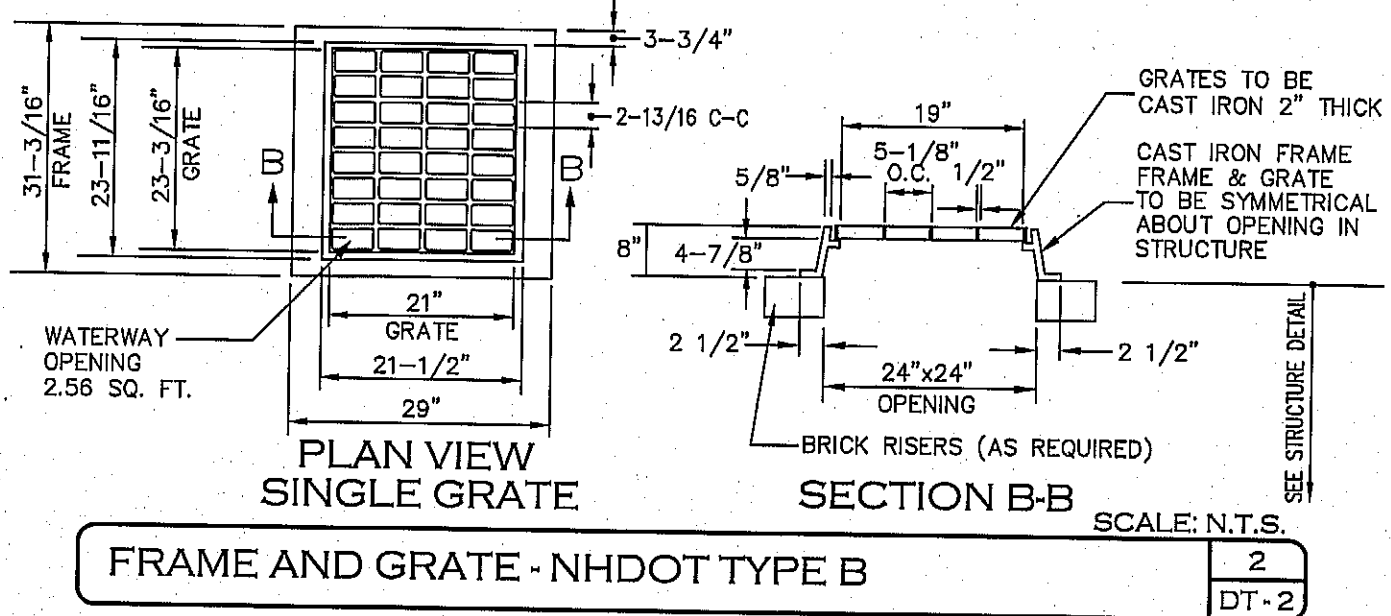
TABLE 1: ACCEPTABLE PARTICLE SIZE DISTRIBUTION OF FINAL BIORETENTION SOIL MIX.

SIEVE #	SIEVE SIZE (mm)	% PASSING
4	0.187 (4.75)	100
10	0.075 (2)	95
40	0.017 (0.42)	40-15
200	0.003 (0.075)	10-20
>200	PAN	0-5

GARDEN #	RAIN GARDEN INVERT INFORMATION						
	ELEVATIONS						
1	620.0	619.0	617.0	615.25	614.42	613.92	613.67

PLANTING LIST:
 18 (C)-JUNIPERUS communis depressa 'Blueberry Delight' 1-2' #2
 12 (C)-Sheep Laurel - Kalmia angustifolia Up to 4' #2
 18 (NB)-PHYSCARPUS opulifolius 'Tiny Wine' - Nisaback2.3' #2
 12 (AS)-New England Aster - Aster novaeangliae Up to 5' #2
 36 (DB)-Black-eyed Susan - Rudbeckia hirta - 1-3' ht. #2
 66 PLANTS TOTAL

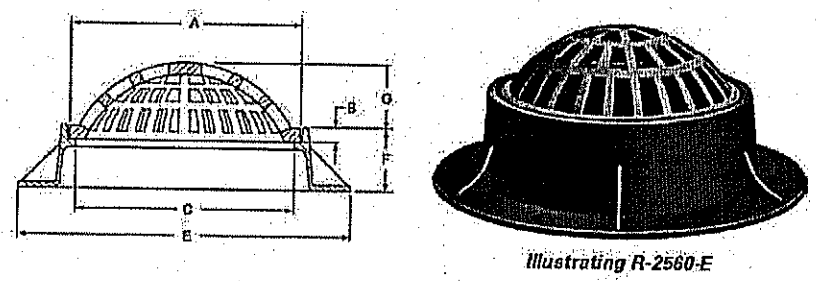
BIORETENTION BASIN DETAIL (BR-1)



FRAME AND GRATE - NHDOT TYPE B

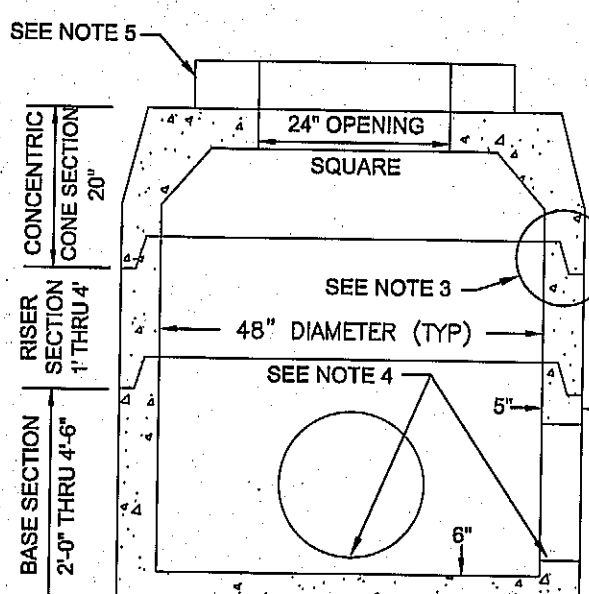
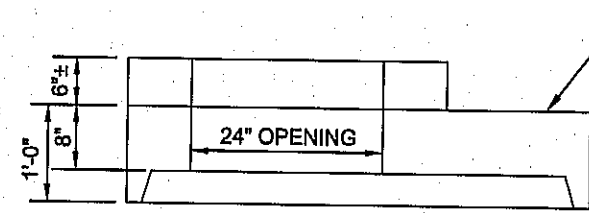
R-2560 Series Inlet Frame, Beehive Grate

Suitable for drainage in circumstances where clogging of a flat grate is a problem. Excellent for roadside or earth ditch inlets.

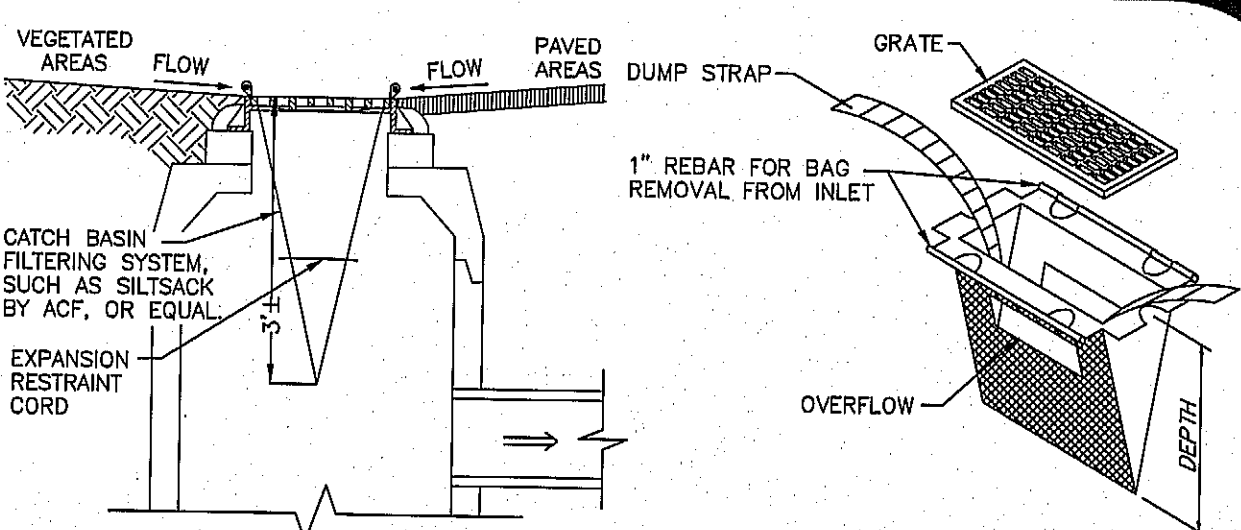


Catalog No.	A	B	C	D	E	F	G	Frame/Lid
R-2560-A	12	1	11	18	4	3 1/4	4	R-1703-A
R-2560-B	18 1/4	1 1/4	18 3/4	30	8	4	4	R-1800-A
R-2560-C	22	1 1/2	20 1/2	27 9/16	3 15/16	4 1/2	4	R-1680
R-2560-D	22	1 1/2	20 1/2	28 1/4	4	4 1/2	4	R-1710
R-2560-E	22	1 1/2	20 1/2	27 9/16	3 15/16	4 1/2	4	R-1680
R-2560-F	22	1 1/2	20 1/2	28 1/4	4	4 1/2	4	R-1710
R-2560-G	22	1 1/2	20 1/2	27 9/16	3 15/16	4 1/2	4	R-1680
R-2560-H	22	1 1/2	20 1/2	28 1/4	4	4 1/2	4	R-1710
R-2560-I	22	1 1/2	20 1/2	27 9/16	3 15/16	4 1/2	4	R-1680
R-2560-J	22	1 1/2	20 1/2	28 1/4	4	4 1/2	4	R-1710
R-2560-K	22 3/4	1 1/2	21 1/4	34	4	4 1/2	4	R-1647-A
R-2560-L	22 3/4	1 1/2	21 1/4	34	4	4 1/2	4	R-1713
R-2560-M	22 3/4	1 1/2	21 1/4	34	4	4 1/2	4	R-1647-A
R-2560-N	22 3/4	1 1/2	21 1/4	34	4	4 1/2	4	R-1713
R-2560-O	25 3/4	7/8	24 1/8	35 7/16	8 7/8	7	6	R-1550-A
R-2560-P	25 3/4	7/8	24 1/8	35 7/16	7	9	6	R-1723
R-2560-Q	25 3/4	7/8	24 1/8	35 7/16	8	8	6	R-1735-A
R-2560-R	25 3/4	7/8	24 1/8	35 7/16	9	8	6	R-1735-B
R-2560-S	25 3/4	7/8	24 1/8	35 7/16	10	8	6	R-1735-C
R-2560-T	25 3/4	7/8	24 1/8	35 7/16	10	9	6	R-1735-D
R-2560-U	25 3/4	7/8	24 1/8	35 7/16	10	9	6	R-1735-E
R-2560-V	25 3/4	7/8	24 1/8	35 7/16	10	9	6	R-1735-F
R-2560-W	25 3/4	7/8	24 1/8	35 7/16	10	9	6	R-1735-G
R-2560-X	25 3/4	7/8	24 1/8	35 7/16	10	9	6	R-1735-H
R-2560-Y	25 3/4	7/8	24 1/8	35 7/16	10	9	6	R-1735-I
R-2560-Z	25 3/4	7/8	24 1/8	35 7/16	10	9	6	R-1735-J

DROP INLET BEEHIVE FRAME & GRATE (OR EQUAL)



DROP INLET DETAIL



- NOTES:
- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
 - TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
 - THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
 - THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
 - REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

SILT SACK SEDIMENT FILTER

- REMOVE ALL ORGANIC MATERIAL FROM AREA BELOW PROPOSED INFILTRATION BASINS AND TO EXPOSE UNDERLYING SOILS.
- CARE SHALL BE TAKEN TO PROTECT THE UNDERLYING SOILS FROM CONSTRUCTION TRAFFIC AND THE DISCHARGE OF SEDIMENT LADEN RUNOFF.
- ONCE EXCAVATED AND PRIOR TO FILLING, THE UNDERLYING SOILS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH LEVELING DRAG.
- FILL BELOW THE BASIN AND/OR LEACHING TRENCHES SHALL CONFORM TO THE SPECIFICATIONS FOR NHDOT ITEM 208.1, "GRANULAR BACKFILL".
- THE BASIN FLOOR OF THE INFILTRATION BASINS SHALL BE PREPARED AS SPECIFIED OR USING ONE OF THE FOLLOWING METHODS:
 - 6" LAYER OF COURSE SAND OR 3/8" PEA GRAVEL;
 - GRASS TURF WITH A HIGH INFILTRATION RATE (HIGH SAND CONTENT) THAT CAN BE INUNDATED FOR OVER 72 HOURS;
 - COARSE ORGANIC MATERIAL SUCH AS AN EROSION CONTROL MIX OR COMPOSTED MULCH THAT IS TILLED INTO THE SOIL, SOAKED, AND ALLOWED TO DRY.
- DO NOT PLACE INFILTRATION BASINS/TRENCHES INTO SERVICE UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

INFILTRATION BASIN CONSTRUCTION NOTES

- CATCH BASINS, PIPE INLETS, DRAINAGE BASINS AND SPILLWAYS SHALL BE INSPECTED AFTER EVERY MAJOR STORM FOR POLLUTANT BUILD-UP. POLLUTANTS CONSIST OF SEDIMENTS, DEBRIS AND/OR FLOATING HYDROCARBONS.
- IN THE ABSENCE OF A MAJOR STORM, THE SYSTEM MUST BE CHECKED AT LEAST TWICE A YEAR, IN THE SPRING AND FALL FOR HYDROCARBON ACCUMULATION.
- IF, UPON INSPECTION, A SIGNIFICANT AMOUNT OF POLLUTANTS HAVE ACCUMULATED IN ANY OF THE CATCH BASINS, THEN THE POLLUTANTS MUST BE REMOVED AND DISPOSED OF PROPERLY.
- A SIGNIFICANT AMOUNT OF POLLUTANTS SHALL BE DEFINED AS A NOTICEABLE SHEEN ON THE WATER SURFACE IN THE SUMPS OF ANY CATCH BASINS AND/OR WHEN SEDIMENTS HAVE ACCUMULATED TO WITHIN 6 INCHES BELOW THE OUTLET OF ANY OF THE CATCH BASINS. WHEN EITHER OF THESE SITUATIONS ARE DISCOVERED UPON THE REQUIRED SEMIANNUAL INSPECTION, THEN THE STEPS STATED ABOVE SHALL BE COMPLETED.
- THE DRAINAGE BASIN EMBANKMENTS SHOULD BE INSPECTED FOR RODENT BURROWS, BARE SPOTS, WET AREAS OR EROSION. ANY DEFICIENCIES SHALL BE CORRECTED TO PREVENT ADDITIONAL DAMAGE.
- PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE ERODED AREA OF THE OUTLET.

STORMWATER MAINTENANCE NOTES

REV.	DATE	DESCRIPTION	C/O	DR	CK
-	-	-	-	-	-

STORMWATER MANAGEMENT DETAILS
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE

PREPARED FOR:
JAMES LOGAN
 273 CURRIER ROAD, CANDIA, NH 03034

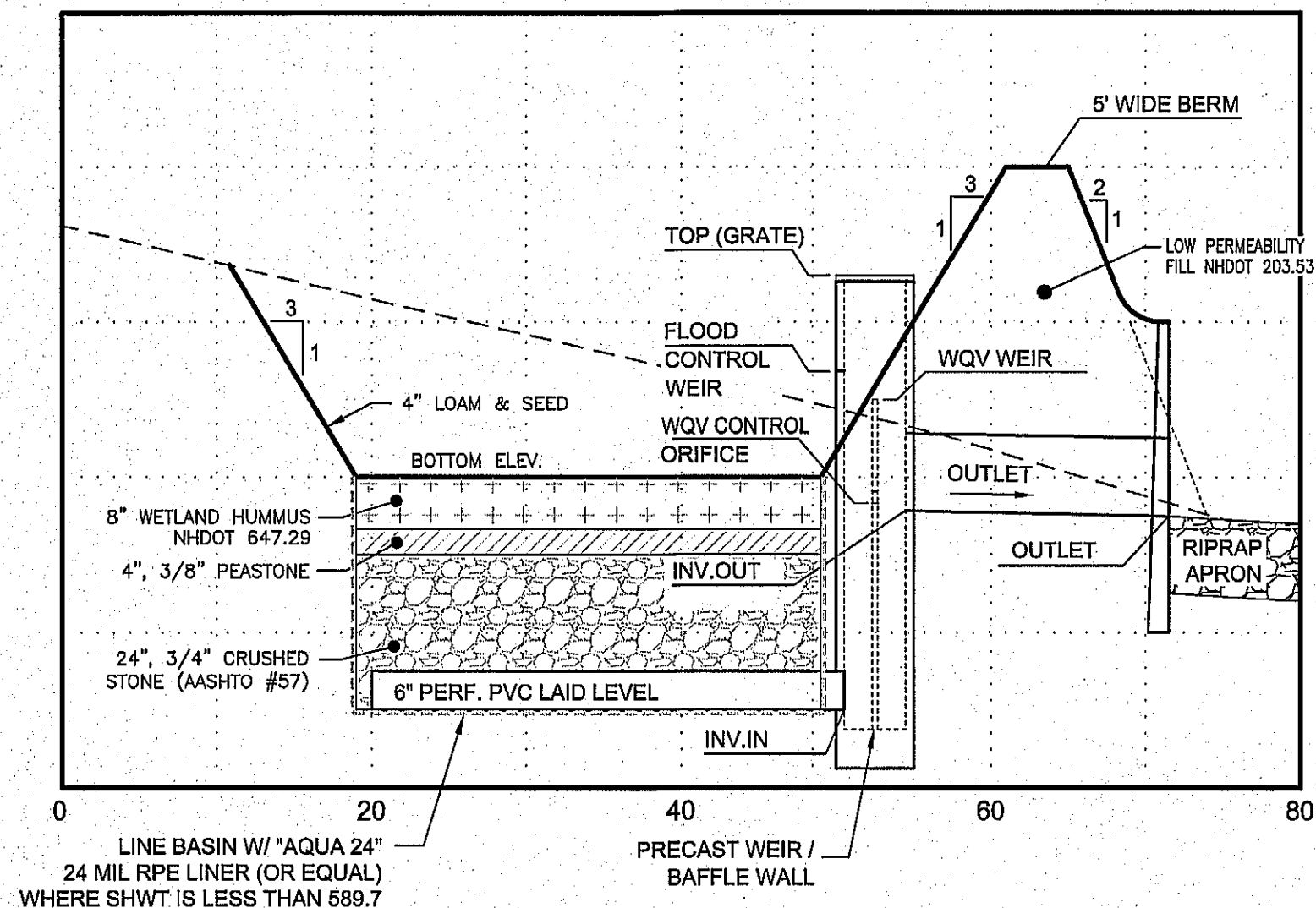
LAND OF:
LONDON BRIDGE SOUTH, INC.
 273 CURRIER ROAD, CANDIA, NH 03034

SCALE: AS SHOWN OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
 LAND CONSULTANTS, PLLC

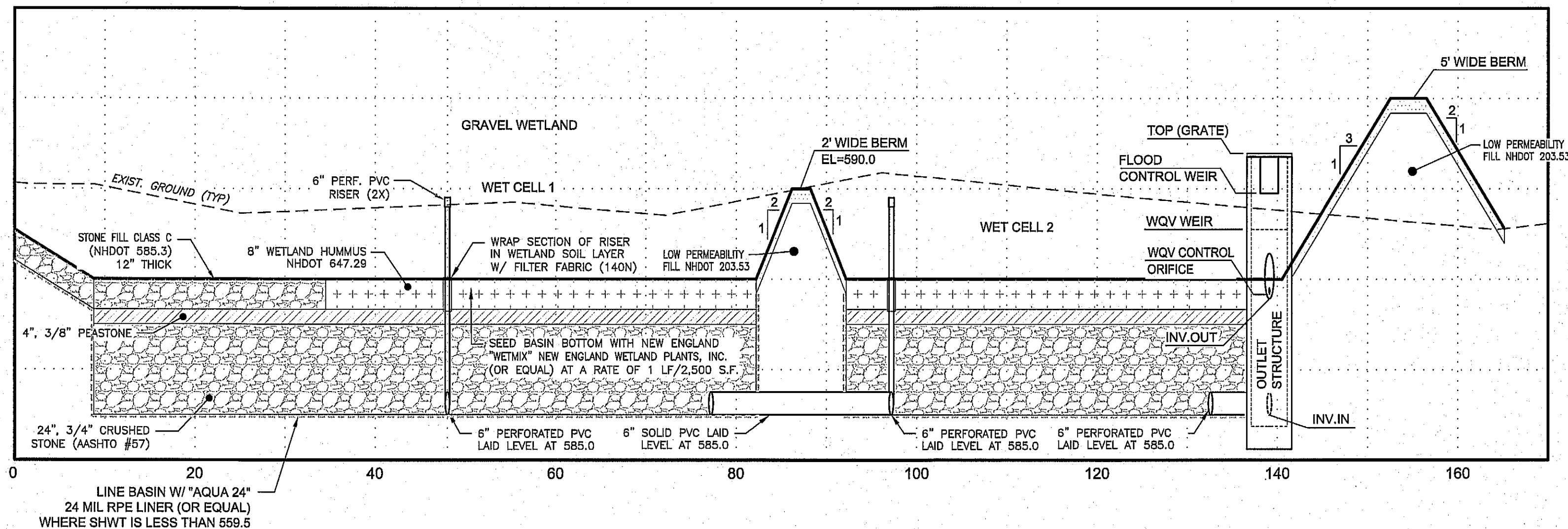
206 Elm Street, Milford, NH 03055
 45 Roxbury Street, Keene, NH 03431
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com



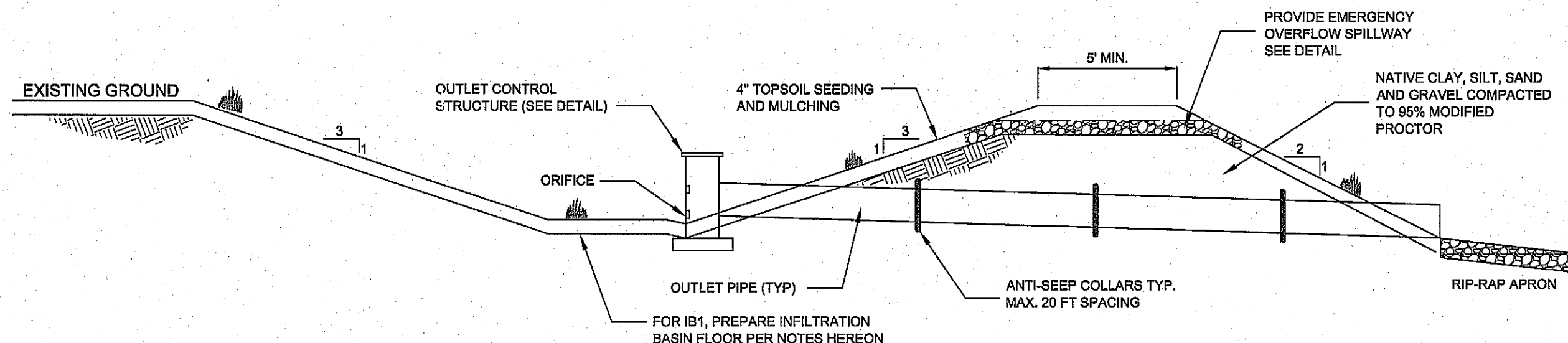
GRAVEL WETLAND CROSS SECTION

1. REMOVE ALL ORGANIC MATERIAL FROM AREA BELOW PROPOSED INFILTRATION BASINS AND TO EXPOSE UNDERLYING SOILS.
2. CARE SHALL BE TAKEN TO PROTECT THE UNDERLYING SOILS FROM CONSTRUCTION TRAFFIC AND THE DISCHARGE OF SEDIMENT LADEN RUNOFF. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
3. ONCE EXCAVATED AND PRIOR TO FILLING, THE UNDERLYING SOILS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH LEVELING DRAG.
4. FILL BELOW THE BASIN AND/OR LEACHING TRENCHES SHALL CONFORM TO THE SPECIFICATIONS FOR NHDOT ITEM 209.1, "GRANULAR BACKFILL".
5. THE BASIN FLOOR OF THE INFILTRATION BASINS SHALL BE PREPARED AS SPECIFIED OR USING ONE OF THE FOLLOWING METHODS:
 - 6" LAYER OF COURSE SAND OR 3/8" PEA GRAVEL;
 - GRASS TURF WITH A HIGH INFILTRATION RATE (HIGH SAND CONTENT) THAT CAN BE INUNDATED FOR OVER 72 HOURS;
 - COARSE ORGANIC MATERIAL SUCH AS AN EROSION CONTROL MIX OR COMPOSTED MULCH THAT IS TILLED INTO THE SOIL, SOAKED, AND ALLOWED TO DRY.
6. DO NOT PLACE INFILTRATION BASINS/TRENCHES INTO SERVICE UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

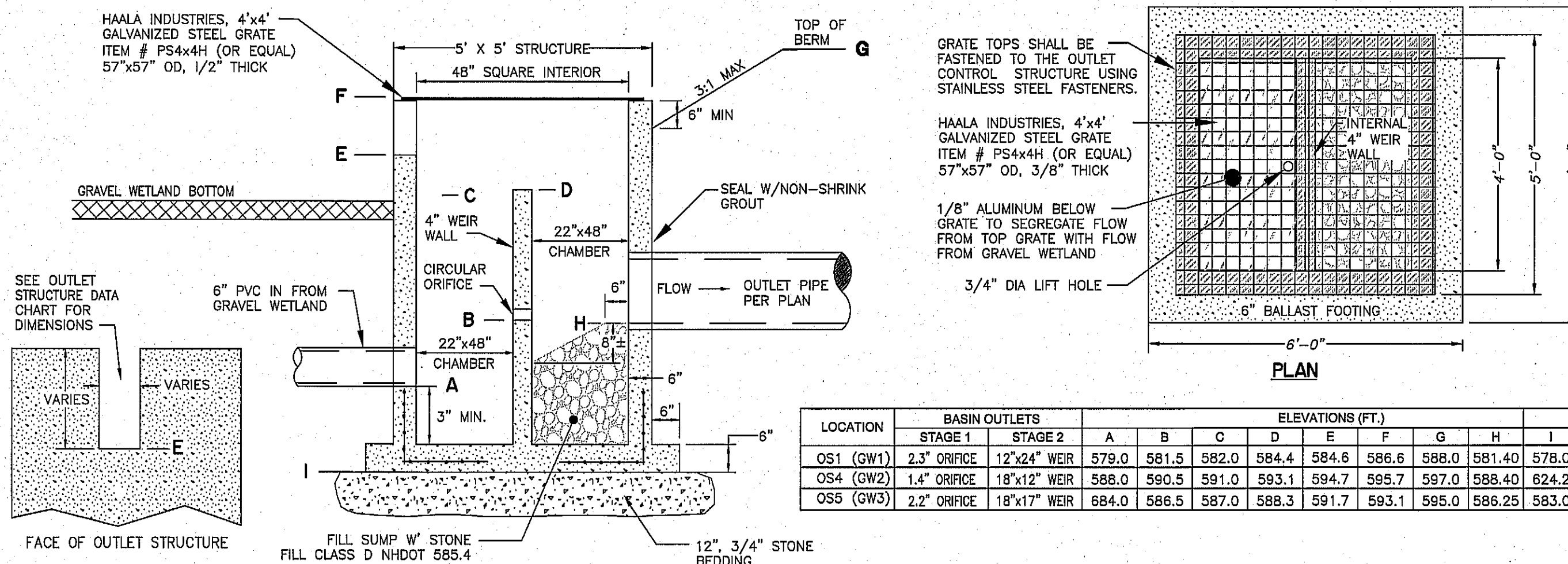
INFILTRATION BASIN CONSTRUCTION NOTES



GRAVEL WETLAND LONGITUDINAL SECTION



STORMWATER BASIN DETAIL



GRAVEL WETLAND OUTLET STRUCTURE

LOCATION	BASIN OUTLETS	ELEVATIONS (FT.)								
		STAGE 1	STAGE 2	A	B	C	D	E	F	G
OS1 (GW1)	2.3" ORIFICE	12"x24" WEIR	579.0	581.5	582.0	584.4	584.6	586.6	588.0	581.40
OS4 (GW2)	1.4" ORIFICE	18"x12" WEIR	588.0	590.5	591.0	593.1	594.7	595.7	597.0	588.40
OS5 (GW3)	2.2" ORIFICE	18"x17" WEIR	584.0	586.5	587.0	588.3	591.7	593.1	595.0	586.25



STORMWATER MANAGEMENT DETAILS
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE
 PREPARED FOR:
JAMES LOGAN
 273 CURRIER ROAD, CANDIA, NH 03034
 LAND OF:
LONDON BRIDGE SOUTH, INC.
 273 CURRIER ROAD, CANDIA, NH 03034

SCALE: AS SHOWN OCTOBER 20, 2025

Surveying + Engineering + Land Planning + Permitting + Septic Designs



1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
4. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF DETENTION BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO AND EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
5. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
6. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
9. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
10. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
11. IN AREAS THAT WILL NOT BE PAVED, "STABLE" MEANS THAT:
A. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
B. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
C. EROSION CONTROL BLANKETS HAVE BEEN INSTALLED IN ACCORDANCE WITH Env-Wq 1506.03
IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, ITEM 304.2, HAVE BEEN INSTALLED.

12. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL VERTICAL), UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN S150BN, OR APPROVED EQUAL.
13. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
14. ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:

PERMANENT SEED (LAWN AREAS)	LBS / 1,000 SQ. FT.	PERMANENT SLOPE SEED MIX	LBS / 1,000 SQ. FT.
CREeping RED FESCUE	0.92 LBS	CREeping RED FESCUE	0.80 LBS
PERENNIAL RYEGRASS	1.18 LBS	PERENNIAL RYEGRASS	0.89 LBS
KENTUCKY BLUEGRASS	0.68 LBS	REEDTOP	0.12 LBS
REEDTOP	0.12 LBS	ALSKIE CLOVER	0.12 LBS
		BIRDSFOOT TREFOIL	0.12 LBS

**APPLICATION RATE TOTALS
2.6 LBS PER 1,000 SF**
**APPLICATION RATE TOTALS
1.65 LBS PER 1,000 SF**
15. TEMPORARY STABILIZATION OF DISTURBED AREAS:
STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW. SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

- A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1 INCH	8/15 TO 9/15
OATS	2.5 LBS	1 INCH	4/15 TO 10/15
ANNUAL RYEGRASS	1.0 LBS	0.25 INCH	8/15 TO 9/15
- B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE AND COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE
CRUSHED STONE	SPREAD TO GREATER THAN 1/2" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED
16. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
17. CAUTION SHOULD BE TAKE WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
19. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.
22. LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.
23. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:63 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

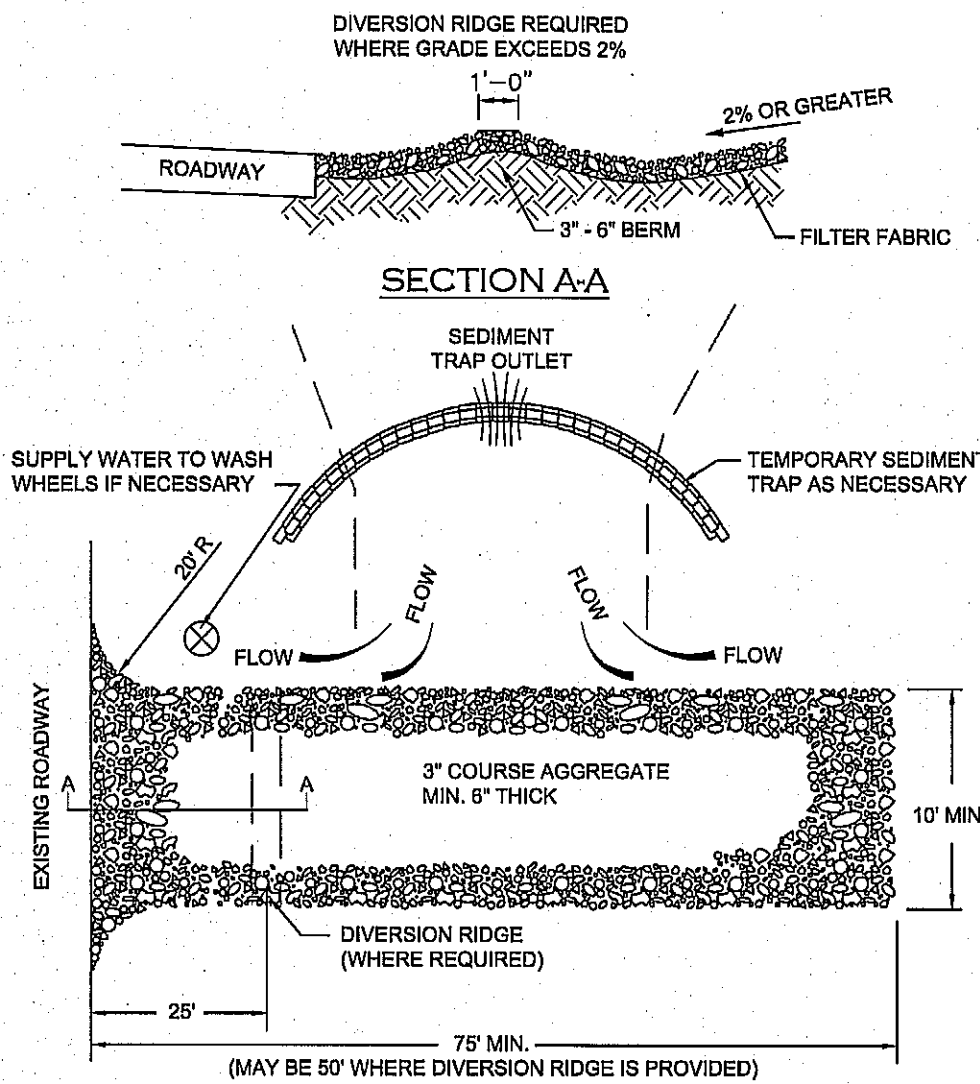
EROSION CONTROL NOTES

1
DT-6

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION OF THE ROAD OR PARKING AREA HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES LAYER OF BASE COURSE GRAVELS MEETING THE GRADATION REQUIREMENTS NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, ITEM NO. 301.1, 304.2, OR 304.3.

WINTER CONSTRUCTION NOTES

2
DT-6



PLAN VIEW

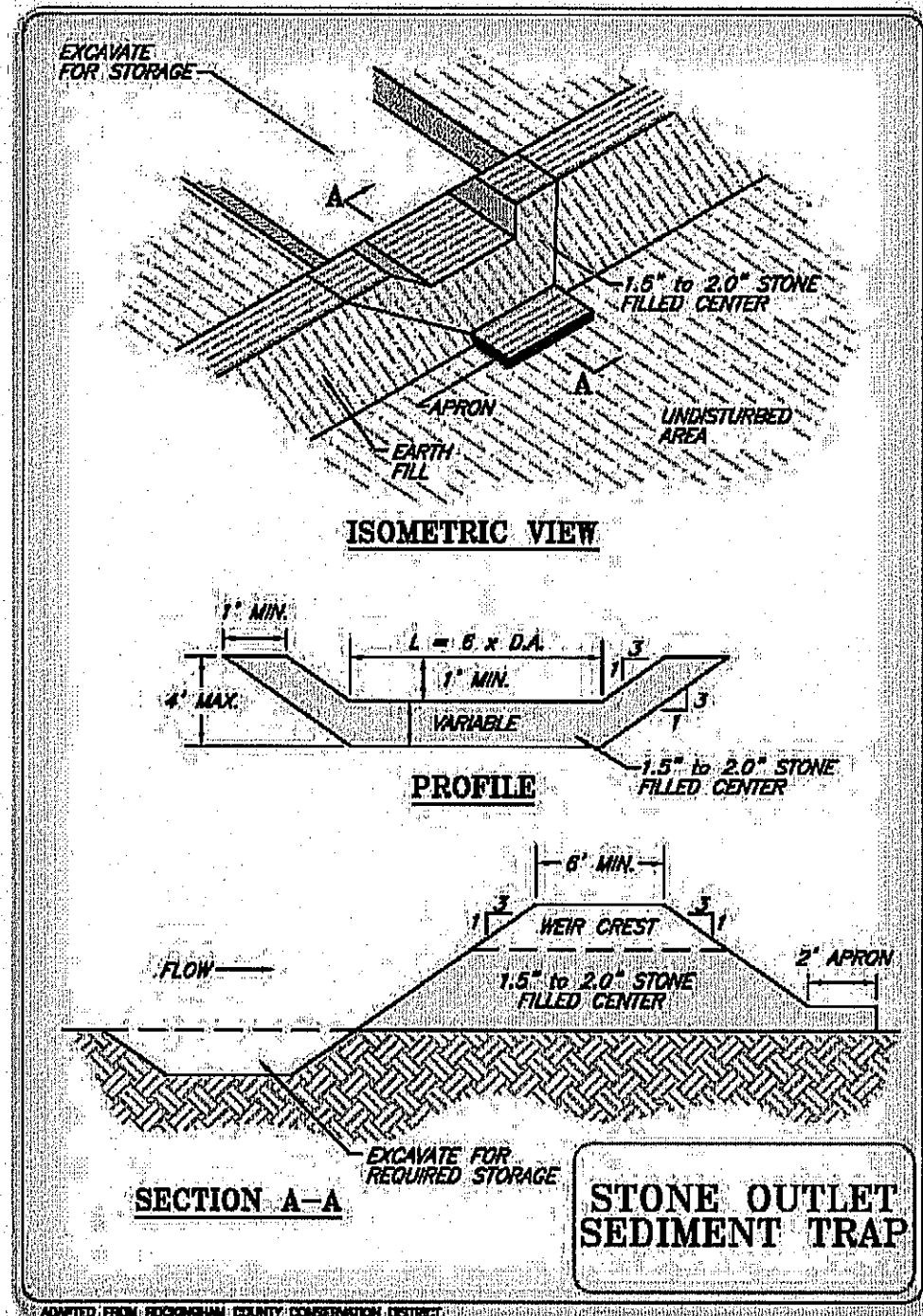
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
2. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
3. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
5. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
6. THE PAD SHOULD BE AT LEAST 8-INCHES THICK.
7. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
8. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
9. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
10. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
11. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

SCALE: N.T.S.

GRAVEL CONSTRUCTION EXIT

3
DT-3



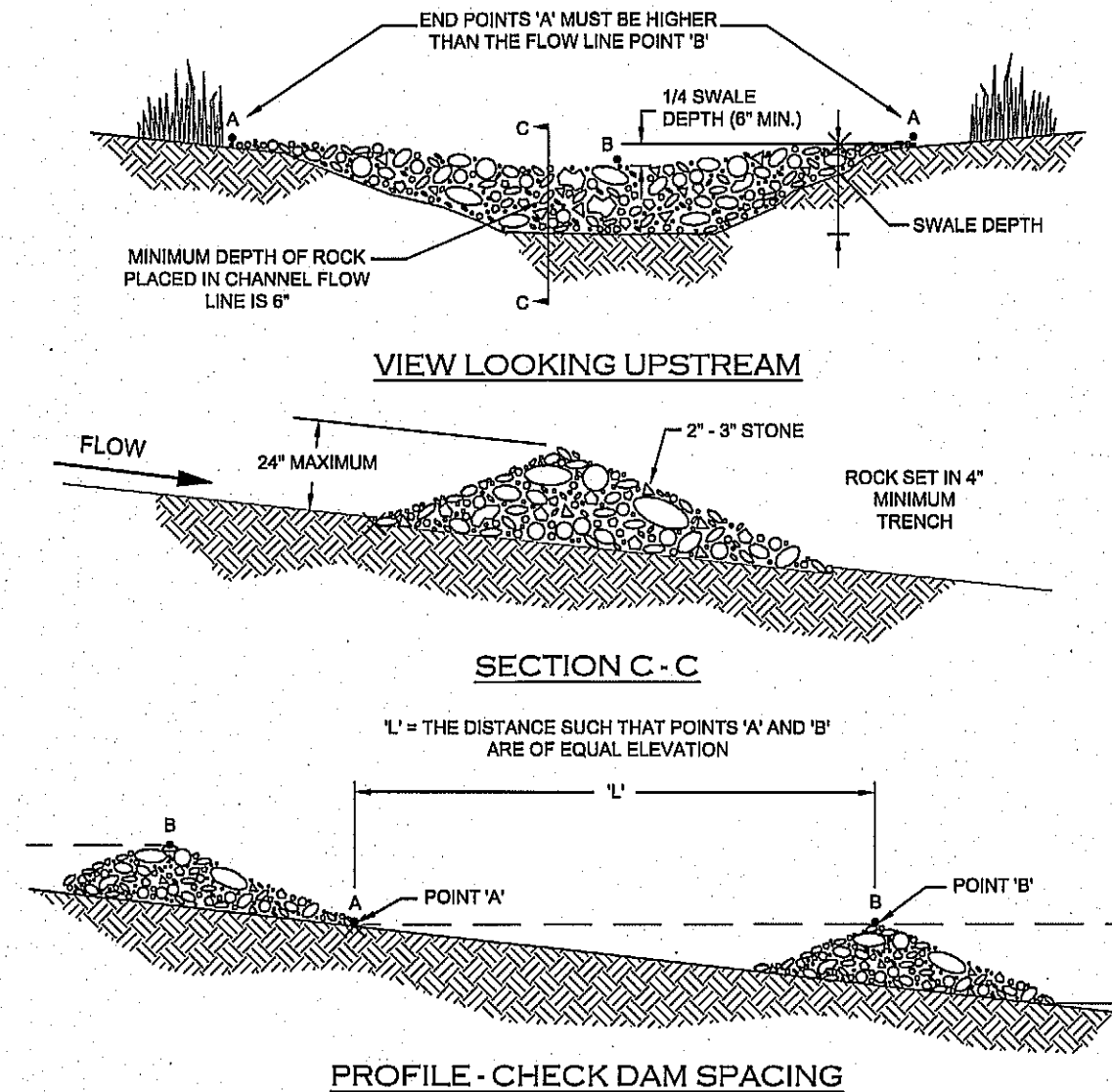
STONE OUTLET SEDIMENT TRAP

1. The trap shall be installed as close to the disturbed area or source of sediment as possible;
2. The maximum contributing drainage area to the trap shall be less than 5 acres;
3. The minimum volume of the trap shall be 3,600 cubic feet of storage for each acre of drainage area;
4. The side slopes of the trap shall be 3:1 or flatter, and shall be stabilized immediately after their construction;
5. The outlet of the trap shall be a minimum of one foot below the crest of the trap and shall discharge to a stabilized area;
6. The trap shall be cleaned when 50 percent of the original volume is filled; and
7. The materials removed from the trap shall be properly disposed of and stabilized.
8. Refer to the New Hampshire Stormwater Manual, Volume 3 for alternative sediment trap options.

SEDIMENT TRAP

SCALE: N.T.S.

9
DT-3



PROFILE - CHECK DAM SPACING

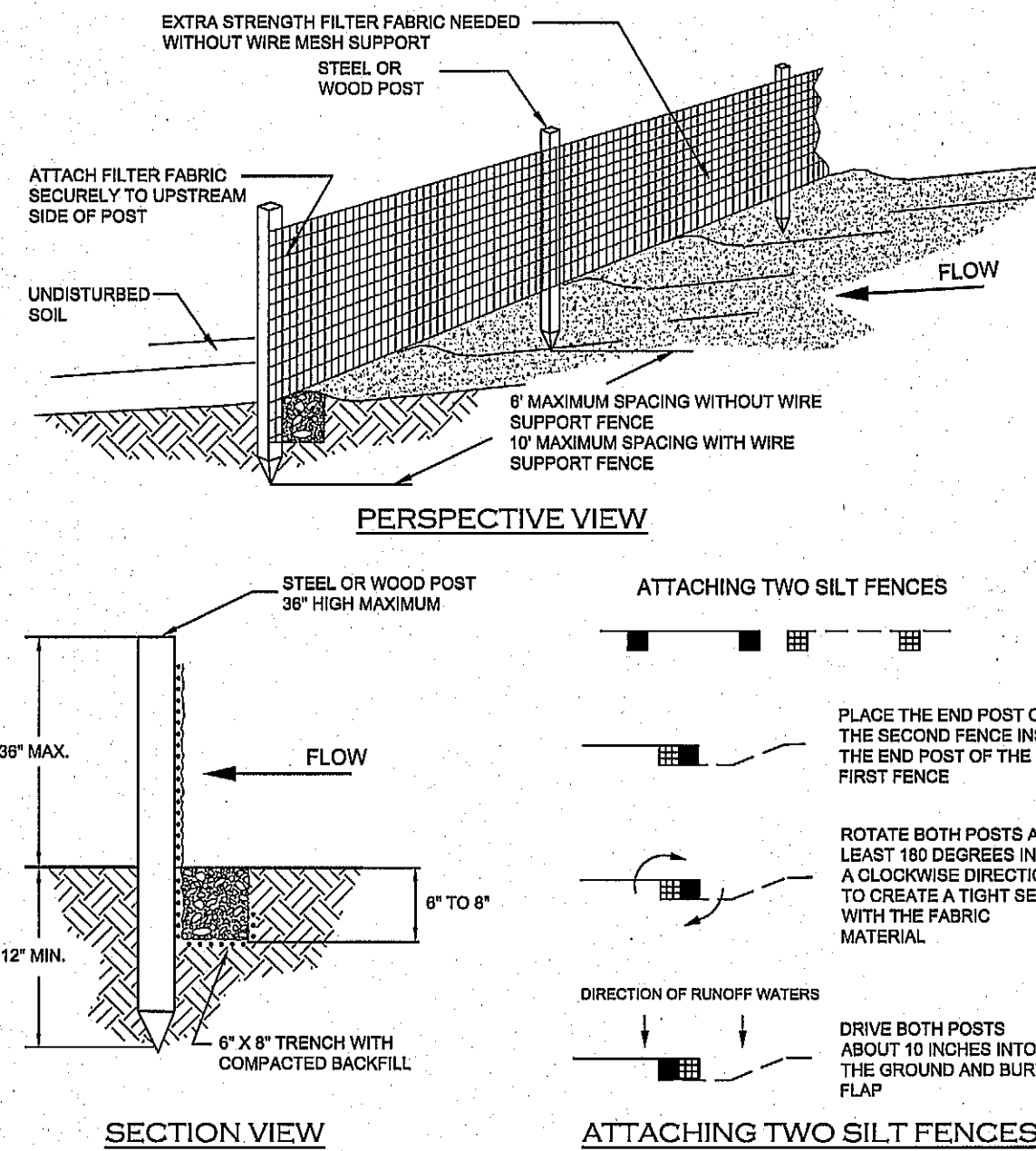
NOTES:

- STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
- STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
- STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILTERING.
- WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
- STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

SCALE: N.T.S.

STONE CHECK DAM

5
DT-6



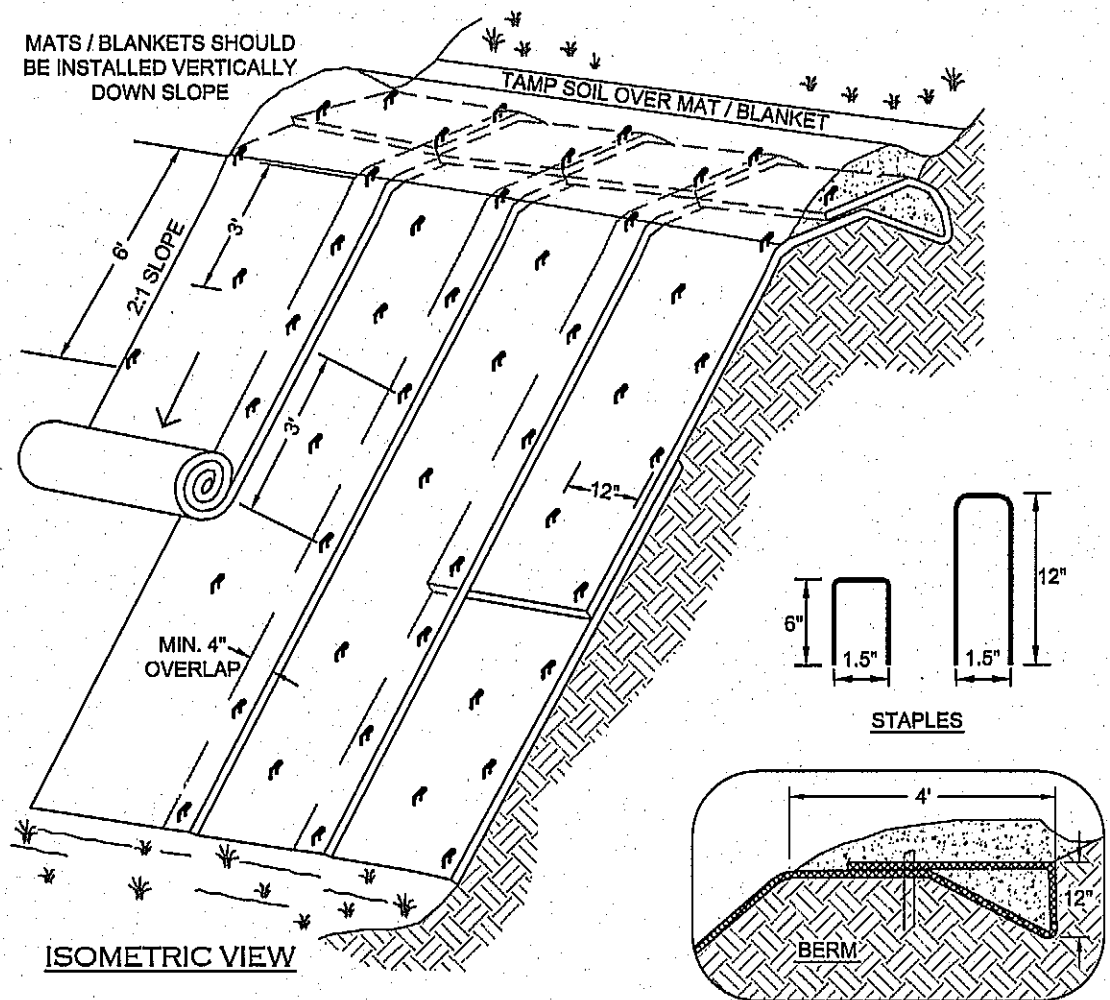
NOTES:

1. SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
2. SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
3. IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
4. SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
5. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
6. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
7. SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SCALE: N.T.S.

SILT FENCE

6
DT-6



NOTES:

1. DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES: DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN S150BN OR EQUAL ON ALL SLOPES EXCEEDING 3' HORIZ : 1' VERT.
3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 8 INCH.
4. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
5. APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
6. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
7. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
8. IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
9. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE RESEEDING, RESEEDING AND REMULCHED AS DIRECTED.

SCALE: N.T.S.

EROSION BLANKETS - SLOPE INSTALLATION

7
DT-6

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW
DigSafe
MAINE 811

EROSION CONTROL DETAILS TAX MAP 405 LOTS 29 & 30 (466 & 476 HIGH STREET) CANDIA, NEW HAMPSHIRE

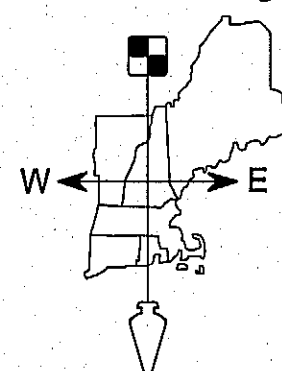
PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034

LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

SCALE: NOT TO SCALE

OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



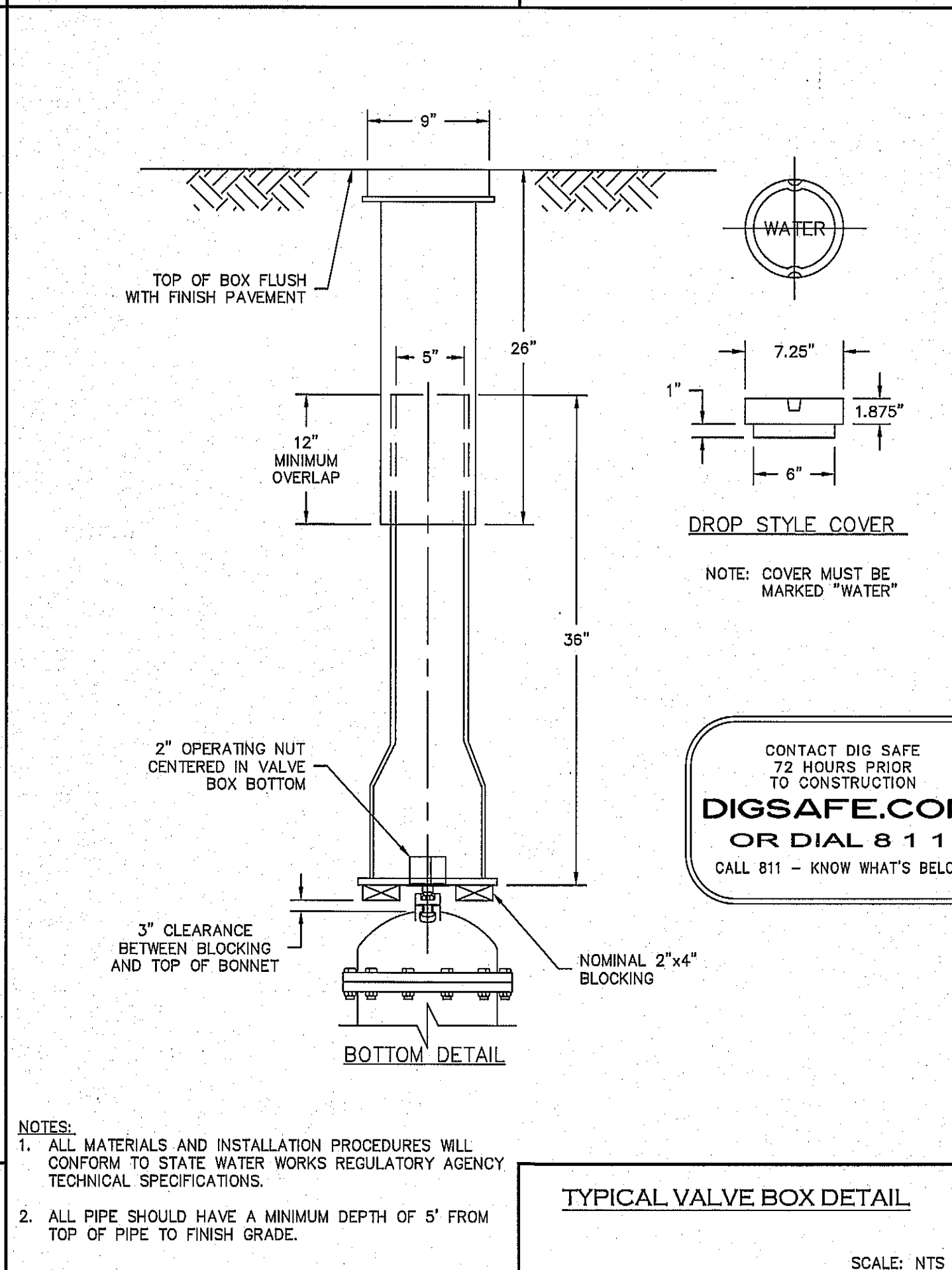
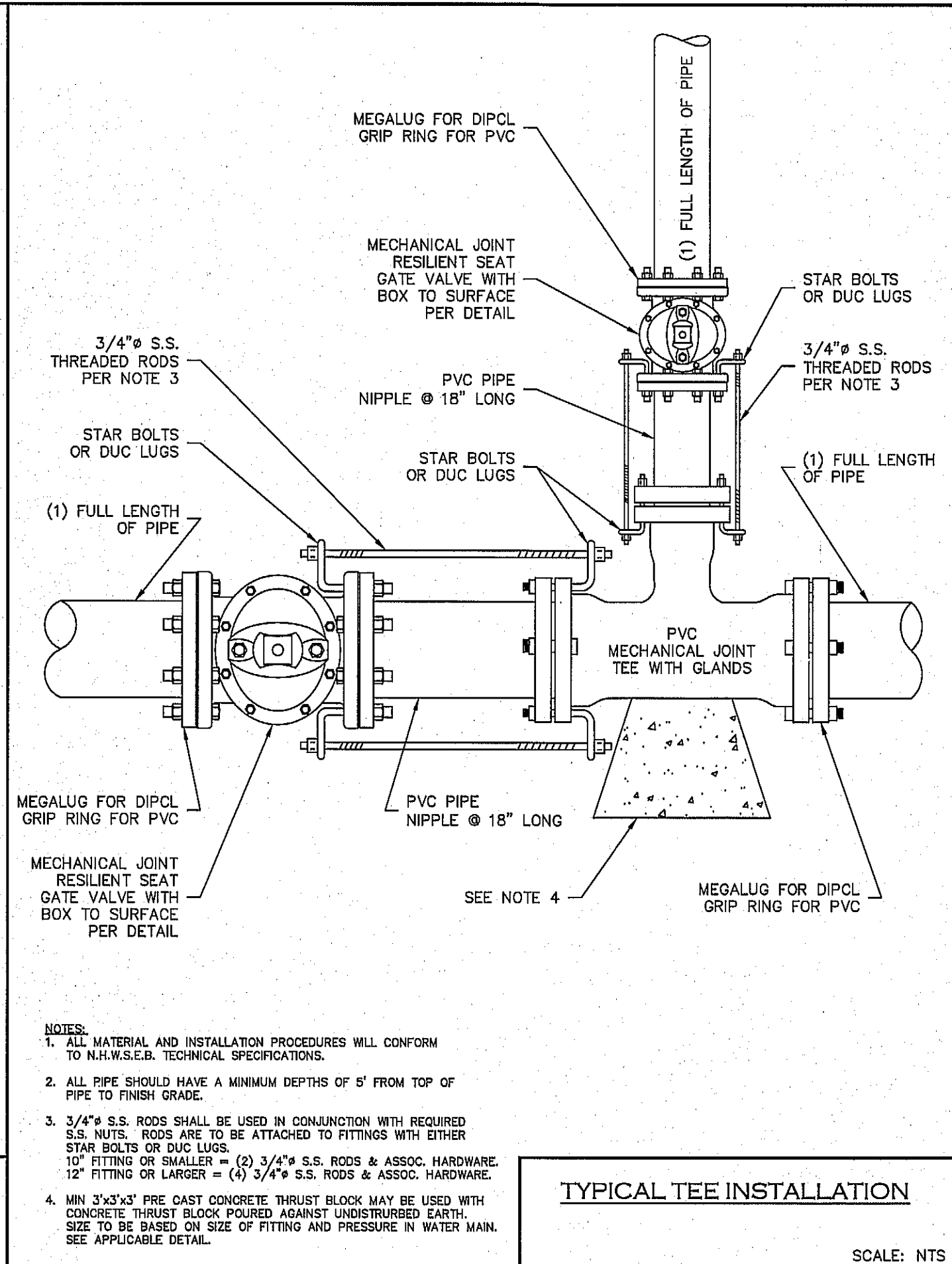
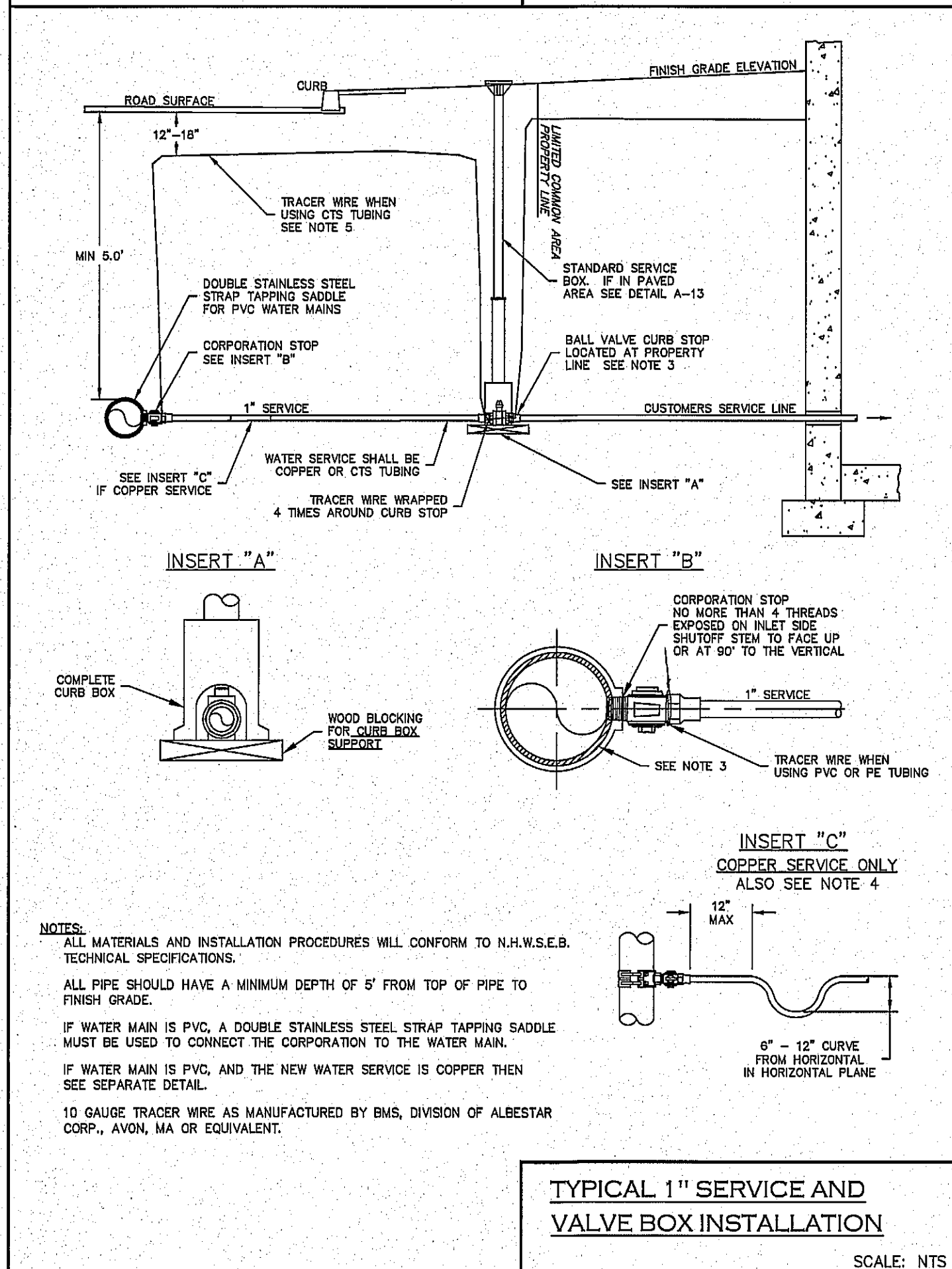
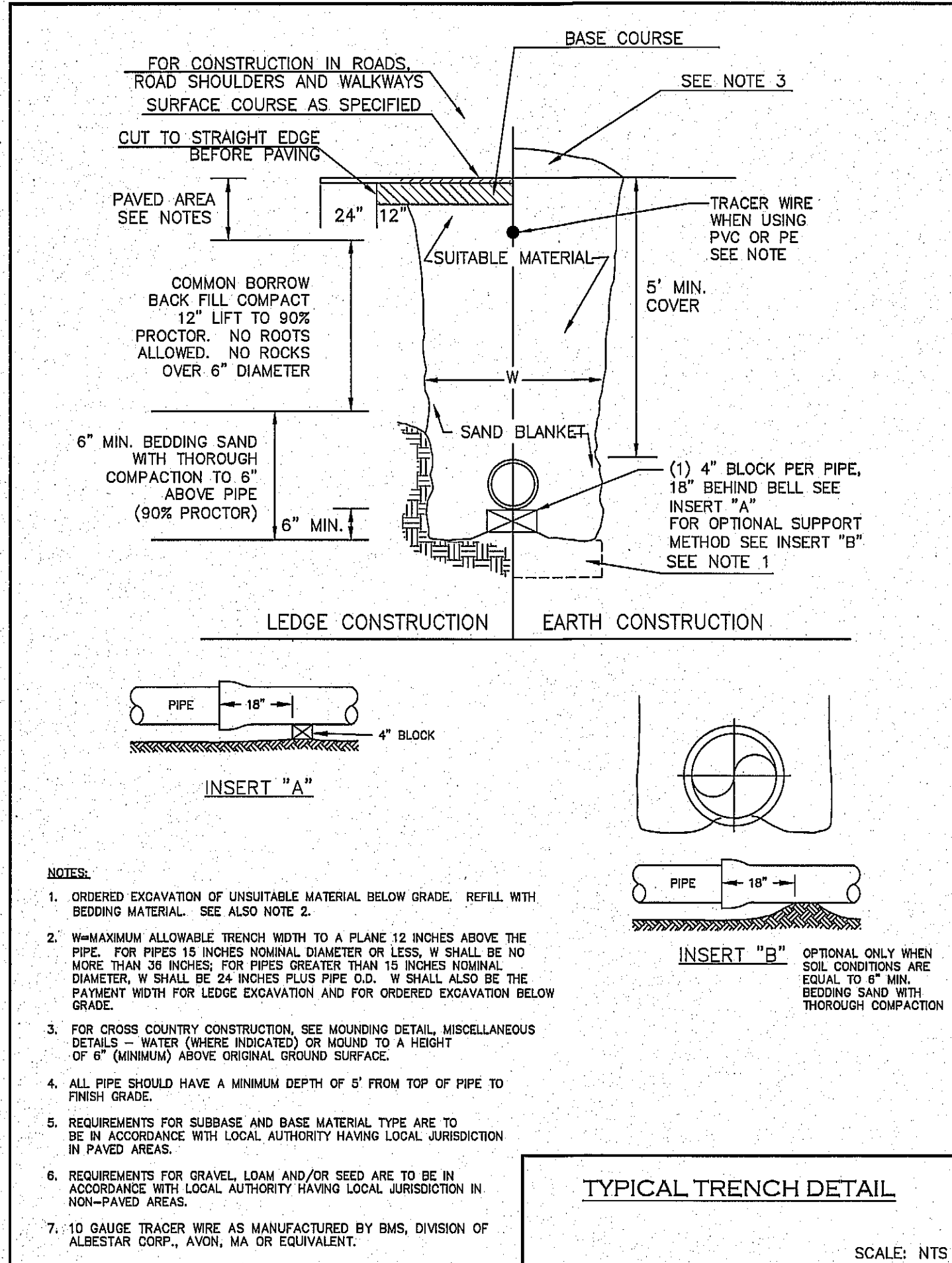
FIELDSTONE
LAND CONSULTANTS, PLLC

205 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 3528DT00.dwg

PROJ. NO. 3528.00

SHEET: DT-6



TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	BEARING AREA REQUIRED, SQUARE FEET											
	4" AND LESS DEGREE BEND				6" AND 8" DEGREE BEND				10" AND 12" DEGREE BEND			
LOOSE SAND OR MEDIUM CLAY - 2,000	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
PACKED GRAVEL AND SAND - 4,000	1.0	1.0	1.5	2.0	1.0	1.5	3.0	5.0	1.5	3.1	6.0	11.0
ROCK - 10,000	1.0	1.0	1.0	1.0	1.0	1.0	1.2	2.0	1.0	1.3	2.4	4.4

TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	BEARING AREA REQUIRED, SQUARE FEET							
	14" AND 16" DEGREE BEND OR DEFLECTION				18" AND 20" DEGREE BEND OR DEFLECTION			
LOOSE SAND OR MEDIUM CLAY - 2,000	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
PACKED GRAVEL AND SAND - 4,000	6.0	12.0	22.5	40.0	9.5	19.0	37.0	67.0
ROCK - 10,000	1.2	2.4	4.5	8.0	2.0	3.8	7.4	13.5

NOTE: THRUST BLOCKING FOR TEES SHALL HAVE THE SAME BEARING AREA AS 90° BEND OF THE PIPE SIZE OF THE OUTLET. DEAD ENDS SHALL HAVE THE SAME BEARING AREA AS 90° BENDS.

TABLE OF DIMENSIONS

PIPE SIZE	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND	TEE+PLUG
6"	33"	21"	18"	21"	18"
8"	45"	27"	24"	27"	24"
10"	60"	36"	36"	36"	36"
12"	66"	39"	36"	42"	36"
14"	72"	45"	42"	48"	42"

HORIZONTAL BEND

PLAN

SECTION A-A

UNDISTURBED MATERIAL

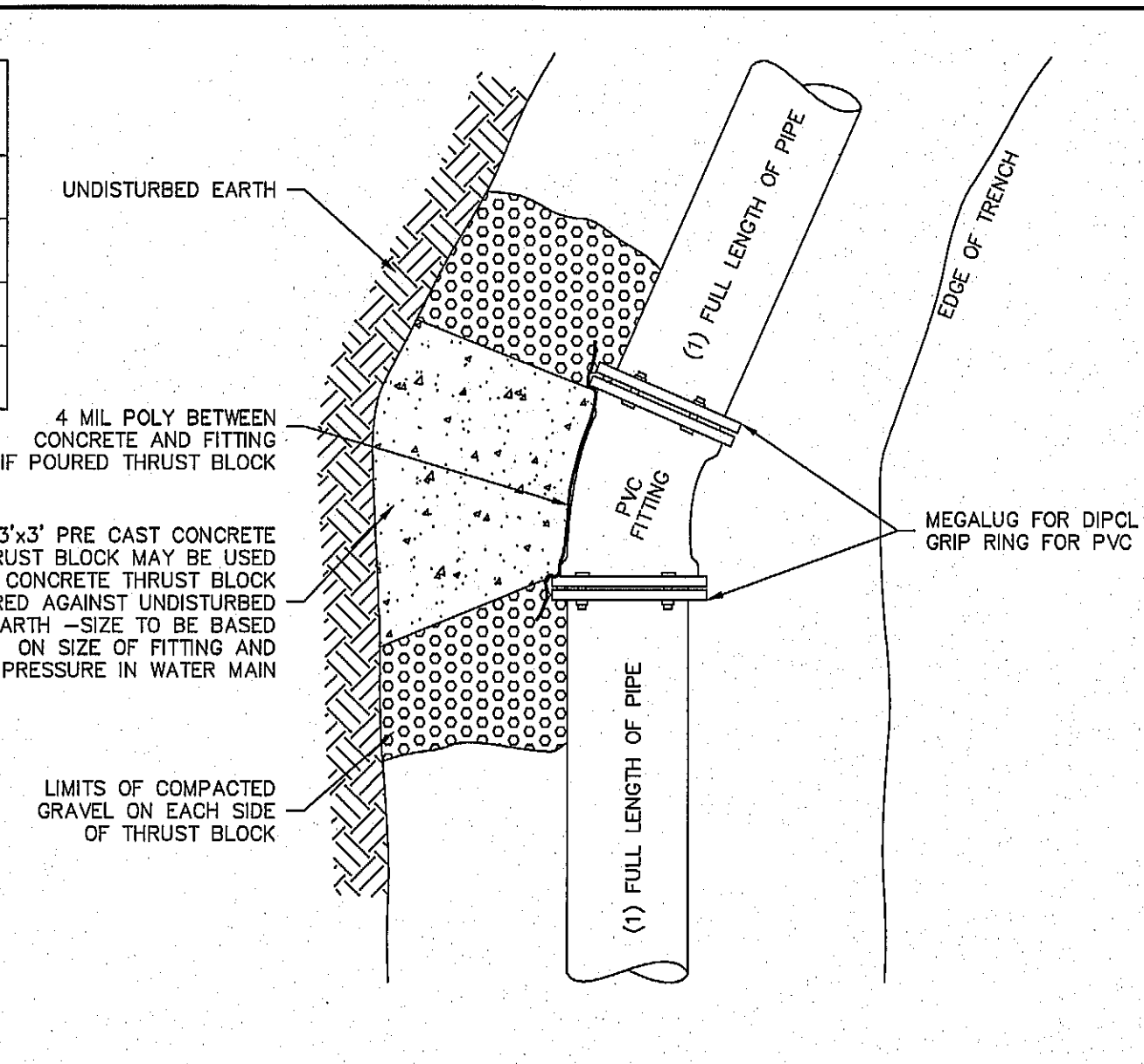
CLASS D CONCRETE

NOTES:

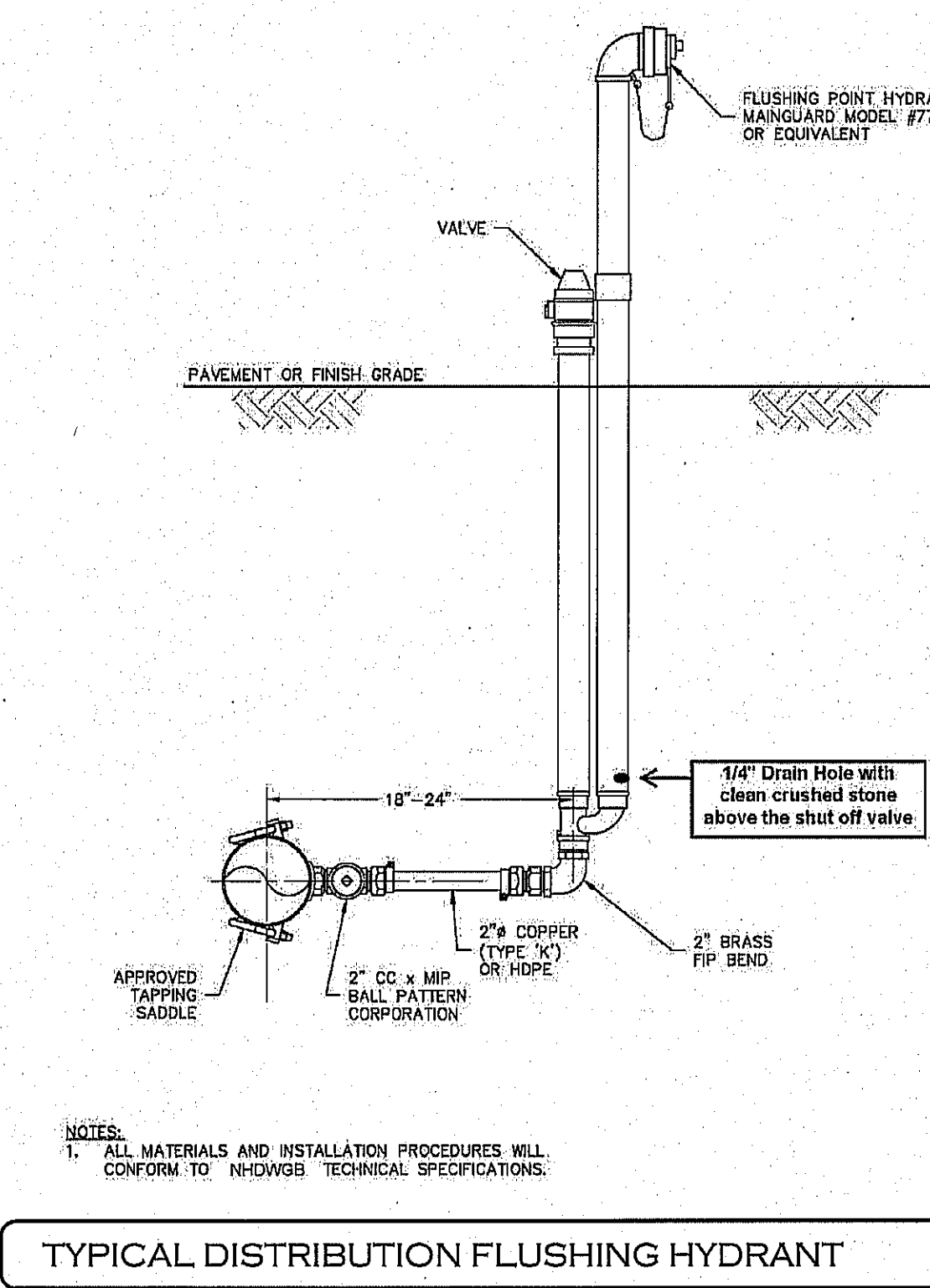
- ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO N.H.W.S.B. TECHNICAL SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
- 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
- MIN 3"x3"x3" PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH. SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

TYPICAL THRUST BLOCK BEHIND FITTINGS INSTALLATION

SCALE: NTS



- WATER DISTRIBUTION SYSTEM NOTES:**
- ALL DISTRIBUTION MATERIAL INCLUDING: MAINS, FITTINGS, AND VALVES TO MEET APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA), NH DRINKING WATER AND GROUNDWATER BUREAU (NHDWGB), AND TOWN OF CANDIA STANDARDS.
 - ALL INSTALLATION OF MATERIAL TO CONFORM TO APPLICABLE AWWA STANDARDS AND NHDWGB SPECIFICATIONS FOR GENERALLY ACCEPTED DRINKING WATER SUPPLY SYSTEMS.
 - ALL VALVES, TEES, BENDS, AND THEIR RELATED JOINTS TO BE PROPERLY RESTRAINED USING APPROVED "MEGA-LUG", OR EQUAL, RETAINER KITS FOR AWWA C-900 PVC WATER MAIN.
 - ALL WATER MAIN AND APPURTENANCES TO BE MANUFACTURED IN ACCORDANCE WITH CURRENT AWWA STANDARDS BEING AWWA C-900, MINIMUM 150 PSI PVC WATER MAIN, PIPE SIZING SHALL BE 4" MAINS AS SHOWN ON PLANS APPROVED BY THE NHDWGB AND THE TOWN. ALL WATER MAIN AND SERVICE LINES TO BE INSTALLED WITH A MINIMUM OF 60" COVER, AND SHALL BE PROPERLY SAND BEDDED AND BACKFILLED WITH SUITABLE MATERIAL.
 - GATE VALVES SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE UTILITY PLANS. ALL VALVES SHALL BE AWWA C-509 APPROVED RESILIENT WEDGE, OPEN LEFT (COUNTER CLOCKWISE) VALVES. VALVE BOXES SHALL BE AWWA APPROVED, SLIP TYPE WITH COVER LABELED WATER.
 - THE FLUSHING POINT SHALL BE 2" FLUSHING HYDRANT AND SHALL BE INSTALLED AS SHOWN ON THE PROJECT PLANS. DOMESTIC WATER SERVICES SHALL BE 1" DIAMETER, CTS, 200 PSI, AWWA C-901 POLYETHYLENE TUBING, WITH BRASS COMPRESSION SERVICE FITTINGS WITH SS INSERTS. BALL VALVE SHUT OFFS, AND ADJUSTABLE TYPE CURB BOXES. CORPORATION STOPS SHALL BE INSTALLED IN SERVICE SADDLES APPROVED FOR PVC WATER MAINS. EACH UNIT SHALL HAVE ITS OWN WATER SERVICE AND SHUT OFF.
 - SEPARATION OF WATER MAINS AND SEWER SHALL BE IN ACCORDANCE WITH ACCEPTED WATER WORKS STANDARDS. ON PARALLEL INSTALLATION, WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY DISTANT FROM ANY EXISTING OR PROPOSED SEWER. IF LESS THAN TEN FEET, WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH, OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER WITH AT LEAST THREE FEET HORIZONTAL SEPARATION. AT CROSSINGS, THERE SHALL BE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE WATER MAIN AND SEWER. AT CROSSINGS, JOINTS SHALL BE LOCATED AS FAR FROM THE SEWER CROSSING POINT AS POSSIBLE.
 - ALL WATER MAIN TO BE FLUSHED, PRESSURE TESTED, AND DISINFECTED, IN ACCORDANCE WITH THE LATEST PROVISIONS OF AWWA C-600 AND C-651, PRIOR TO ACCEPTANCE. WRITTEN CERTIFICATION OF TESTING AND BACTERIOLOGICAL TEST RESULTS SHALL BE PROVIDED FROM A THIRD-PARTY TESTING COMPANY.
 - A RECORD DRAWING OF THE SUBDIVISION WATER FACILITIES SHALL BE PROVIDED FOLLOWING INSTALLATION, IN ACCORDANCE WITH NHDWGB AND TOWN OF CANDIA STANDARDS.



WATER CONSTRUCTION DETAILS

TAX MAP 405 LOTS 29 & 30

(466 & 476 HIGH STREET)

CANDIA, NEW HAMPSHIRE

PREPARED FOR:

JAMES LOGAN

273 CURRIER ROAD, CANDIA, NH 03034

LAND OF:

LONDON BRIDGE SOUTH, INC.

273 CURRIER ROAD, CANDIA, NH 03034

SCALE: NOT TO SCALE

OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE

LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055

45 Roxbury Street, Keene, NH 03431

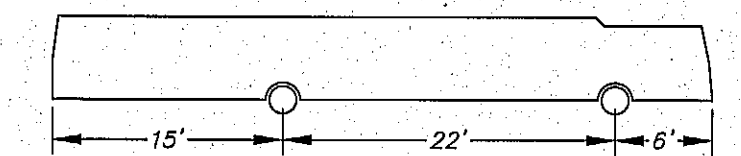
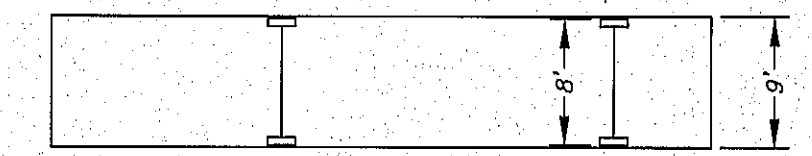
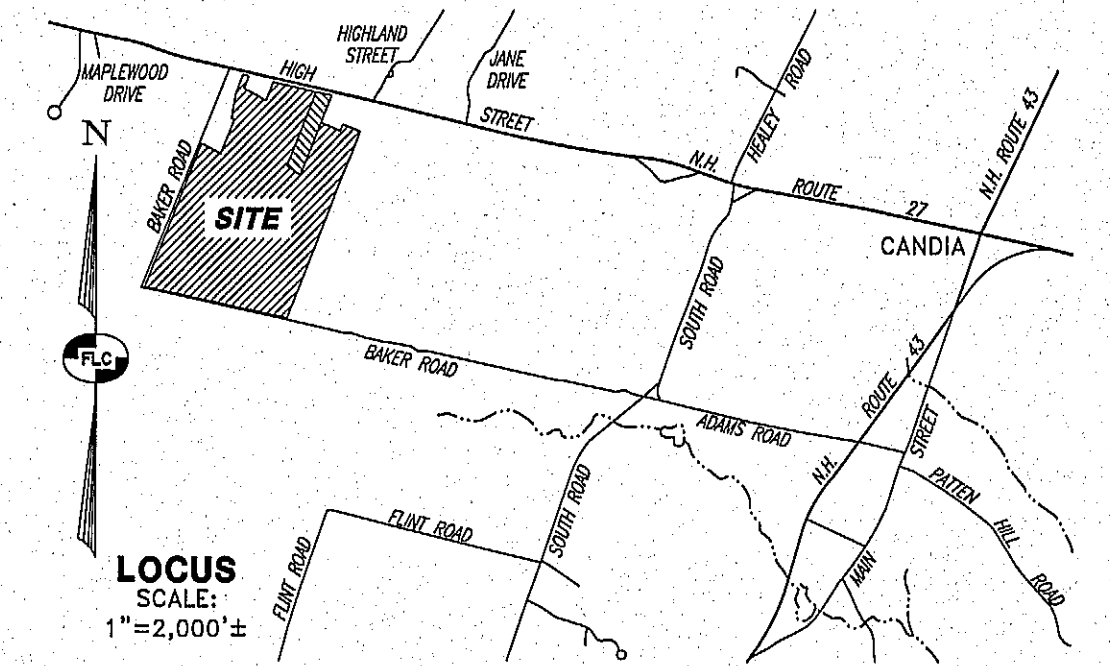
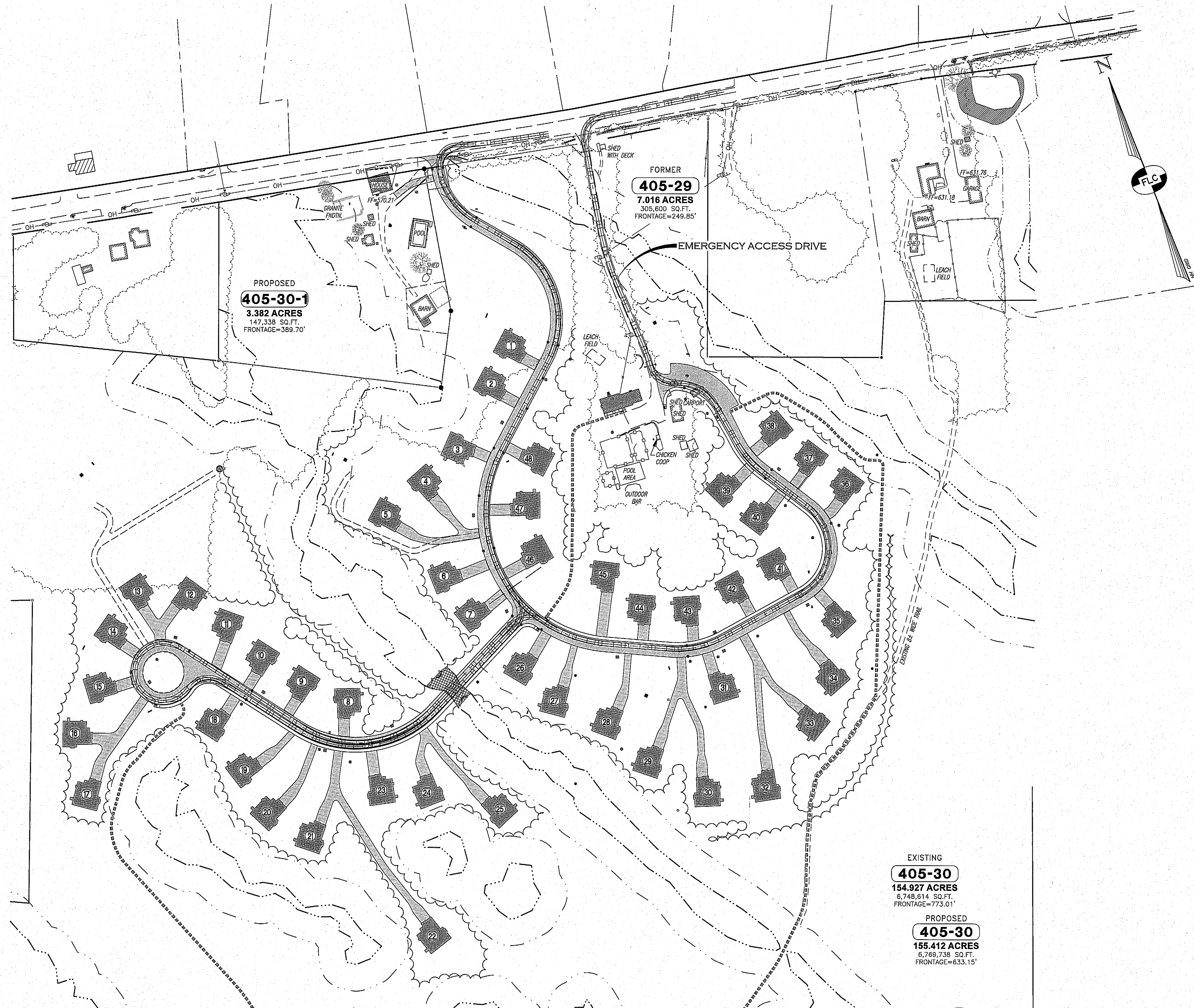
Phone: (603) 672-5456 Fax: (603) 413-5456

www.FieldstoneLandConsultants.com

FILE: 3528DT00.dwg

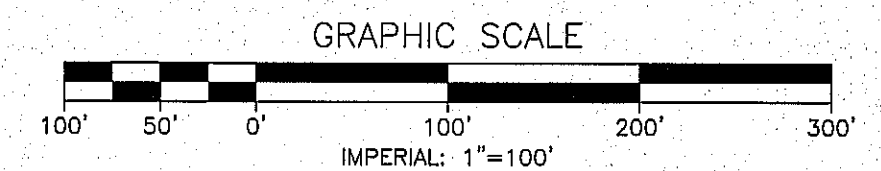
PROJ. NO. 3528.00

SHEET: DT-7



VEHICLE WIDTH: 8.5 FEET
WHEEL WIDTH: 8.21 FEET
TIRE DIAMETER: 1.8 FEET

TRUCK DIMENSIONS USED FOR DESIGN
SCALE: NOT TO SCALE



FIRE & RESCUE APARATUS TRACKING PLAN

FARMS OF CANDIA

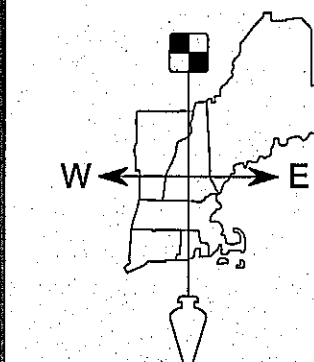
TAX MAP 405 LOTS 29 & 30
(466 & 476 HIGH STREET)
CANDIA, NEW HAMPSHIRE

PREPARED FOR:
JAMES LOGAN
273 CURRIER ROAD, CANDIA, NH 03034

LAND OF:
LONDON BRIDGE SOUTH, INC.
273 CURRIER ROAD, CANDIA, NH 03034

SCALE: 1" = 100' OCTOBER 20, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com