

MULTI-FAMILY DEVELOPMENT

"BEAVER MEADOWS"

TAX MAP 405 LOT 48

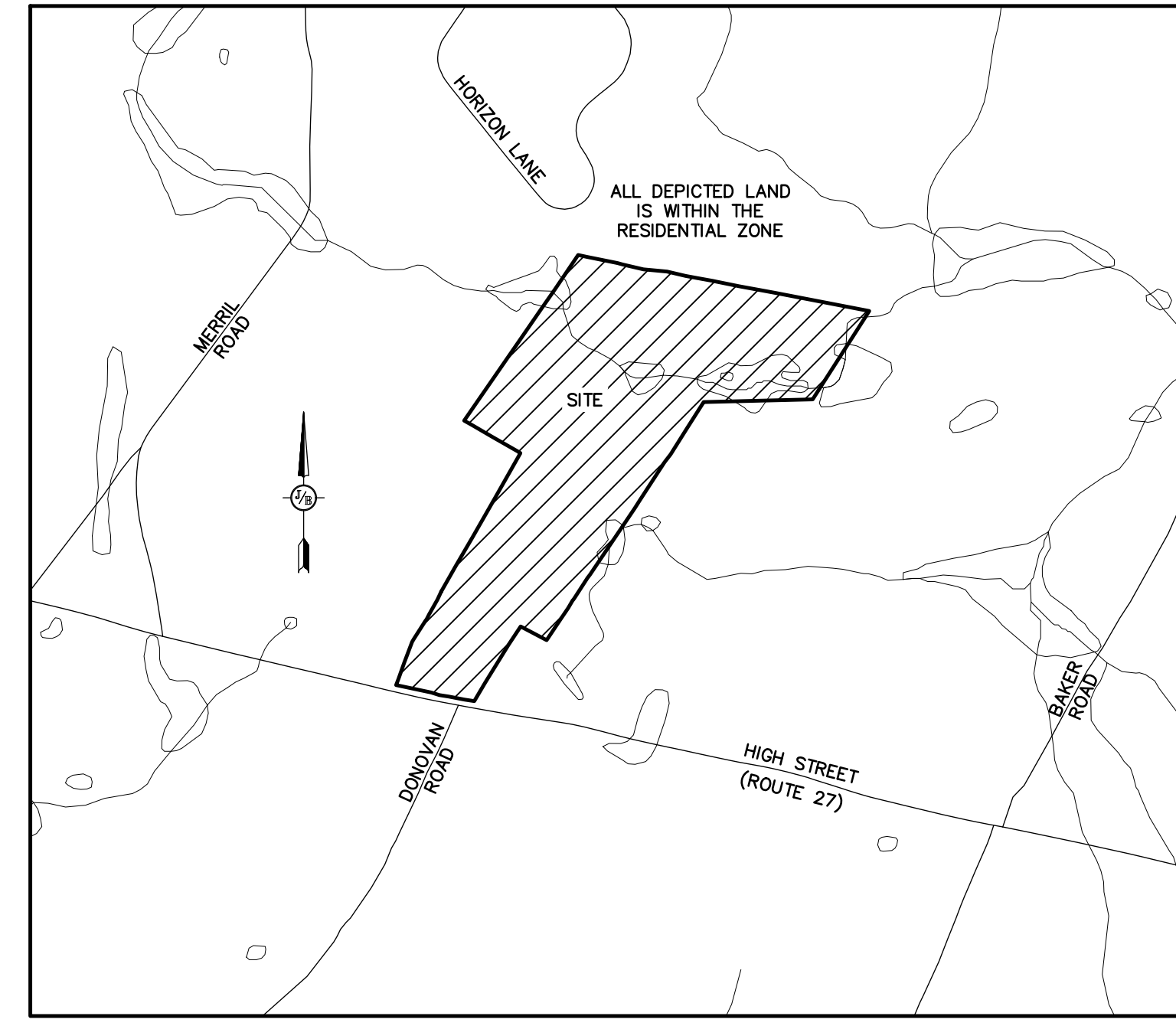
669 HIGH STREET, CANDIA, NH



Know what's below
811 before you dig

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TREE LINE
---	---	STONEWALL
---	---	FENCE
---	---	SOIL BOUNDARY
---	---	EASEMENT
100	100	MAJOR CONTOUR
98	98	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
X	X	SILT FENCE
D	D	DRAINAGE LINE
G	G	GAS LINE
W	W	WATER LINE
WS	WS	WATER SERVICE
OHE	OHE	OVERHEAD ELECTRIC
UGE	UGE	UNDERGROUND ELECTRIC
UD	UD	UNDERDRAIN
○	○	IRON PIPE/IRON ROD
●	●	DRILL HOLE
■	■	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
100x0	100x0	CURB SPOT GRADE
100.00	100.00	
100.00	100.00	
99.50	99.50	
TP1	TP1	BENCHMARK (TBM)
TP1	TP1	DOUBLE POST SIGN
TP1	TP1	SINGLE POST SIGN
TP1	TP1	WELL
TP1	TP1	TEST PIT
TP1	TP1	FAILED TEST PIT
TP1	TP1	TREES AND BUSHES
TP1	TP1	UTILITY POLE
TP1	TP1	LIGHT POLES
TP1	TP1	DRAIN MANHOLE
TP1	TP1	HYDRANT
TP1	TP1	WATER GATE
TP1	TP1	WATER SHUT OFF
TP1	TP1	REDUCER
TP1	TP1	SINGLE GRATE CATCH BASIN
TP1	TP1	DOUBLE GRATE CATCH BASIN
TP1	TP1	TRANSFORMER
TP1	TP1	CULVERT W/WINGWALLS
TP1	TP1	CULVERT W/FLARED END SECTION
TP1	TP1	CULVERT W/STRAIGHT HEADWALL
TP1	TP1	STONE CHECK DAM
TP1	TP1	DRAINAGE FLOW DIRECTION
TP1	TP1	RIPRAP
TP1	TP1	FRESHWATER WETLANDS
TP1	TP1	STABILIZED CONSTRUCTION ENTRANCE
TP1	TP1	CONCRETE
TP1	TP1	GRAVEL
TP1	TP1	SNOW STORAGE



VICINITY MAP
SCALE 1" = 1000'

SHEET INDEX

CS	COVER SHEET
C1	OVERVIEW EXISTING CONDITIONS PLAN
C2	EXISTING CONDITIONS PLAN
DM1	DEMOLITION PLAN
C3	OVERVIEW SITE PLAN
C4	SITE PLAN
C5	GRADING & DRAINAGE PLAN
C6	UTILITY PLAN
P1	ROAD PLAN & PROFILE
H1	HIGHWAY ACCESS PLAN
L1	LANDSCAPE PLAN
L2	LIGHTING PLAN
S1-S3	EFFLUENT DISPOSAL DESIGN
AR1	OVERVIEW AERIAL SITE PLAN
AR2	AERIAL SITE PLAN
D1-D2	DETAIL SHEET
E1	EROSION CONTROL SHEET
	ARCHITECTURAL PLANS

PERMITS

TYPE OF PERMIT	STATUS
NHDES SEPTIC PERMIT #1 (UNITS 1-2): NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - SUBSURFACE SYSTEMS BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:
NHDES SEPTIC PERMIT #2 (UNITS 3-4): NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - SUBSURFACE SYSTEMS BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:
NHDES SEPTIC PERMIT #3 (UNITS 5-6): NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - SUBSURFACE SYSTEMS BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:
NHDOT DRIVEWAY PERMIT: NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, DISTRICT SIX P.O. BOX 740 DURHAM, NEW HAMPSHIRE 03824 (603) 868-1133 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:
USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT, NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION: EPA STORMWATER NOTICE PROCESSING CENTER MAIL CODE 4203M, US EPA 1200 PENNSYLVANIA AVENUE, NW WASHINGTON, DC 20460 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: JOSEPH CORONATI
EMAIL: JCORONATI@JONESANDBEACH.COM

ELECTRIC
EVERSOURCE
740 N COMMERCIAL ST
PO BOX 330
MANCHESTER, NH 03105-0330
(800) 662-7764

TELEPHONE
CONSOLIDATED COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
(603) 427-5525
CONTACT: JOE CONSIDINE

WETLAND CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DRIVE, BUILDING 2, UNIT H
EXETER, NH 03833-7507
(603) 778-0644
CONTACT: JIM GOVE

CABLE TV
COMCAST COMMUNICATION CORPORATION
334-B CALEF HIGHWAY
EPPING, NH 03042-2325
(603) 679-5695

APPROVED - CANDIA, NH
PLANNING BOARD

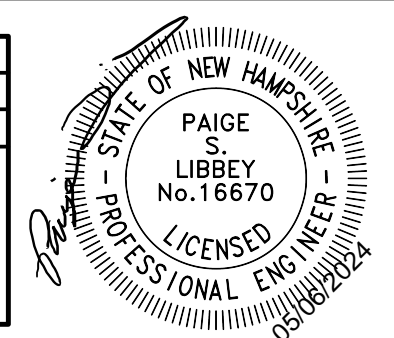
PROJECT PARCEL
TOWN OF CANDIA
TAX MAP 405, LOT 48

APPLICANT
BOB CARR
17 VASSAR STREET
MANCHESTER, NH 03104
BK 6150, PG 2657

TOTAL LOT AREA
87.8 ACRES ±

DATE:

Design: DJM	Draft: KDR	Date: 11/13/23
Checked: JAC	Scale: AS NOTED	Project No.: 22201
Drawing Name: 22201-PLAN.dwg		



REV.	DATE	REVISION	BY
5	5/6/24	REVISED PER TOWN ENGINEER AND FIRE CHIEF COMMENTS	DJM
4	3/22/24	REVISED PER TOWN ENGINEER COMMENTS	DJM
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR

Designed and Produced in NH

85 Portsmouth Ave. Stratham, NH 03885
Civil Engineering Services
603-772-4746
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.	CS
SHEET 1 OF 23	JBE PROJECT NO. 22201

"BEAVER MEADOWS", CANDIA, NH
JBE # 22201 REVISED 5/6/24

PLAN REFERENCES:

- "LOT LINE ADJUSTMENT PERIMETER PLAN, ASSESSOR'S MAP 405, LOTS 54,55, & 56, 613 HIGH STREET, CANDIA, NH, LAND OF ROBERT & LISA MARTEL," DATED JUNE 9, 2008. PREPARED BY JAMES E. FRANKLIN, LLC. R.C.R.D. PLAN 35695.
- "PROPERTY SURVEY, LAND OF ROBERT W. BERGEVIN, TRUSTEE OF THE MARILY H. BERGEVIN REVOCABLE TRUST OF 1998, 687 HIGH STREET, CANDIA, NEW HAMPSHIRE," DATED BY H.H. AMSDEN & SONS, DATED JULY 12, 2012. R.C.R.D. PLAN 37304.
- "SUBDIVISION PLAN, ASSESSORS MAP 105 LOT 48, CLAUDIA P. CARR, 669 HIGH STREET, CANDIA, NEW HAMPSHIRE," DATED MAY 17, 2006. PREPARED BY GRANITE STATE SURVEYING. NOT RECORDED.

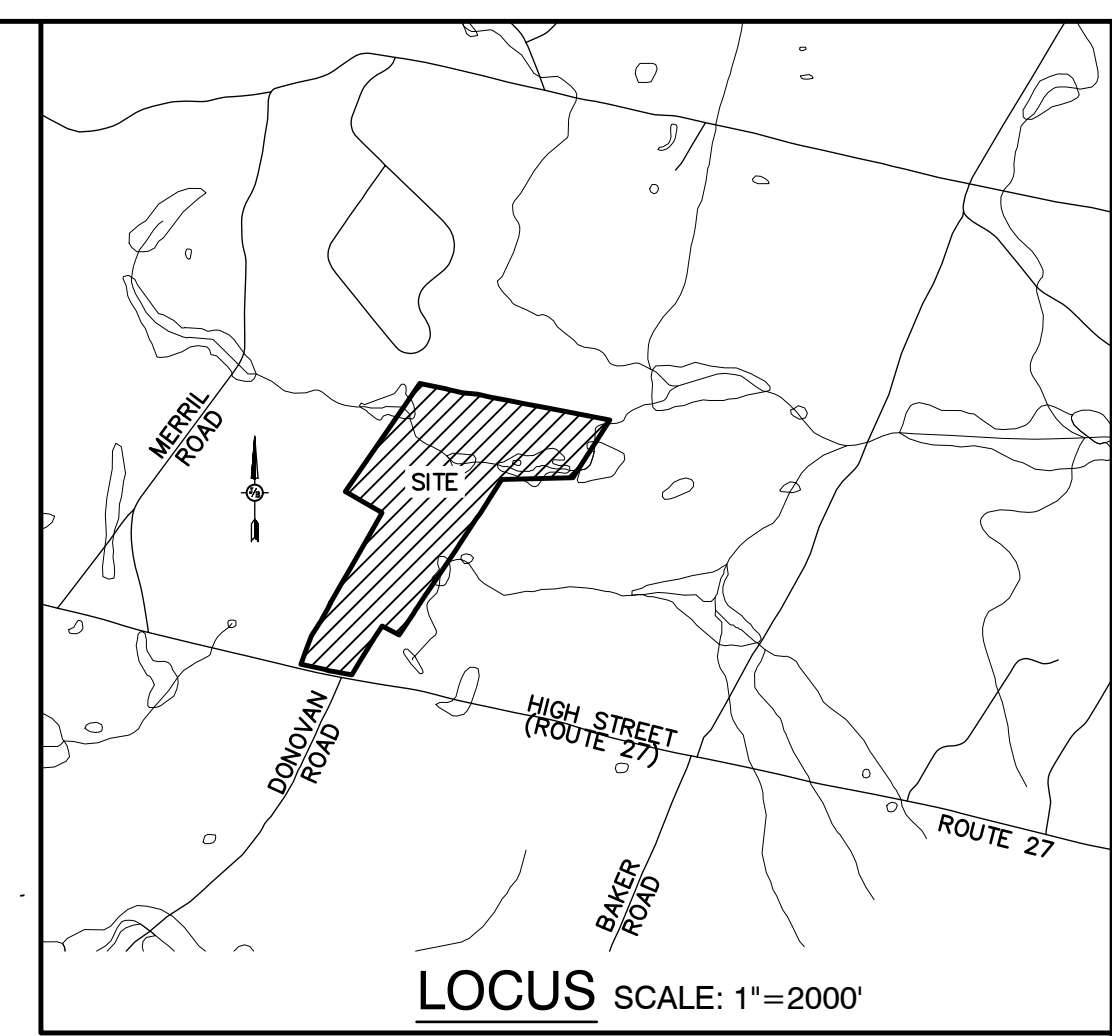
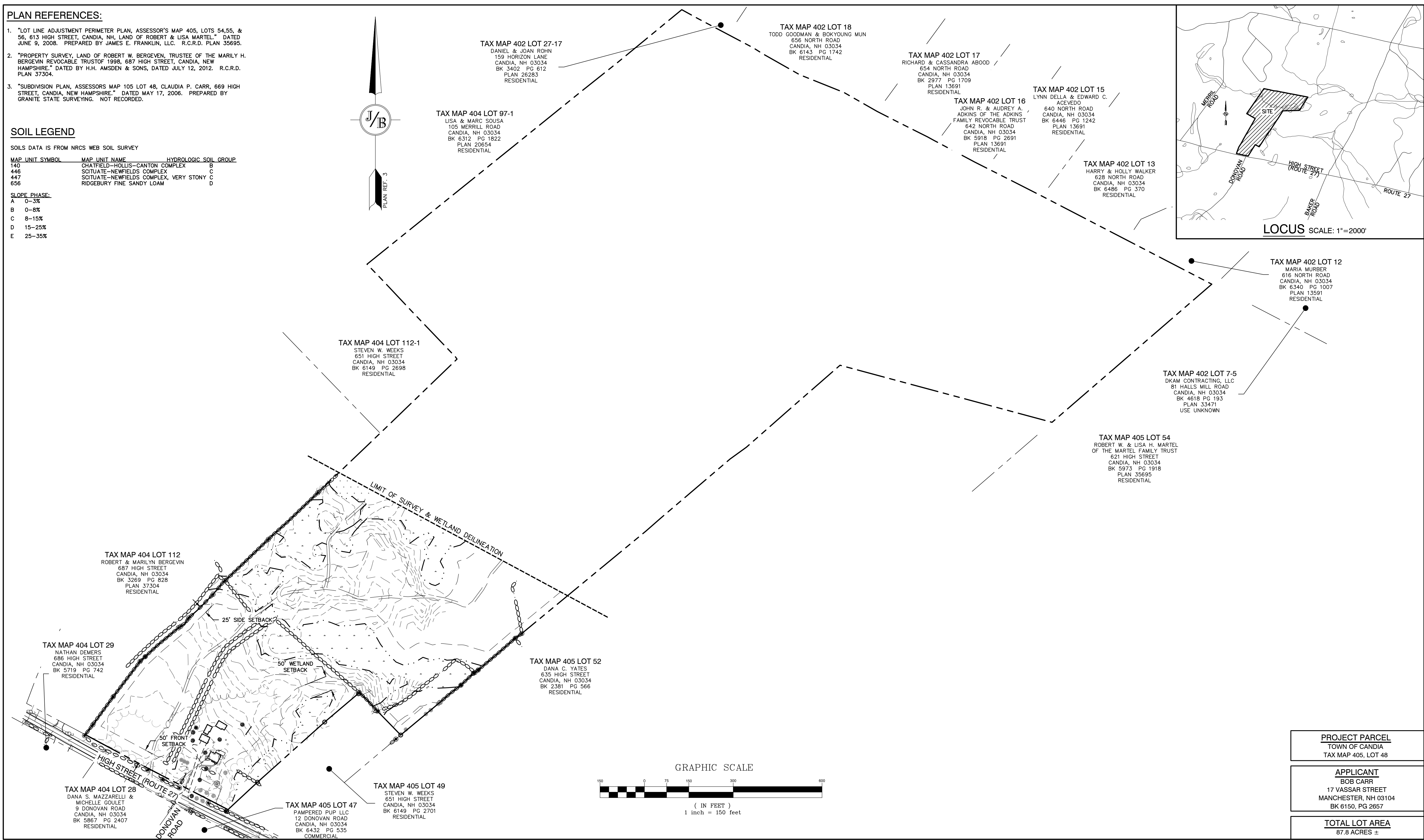
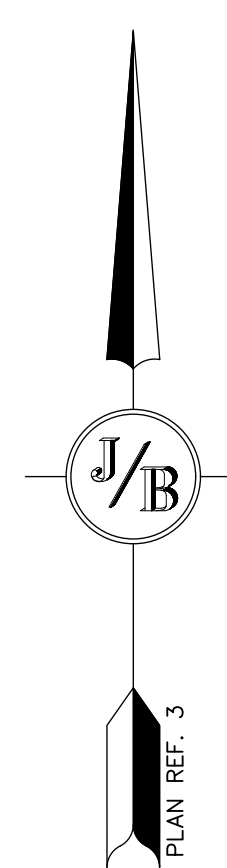
SOIL LEGEND

SOILS DATA IS FROM NRCS WEB SOIL SURVEY

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP
140	CHATFIELD-HOLLIS-CANTON COMPLEX	B
446	SITUATE-NEWFIELDS COMPLEX	C
447	SITUATE-NEWFIELDS COMPLEX, VERY STONY	C
656	RIDGEBURY FINE SANDY LOAM	D

SLOPE PHASE:

- A 0-3%
- B 0-8%
- C 8-15%
- D 15-25%
- E 25-35%



TAX MAP 404 LOT 112
ROBERT & MARILYN BERGEVIN
687 HIGH STREET
CANDIA, NH 03034
BK 3269 PG 828
PLAN 37304
RESIDENTIAL

TAX MAP 404 LOT 29
NATHAN DEMERS
686 HIGH STREET
CANDIA, NH 03034
BK 5719 PG 742
RESIDENTIAL

TAX MAP 404 LOT 28
DANA S. MAZZARELLI &
MICHELLE GOULET
9 DONOVAN ROAD
CANDIA, NH 03034
BK 5867 PG 2407
RESIDENTIAL

TAX MAP 405 LOT 47
FAMPERED PUP LLC
12 DONOVAN ROAD
CANDIA, NH 03034
BK 6432 PG 535
COMMERCIAL

TAX MAP 405 LOT 52
DANA C. YATES
635 HIGH STREET
CANDIA, NH 03034
BK 2381 PG 566
RESIDENTIAL

TAX MAP 404 LOT 112-1
STEVEN W. WEEKS
651 HIGH STREET
CANDIA, NH 03034
BK 6149 PG 2698
RESIDENTIAL

TAX MAP 402 LOT 27-17
DANIEL & JOAN ROHN
159 HORIZON LANE
CANDIA, NH 03034
BK 3402 PG 612
PLAN 26283
RESIDENTIAL

TAX MAP 404 LOT 97-1
LISA & MARC SOUSA
105 MERRILL ROAD
CANDIA, NH 03034
BK 6312 PG 1822
PLAN 20654
RESIDENTIAL

TAX MAP 402 LOT 18
TODD GOODMAN & BOKYOUNG MUN
656 NORTH ROAD
CANDIA, NH 03034
BK 6143 PG 1742
RESIDENTIAL

TAX MAP 402 LOT 17
RICHARD & CASSANDRA ABOOD
654 NORTH ROAD
CANDIA, NH 03034
BK 2977 PG 1709
PLAN 13691
RESIDENTIAL

TAX MAP 402 LOT 16
JOHN R. & AUDREY A.
ADKINS OF THE ADKINS
FAMILY REVOCABLE TRUST
642 NORTH ROAD
CANDIA, NH 03034
BK 5918 PG 2691
PLAN 13691
RESIDENTIAL

TAX MAP 402 LOT 15
LYNN DELLA & EDWARD C.
ACEVEDO
640 NORTH ROAD
CANDIA, NH 03034
BK 6446 PG 1242
PLAN 13691
RESIDENTIAL

TAX MAP 402 LOT 13
HARRY & HOLLY WALKER
628 NORTH ROAD
CANDIA, NH 03034
BK 6486 PG 370
RESIDENTIAL

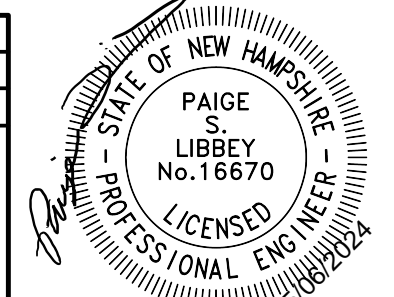
TAX MAP 402 LOT 12
MARIA MURBER
616 NORTH ROAD
CANDIA, NH 03034
BK 6340 PG 1007
PLAN 13591
RESIDENTIAL

TAX MAP 402 LOT 7-5
DKAM CONTRACTING, LLC
81 HALLS MILL ROAD
CANDIA, NH 03034
BK 4618 PG 193
PLAN 33471
USE UNKNOWN

TAX MAP 405 LOT 54
ROBERT W. & LISA H. MARTEL
OF THE MARTEL FAMILY TRUST
621 HIGH STREET
CANDIA, NH 03034
BK 5973 PG 1918
PLAN 35695
RESIDENTIAL

PROJECT PARCEL TOWN OF CANDIA TAX MAP 405, LOT 48
APPLICANT BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
TOTAL LOT AREA 87.8 ACRES ±

Design: DJM Draft: KDR Date: 11/13/23
Checked: JAC Scale: AS NOTED Project No.: 22201
Drawing Name: 22201-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

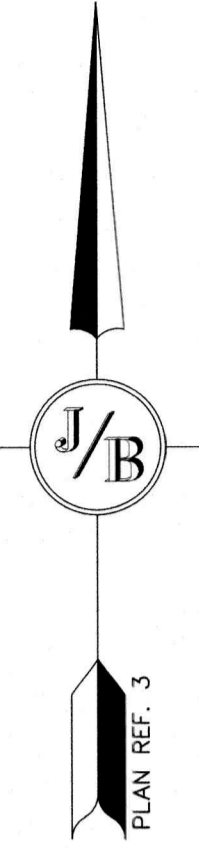
85 Portsmouth Ave. Stratham, NH 03885 Civil Engineering Services 603-772-4746 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	OVERVIEW EXISTING CONDITIONS PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
C1
SHEET 2 OF 23
JBE PROJECT NO. 22201

LEGEND

- PROPERTY LINE
- - - - - ABUTTER PROPERTY LINE
- BUILDING SETBACK
- SURVEY TIE LINES
- WETLANDS
- TREE LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- OHE OVERHEAD ELECTRIC LINES
- STONE WALL
- REMNANT STONE WALL
- 100 MAJOR CONTOUR
- 102 MINOR CONTOUR
- WELL
- UTILITY POLE
- GUY WIRE ANCHOR
- UTILITY SUPPORT POLE
- ELECTRIC METER
- IRON ROD / IRON PIPE AS NOTED
- GRANITE BOUND
- DRILL HOLE FOUND
- IRON ROD
- DRILL HOLE
- BND BOUND

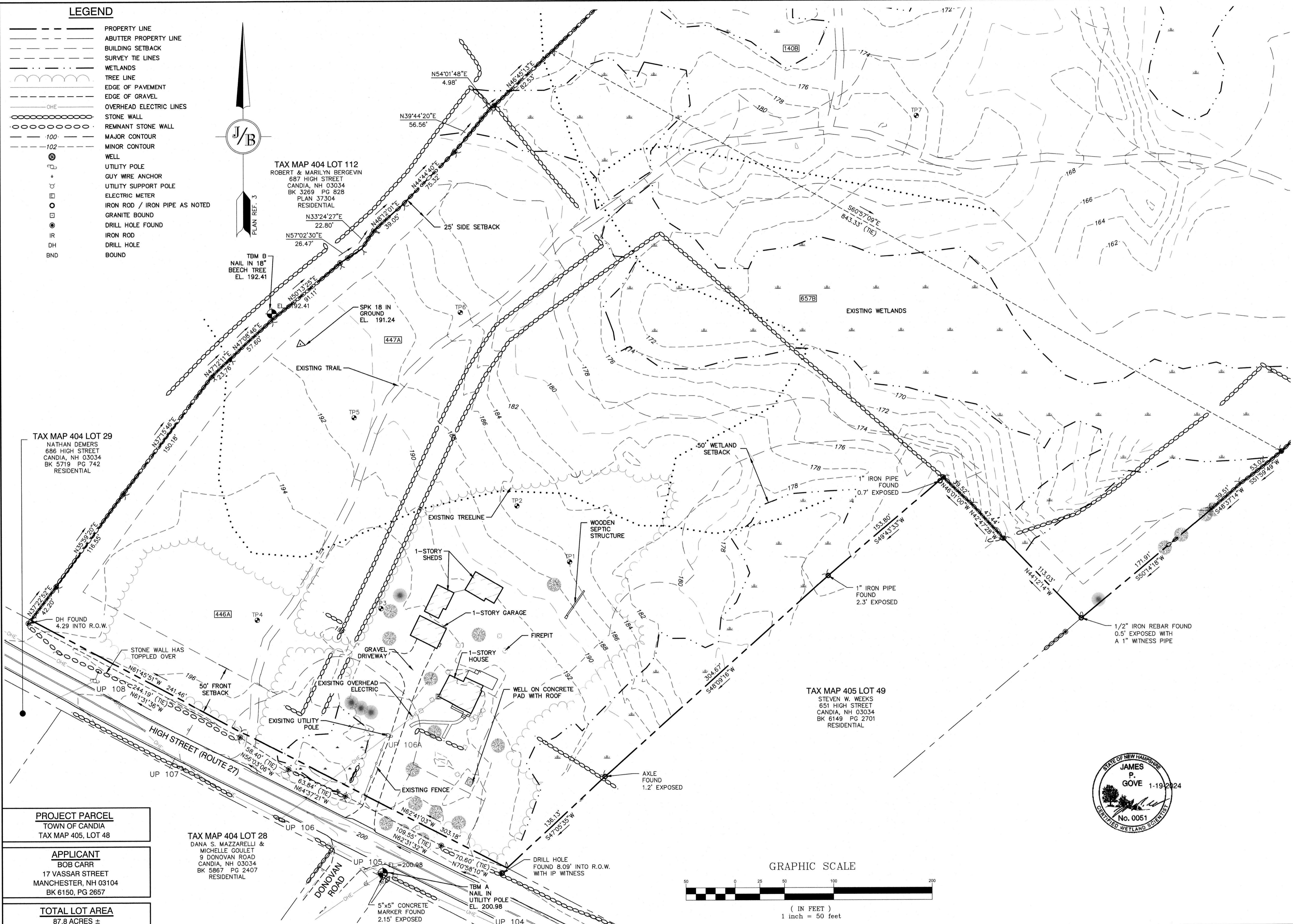


TAX MAP 404 LOT 112
 ROBERT & MARILYN BERGEVIN
 687 HIGH STREET
 CANDIA, NH 03034
 BK 3209 PG 828
 PLAN 37304
 RESIDENTIAL

TAX MAP 404 LOT 29
 NATHAN DEMERS
 686 HIGH STREET
 CANDIA, NH 03034
 BK 5719 PG 742
 RESIDENTIAL

TAX MAP 404 LOT 28
 DANA S. MAZZARELLI &
 MICHELLE GOULET
 9 DONOVAN ROAD
 CANDIA, NH 03034
 BK 5867 PG 2407
 RESIDENTIAL

TAX MAP 405 LOT 49
 STEVEN W. WEEKS
 651 HIGH STREET
 CANDIA, NH 03034
 BK 6149 PG 2701
 RESIDENTIAL



- NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW A PORTION OF THE BOUNDARY AND EXISTING CONDITIONS OF LOT 48 AS SHOWN ON TOWN OF CANDIA TAX MAP 405. ALL BOUNDARY LINES WHICH MAY BE AFFECTED BY THE PROPOSED DEVELOPMENT HAVE BEEN SURVEYED BY THIS OFFICE. THE REMAINING BOUNDARY IS SHOWN FROM RECORD PLANS AND SHALL BE CONSIDERED APPROXIMATE.
 - THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHALL BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS shall NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
 - THE SUBJECT PARCEL'S PROPOSED LIMITS OF IMPROVEMENTS IS NOT LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). REFERENCE FLOOD INSURANCE RATE MAP NO. 33015C 0155 E, WITH EFFECTIVE DATE OF MAY 17, 2005.
 - BASIS OF BEARING: HORIZONTAL - MAGNETIC, PER PLAN REFERENCE 3. VERTICAL - ASSUMED.
 - CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
 - ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF CANDIA TAX RECORDS AND ARE SUBJECT TO CHANGE.
 - RESEARCH WAS PERFORMED AT THE TOWN OF CANDIA ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESRIPTIVE. ANY USE OF THIS PLAN AND/OR ACCOMPANYING DESCRIPTIONS SHALL BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
 - THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES IN JULY 2023 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
 - SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHALL ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
 - HIGH STREET IN CANDIA WAS LAID OUT AS A FOUR ROD HIGHWAY IN 1758. LOCATION AND ORIENTATION OF EXISTING PHYSICAL EVIDENCE WAS USED WHERE POSSIBLE, BUT THE ORIGINAL WIDTH OF FOUR RODS WAS HELD.
 - SEE R.C.R.D. BOOK 1059 PAGE 375, AND BOOK 1019 PAGE 434 FOR EASEMENT TO ACCOMMODATE VACUUM OIL COMPANY FOR A PIPELINE FOR PETROLEUM, GAS, AND PETROLEUM PRODUCTS. NO EVIDENCE OF ANY PIPE LINES HAS BEEN OBSERVED.

- PLAN REFERENCES:**
- "LOT LINE ADJUSTMENT PERIMETER PLAN, ASSESSOR'S MAP 405, LOTS 54,55, & 56, 613 HIGH STREET, CANDIA, NH, LAND OF ROBERT & LISA MARTEL," DATED JUNE 9, 2008. PREPARED BY JAMES E. FRANKLIN, LLC. R.C.R.D. PLAN 35695.
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 - "SUBDIVISION PLAN, ASSESSOR'S MAP 105 LOT 48, CLAUDIA P. CARR, 669 HIGH STREET, CANDIA, NEW HAMPSHIRE," DATED MAY 17, 2006. PREPARED BY GRANITE STATE SURVEYING. NOT RECORDED.

CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

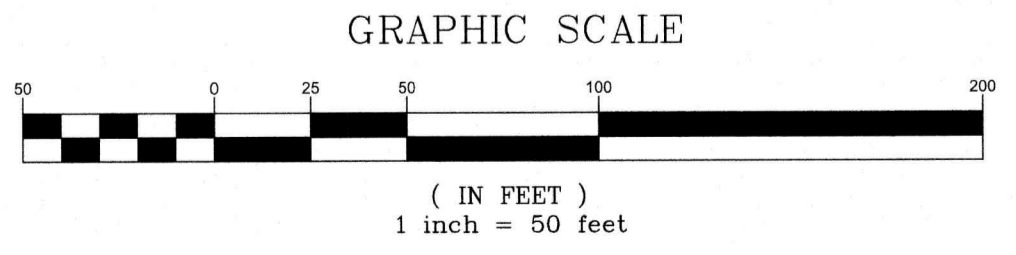
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
 ON BEHALF OF JONES & BEACH ENGINEERS, INC.

5/7/24
DATE:



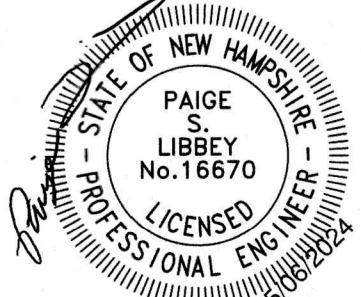
PROJECT PARCEL
 TOWN OF CANDIA
 TAX MAP 405, LOT 48

APPLICANT
 BOB CARR
 17 VASSAR STREET
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TOTAL LOT AREA
 87.8 ACRES ±

Design: DJM Draft: KDR Date: 11/13/23
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		REVISION	BY

Designed and Produced in NH

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85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

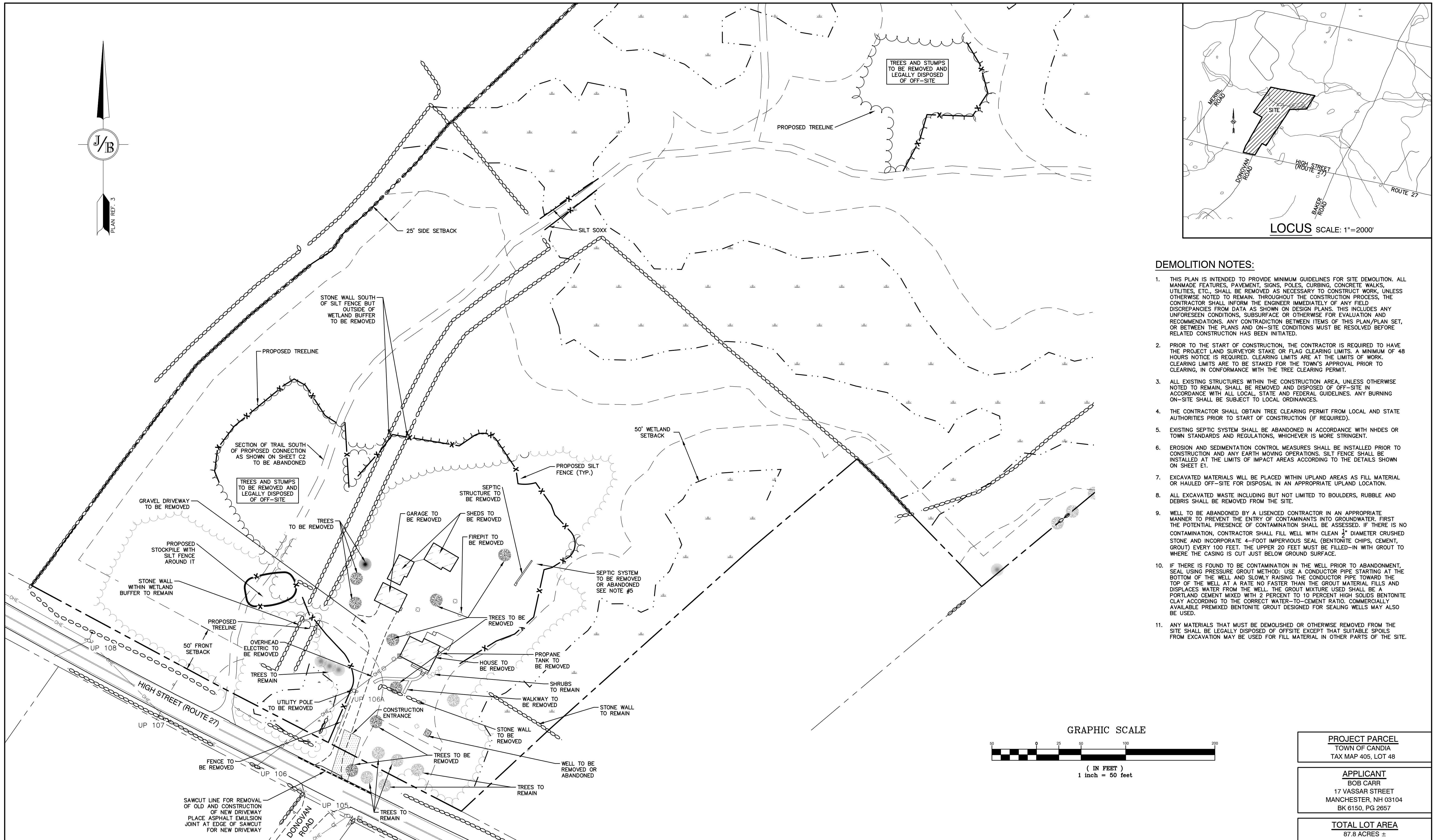
Plan Name: **EXISTING CONDITIONS PLAN**

Project: **"BEAVER MEADOWS"**
 669 HIGH STREET, CANDIA, NH 03034

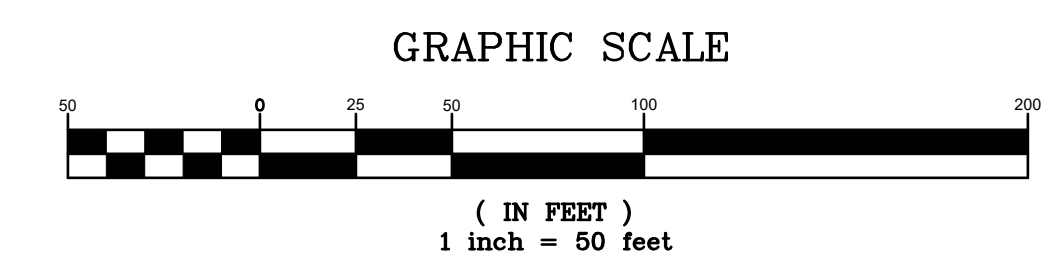
Owner of Record: **CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT**
 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No. **C2**

SHEET 3 OF 23
 JBE PROJECT NO. 22201

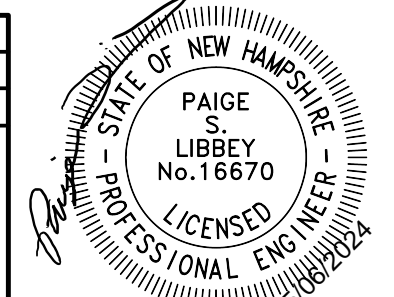


- ### DEMOLITION NOTES:
1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORSEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE AT THE LIMITS OF WORK. CLEARING LIMITS ARE TO BE STAKED FOR THE TOWN'S APPROVAL PRIOR TO CLEARING, IN CONFORMANCE WITH THE TREE CLEARING PERMIT.
 3. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
 4. THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
 5. EXISTING SEPTIC SYSTEM SHALL BE ABANDONED IN ACCORDANCE WITH NHDES OR TOWN STANDARDS AND REGULATIONS, WHICHEVER IS MORE STRINGENT.
 6. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
 7. EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.
 8. ALL EXCAVATED WASTE INCLUDING BUT NOT LIMITED TO BOULDERS, RUBBLE AND DEBRIS SHALL BE REMOVED FROM THE SITE.
 9. WELL TO BE ABANDONED BY A LICENSED CONTRACTOR IN AN APPROPRIATE MANNER TO PREVENT THE ENTRY OF CONTAMINANTS INTO GROUNDWATER. FIRST THE POTENTIAL PRESENCE OF CONTAMINATION SHALL BE ASSESSED. IF THERE IS NO CONTAMINATION, CONTRACTOR SHALL FILL WELL WITH CLEAN 1/2" DIAMETER CRUSHED STONE AND INCORPORATE 4-FOOT IMPERVIOUS SEAL (BENTONITE CHIPS, CEMENT, GROUT) EVERY 100 FEET. THE UPPER 20 FEET MUST BE FILLED-IN WITH GROUT TO WHERE THE CASING IS CUT JUST BELOW GROUND SURFACE.
 10. IF THERE IS FOUND TO BE CONTAMINATION IN THE WELL PRIOR TO ABANDONMENT, SEAL USING PRESSURE GROUT METHOD: USE A CONDUCTOR PIPE STARTING AT THE BOTTOM OF THE WELL AND SLOWLY RAISING THE CONDUCTOR PIPE TOWARD THE TOP OF THE WELL AT A RATE NO FASTER THAN THE GROUT MATERIAL FILLS AND DISPLACES WATER FROM THE WELL. THE GROUT MIXTURE USED SHALL BE A PORTLAND CEMENT MIXED WITH 2 PERCENT TO 10 PERCENT HIGH SOLIDS BENTONITE CLAY ACCORDING TO THE CORRECT WATER-TO-CEMENT RATIO. COMMERCIALY AVAILABLE PREMIXED BENTONITE GROUT DESIGNED FOR SEALING WELLS MAY ALSO BE USED.
 11. ANY MATERIALS THAT MUST BE DEMOLISHED OR OTHERWISE REMOVED FROM THE SITE SHALL BE LEGALLY DISPOSED OF OFFSITE EXCEPT THAT SUITABLE SPOILS FROM EXCAVATION MAY BE USED FOR FILL MATERIAL IN OTHER PARTS OF THE SITE.



PROJECT PARCEL TOWN OF CANDIA TAX MAP 405, LOT 48
APPLICANT BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
TOTAL LOT AREA 87.8 ACRES ±

Design: DJM Draft: KDR Date: 11/13/23
 Checked: JAC Scale: AS NOTED Project No.: 22201
 Drawing Name: 22201-PLAN.dwg
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1	11/16/23	ADD PROPOSED BUILDINGS	KDR
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885 603-772-4746 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DEMOLITION PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
DM-1
SHEET 4 OF 23
JBE PROJECT NO. 22201

ABUTTERS:

TAX MAP 402 LOT 7-5
DKAM CONTRACTING LLC
81 HALLS MILL ROAD
CANDIA, NH 03034
4618/0193 (02/13/06)

TAX MAP 402 LOT 12
MARIA MURBER
616 NORTH ROAD
CANDIA, NH 03034
6340/1007 (10/13/21)

TAX MAP 402 LOT 13
HARRY & HOLLY RUTH WALKER, JR
628 NORTH ROAD
CANDIA, NH 03034
6486/370 (06/01/23)

TAX MAP 402 LOT 15
LYNN DELLA & EDWARD C ACEVEDO
640 NORTH ROAD
CANDIA, NH 03034
6446/1242 (10/17/22)

TAX MAP 402 LOT 16
JOHN R & AUDREY A ADKINS TRUSTEES
ADKINS FAMILY REV TRUST OF 2018
642 NORTH ROAD
CANDIA, NH 03034
5918/2691 (05/30/18)

TAX MAP 402 LOT 17
RICHARD L & CASSANDRA S ABOOD
654 NORTH ROAD
CANDIA, NH 03034
2977/1709 (04/16/93)

TAX MAP 402 LOT 18
TODD S GOODMAN
MUN BOKYOUNG
656 NORTH ROAD
CANDIA, NH 03034
6143/1742 (07/27/20)

TAX MAP 402 LOT 27-16
DEBORAH T MARTEL TRUSTEE
DEBORAH MARTEL LIVING TRUST
151 HORIZON LANE
CANDIA, NH 03034
5485/0853 (10/07/13)

TAX MAP 402 LOT 27-17
DANIEL J & JOAN M ROHN
159 HORIZON LANE
CANDIA, NH 03034

TAX MAP 402 LOT 27-18
ERIC E. & DIANE P. RAND
167 HORIZON LANE
CANDIA, NH 03034
3406/0910 (07/08/99)

TAX MAP 402 LOT 27-22
BRANDON & ELIZABETH POPE
176 HORIZON LANE
CANDIA, NH 03034
6120/0998 (05/29/20)

TAX MAP 404 LOT 28
DANA S MAZZARELLI
MICHELLE GOULET
9 DONOVAN ROAD
CANDIA, NH 03034
5867/2407 (10/31/17)

TAX MAP 404 LOT 29
NATHAN DEMERS
686 HIGH STREET
CANDIA, NH 03034
5719/0742 (05/31/16)

TAX MAP 404 LOT 30-6
ANTHONY & PAULINE A. STEINMETZ
700 HIGH ST
CANDIA, NH 03034
3009/2477 (09/30/93)

TAX MAP 404 LOT 97-1
MARC D & LISA T SOUSA
105 MERRILL ROAD
CANDIA, NH 03034
6312/1822 (08/05/21)

TAX MAP 404 LOT 111
ALFRED J. & IRENE GUILLETTE
703 HIGH ST
CANDIA, NH 03034
2801/1266 (07/21/89)

TAX MAP 404 LOT 112
ROBERT W & MARILYN H BERGEVIN
687 HIGH STREET
CANDIA, NH 03034
3269/0828 (02/18/98)

TAX MAP 404 LOT 112-1
405/49 & 50
STEVEN W WEEKS
651 HIGH STREET
CANDIA, NH 03034
6149/2698 (08/10/20) - LOT 112-1
6149/2701 (07/31/20) - LOTS 49 & 50

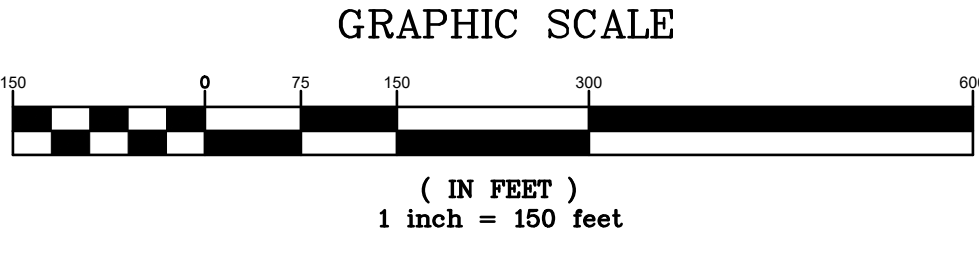
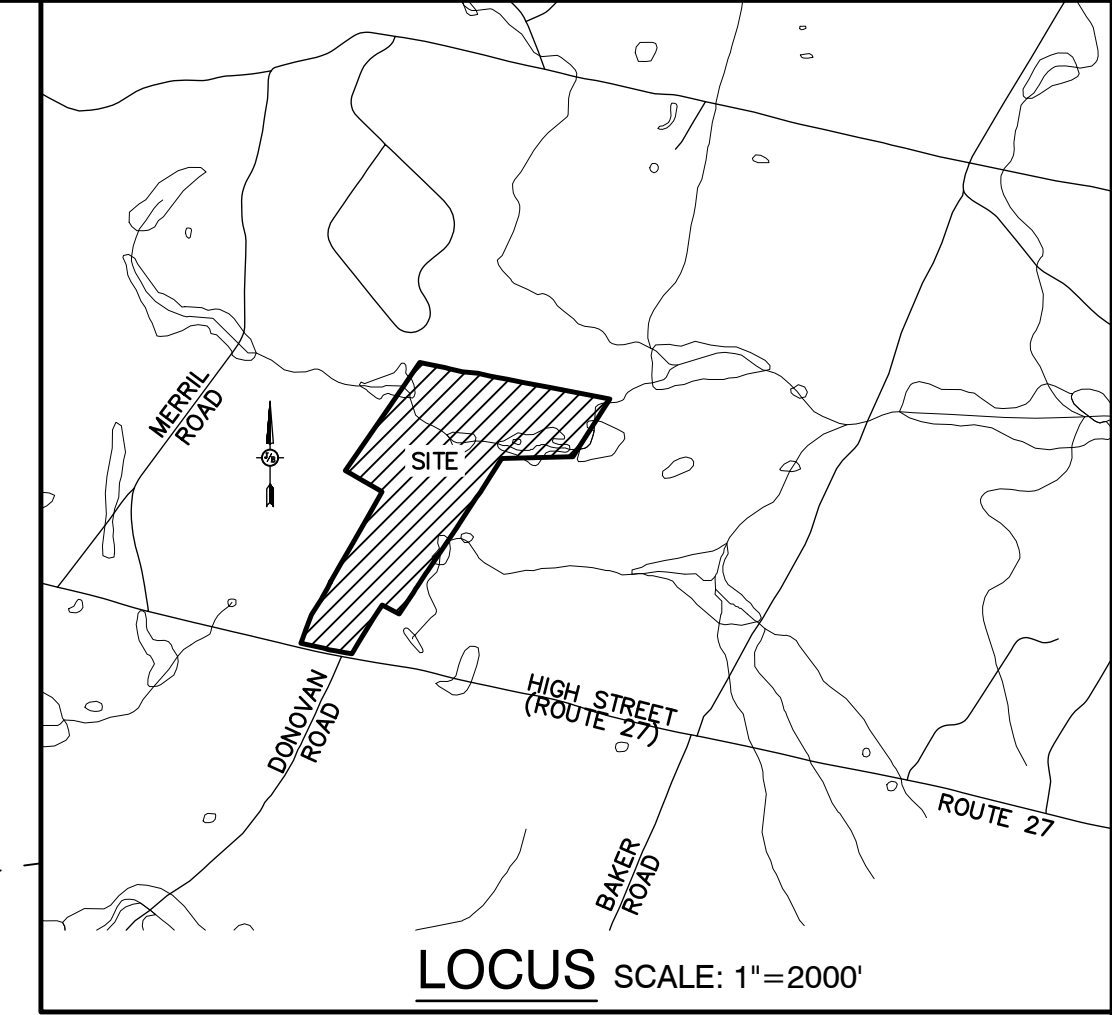
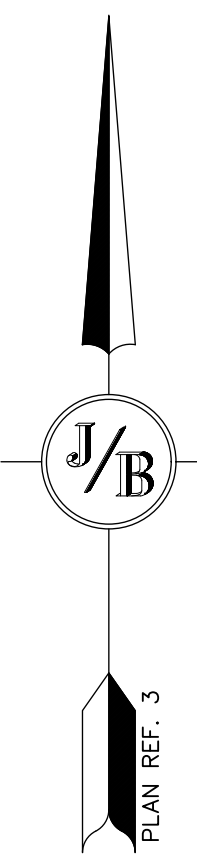
TAX MAP 405 LOT 46
FLB ASSOCIATES, LLC
650 HIGH ST
CANDIA, NH 03034
4390/1016 (10/27/04)

TAX MAP 405 LOT 47
PAMPERED PUP LLC
12 DONOVAN STREET
CANDIA, NH 03034
6432/535 (08/17/22)

TAX MAP 405 LOT 51
COLLEEN A & DAVID C GOYETTE
643 HIGH ST
CANDIA, NH 03034
5836/2264 (07/19/17)

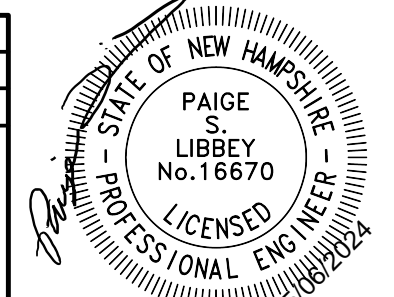
TAX MAP 405 LOT 52
DANA C YATES
635 HIGH STREET
CANDIA, NH 03034
2381/0566 (12/23/80)

TAX MAP 405 LOT 54
ROBERT W & LISA H TRUSTEES
MARTEL FAMILY TRUST DECEMBER 2019
621 HIGH STREET
CANDIA, NH 03034
5973/1918 (12/19/18)



PROJECT PARCEL TOWN OF CANDIA TAX MAP 405, LOT 48
APPLICANT BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
TOTAL LOT AREA 87.8 ACRES ±

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J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219
 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	OVERVIEW SITE PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
C3
 SHEET 5 OF 23
 JBE PROJECT NO. 22201

ESTIMATED CONSTRUCTION SCHEDULE:

THIS SCHEDULE IS AN ESTIMATE ONLY AND ASSUMES A SEPTEMBER 1, 2024 CONSTRUCTION START DATE. ADJUST ACCORDING TO ACTUAL START DATE OF CONSTRUCTION AND/OR UNFORESEEN DELAYS.

SEE ALSO CONSTRUCTION SEQUENCE ON SHEET E1. THE CONSTRUCTION SEQUENCE ON SHEET E1 MUST BE FOLLOWED, NOTWITHSTANDING THE FOLLOWING SCHEDULE.

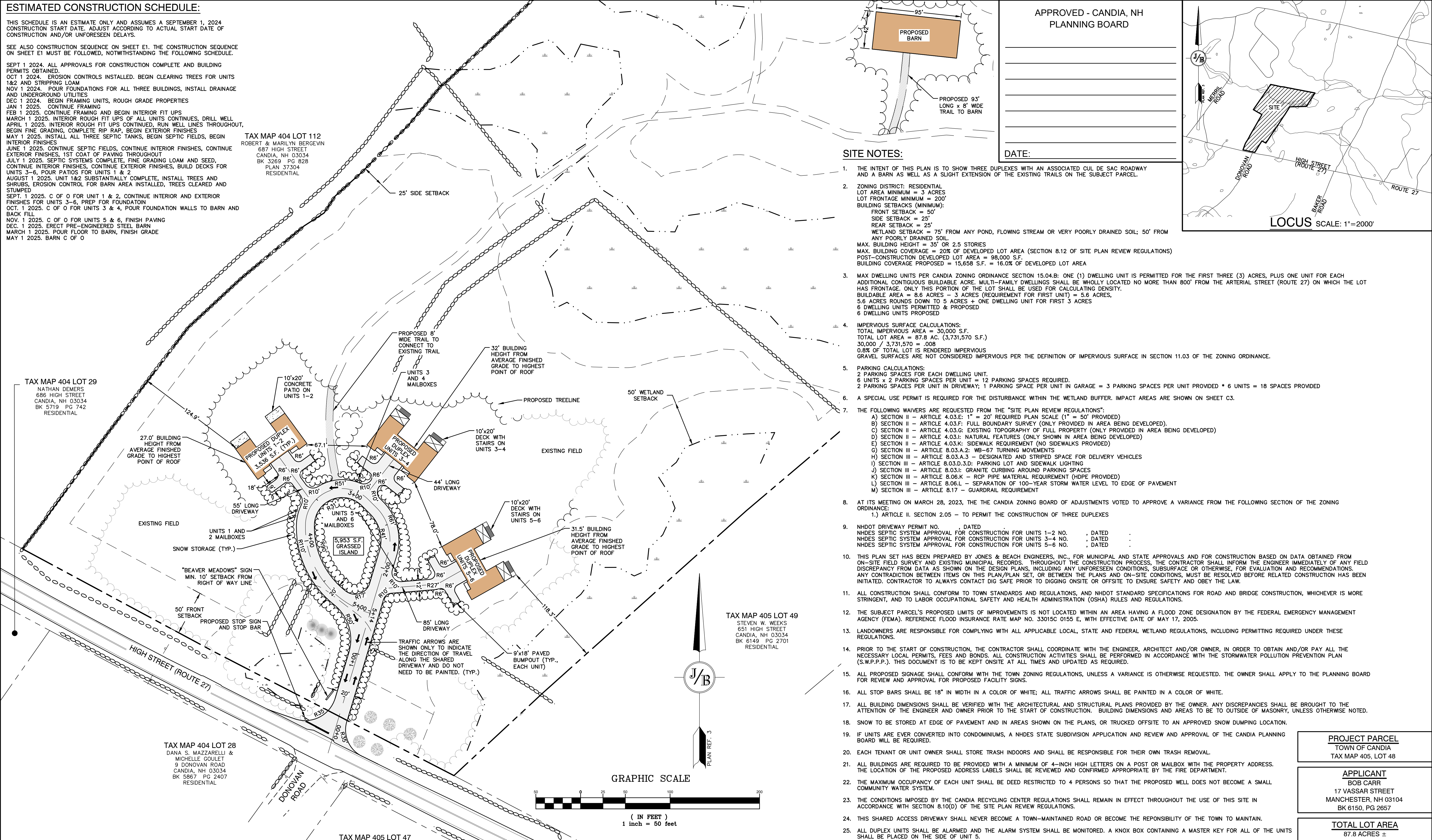
SEPT 1 2024. ALL APPROVALS FOR CONSTRUCTION COMPLETE AND BUILDING PERMITS OBTAINED.
 OCT 1 2024. EROSION CONTROLS INSTALLED. BEGIN CLEARING TREES FOR UNITS 1&2 AND STRIPPING LOAM
 NOV 1 2024. POUR FOUNDATIONS FOR ALL THREE BUILDINGS, INSTALL DRAINAGE AND UNDERGROUND UTILITIES
 DEC 1 2024. BEGIN FRAMING UNITS, ROUGH GRADE PROPERTIES
 JAN 1 2025. CONTINUE FRAMING
 FEB 1 2025. CONTINUE FRAMING AND BEGIN INTERIOR FIT UPS
 MARCH 1 2025. INTERIOR ROUGH FIT UPS OF ALL UNITS CONTINUES, DRILL WELL
 APRIL 1 2025. INTERIOR ROUGH FIT UPS CONTINUED, RUN WELL LINES THROUGHOUT, BEGIN FINE GRADING, COMPLETE RIP RAP, BEGIN EXTERIOR FINISHES
 MAY 1 2025. INSTALL ALL THREE SEPTIC TANKS, BEGIN SEPTIC FIELDS, BEGIN INTERIOR FINISHES
 JUNE 1 2025. CONTINUE SEPTIC FIELDS, CONTINUE INTERIOR FINISHES, CONTINUE EXTERIOR FINISHES, 1ST COAT OF PAVING THROUGHOUT
 JULY 1 2025. SEPTIC SYSTEMS COMPLETE, FINE GRADING LOAM AND SEED, CONTINUE INTERIOR FINISHES, CONTINUE EXTERIOR FINISHES, BUILD DECKS FOR UNITS 3-6, POUR PATIOS FOR UNITS 1 & 2
 AUGUST 1 2025. UNIT 1&2 SUBSTANTIALLY COMPLETE, INSTALL TREES AND SHRUBS, EROSION CONTROL FOR BARN AREA INSTALLED, TREES CLEARED AND STUMPED
 SEPT. 1 2025. C OF O FOR UNIT 1 & 2, CONTINUE INTERIOR AND EXTERIOR FINISHES FOR UNITS 3-6, PREP FOR FOUNDATION
 OCT. 1 2025. C OF O FOR UNITS 3 & 4, POUR FOUNDATION WALLS TO BARN AND BACK FILL
 NOV. 1 2025. C OF O FOR UNITS 5 & 6, FINISH PAVING
 DEC. 1 2025. ERECT PRE-ENGINEERED STEEL BARN
 MARCH 1 2025. POUR FLOOR TO BARN, FINISH GRADE
 MAY 1 2025. BARN C OF O

TAX MAP 404 LOT 112
 ROBERT & MARILYN BERGEVIN
 687 HIGH STREET
 CANDIA, NH 03034
 BK 3269 PG 828
 PLAN 37304
 RESIDENTIAL

TAX MAP 404 LOT 29
 NATHAN DEMERS
 686 HIGH STREET
 CANDIA, NH 03034
 BK 5719 PG 742
 RESIDENTIAL

TAX MAP 404 LOT 28
 DANA S. MAZZARELLI &
 MICHELLE GOULET
 9 DONOVAN ROAD
 CANDIA, NH 03034
 BK 5867 PG 2407
 RESIDENTIAL

TAX MAP 405 LOT 49
 STEVEN W. WEEKS
 651 HIGH STREET
 CANDIA, NH 03034
 BK 6149 PG 2701
 RESIDENTIAL



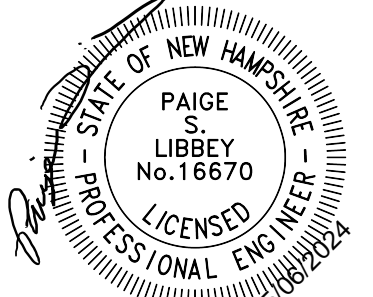
APPROVED - CANDIA, NH
 PLANNING BOARD

DATE:

SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THREE DUPLEXES WITH AN ASSOCIATED CUL DE SAC ROADWAY AND A BARN AS WELL AS A SLIGHT EXTENSION OF THE EXISTING TRAILS ON THE SUBJECT PARCEL.
- ZONING DISTRICT: RESIDENTIAL
 LOT AREA MINIMUM = 3 ACRES
 LOT FRONTAGE MINIMUM = 200'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 50'
 SIDE SETBACK = 25'
 REAR SETBACK = 25'
 WETLAND SETBACK = 75' FROM ANY POND, FLOWING STREAM OR VERY POORLY DRAINED SOIL; 50' FROM ANY POORLY DRAINED SOIL.
 MAX. BUILDING HEIGHT = 35' OR 2.5 STORIES
 MAX. BUILDING COVERAGE = 20% OF DEVELOPED LOT AREA (SECTION 8.12 OF SITE PLAN REVIEW REGULATIONS)
 POST-CONSTRUCTION DEVELOPED LOT AREA = 98,000 S.F.
 BUILDING COVERAGE PROPOSED = 15,658 S.F. = 16.0% OF DEVELOPED LOT AREA
- MAX DWELLING UNITS PER CANDIA ZONING ORDINANCE SECTION 15.04.B: ONE (1) DWELLING UNIT IS PERMITTED FOR THE FIRST THREE (3) ACRES, PLUS ONE UNIT FOR EACH ADDITIONAL CONTIGUOUS BUILDING MULTI-FAMILY DWELLINGS SHALL BE WHOLLY LOCATED NO MORE THAN 800' FROM THE ARTERIAL STREET (ROUTE 27) ON WHICH THE LOT HAS FRONTAGE. ONLY THIS PORTION OF THE LOT SHALL BE USED FOR CALCULATING DENSITY.
 BUILDABLE AREA = 8.6 ACRES - 3 ACRES (REQUIREMENT FOR FIRST UNIT) = 5.6 ACRES,
 5.6 ACRES ROUNDS DOWN TO 5 ACRES + ONE DWELLING UNIT FOR FIRST 3 ACRES
 6 DWELLING UNITS PERMITTED & PROPOSED
 6 DWELLING UNITS PROPOSED
- IMPERVIOUS SURFACE CALCULATIONS:
 TOTAL IMPERVIOUS AREA = 30,000 S.F.
 TOTAL LOT AREA = 87.8 AC. (3,731,570 S.F.)
 $30,000 / 3,731,570 = .008$
 0.8% OF TOTAL LOT IS RENDERED IMPERVIOUS
 GRAVEL SURFACES ARE NOT CONSIDERED IMPERVIOUS PER THE DEFINITION OF IMPERVIOUS SURFACE IN SECTION 11.03 OF THE ZONING ORDINANCE.
- PARKING CALCULATIONS:
 2 PARKING SPACES FOR EACH DWELLING UNIT.
 6 UNITS x 2 PARKING SPACES PER UNIT = 12 PARKING SPACES REQUIRED.
 2 PARKING SPACES PER UNIT IN DRIVEWAY; 1 PARKING SPACE PER UNIT IN GARAGE = 3 PARKING SPACES PER UNIT PROVIDED * 6 UNITS = 18 SPACES PROVIDED
- A SPECIAL USE PERMIT IS REQUIRED FOR THE DISTURBANCE WITHIN THE WETLAND BUFFER. IMPACT AREAS ARE SHOWN ON SHEET C3.
- THE FOLLOWING WAIVERS ARE REQUESTED FROM THE "SITE PLAN REVIEW REGULATIONS":
 A) SECTION II - ARTICLE 4.03.E: 1" = 20' REQUIRED PLAN SCALE (1" = 50' PROVIDED)
 B) SECTION II - ARTICLE 4.03.F: FULL BOUNDARY SURVEY (ONLY PROVIDED IN AREA BEING DEVELOPED).
 C) SECTION II - ARTICLE 4.03.G: EXISTING TOPOGRAPHY OF FULL PROPERTY (ONLY PROVIDED IN AREA BEING DEVELOPED)
 D) SECTION II - ARTICLE 4.03.I: NATURAL FEATURES (ONLY SHOWN IN AREA BEING DEVELOPED)
 E) SECTION II - ARTICLE 4.03.K: SIDEWALK REQUIREMENT (NO SIDEWALKS PROVIDED)
 F) SECTION III - ARTICLE 8.03.A.2: WB-67 TURNING MOVEMENTS
 G) SECTION III - ARTICLE 8.03.A.3 - DESIGNATED AND STRIPED SPACE FOR DELIVERY VEHICLES
 H) SECTION III - ARTICLE 8.03.D.3.D: PARKING LOT AND SIDEWALK LIGHTING
 I) SECTION III - ARTICLE 8.03.I: GRANITE CURBING AROUND PARKING SPACES
 J) SECTION III - ARTICLE 8.06.K - RCP PIPE MATERIAL REQUIREMENT (HDPE PROVIDED)
 K) SECTION III - ARTICLE 8.06.L - SEPARATION OF 100-YEAR STORM WATER LEVEL TO EDGE OF PAVEMENT
 L) SECTION III - ARTICLE 8.17 - GUARDRAIL REQUIREMENT
- AT ITS MEETING ON MARCH 28, 2023, THE CANDIA ZONING BOARD OF ADJUSTMENTS VOTED TO APPROVE A VARIANCE FROM THE FOLLOWING SECTION OF THE ZONING ORDINANCE:
 1.) ARTICLE II. SECTION 2.05 - TO PERMIT THE CONSTRUCTION OF THREE DUPLEXES
- NHDOT DRIVEWAY PERMIT NO. _____ DATED _____
 NHDES SEPTIC SYSTEM APPROVAL FOR CONSTRUCTION FOR UNITS 1-2 NO. _____ DATED _____
 NHDES SEPTIC SYSTEM APPROVAL FOR CONSTRUCTION FOR UNITS 3-4 NO. _____ DATED _____
 NHDES SEPTIC SYSTEM APPROVAL FOR CONSTRUCTION FOR UNITS 5-6 NO. _____ DATED _____
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT, AND TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- THE SUBJECT PARCEL'S PROPOSED LIMITS OF IMPROVEMENTS IS NOT LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). REFERENCE FLOOD INSURANCE RATE MAP NO. 33015C 0155 E, WITH EFFECTIVE DATE OF MAY 17, 2005.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED. THE OWNER SHALL APPLY TO THE PLANNING BOARD FOR REVIEW AND APPROVAL FOR PROPOSED FACILITY SIGNS.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- IF UNITS ARE EVER CONVERTED INTO CONDOMINIUMS, A NHDES STATE SUBDIVISION APPLICATION AND REVIEW AND APPROVAL OF THE CANDIA PLANNING BOARD WILL BE REQUIRED.
- EACH TENANT OR UNIT OWNER SHALL STORE TRASH INDOORS AND SHALL BE RESPONSIBLE FOR THEIR OWN TRASH REMOVAL.
- ALL BUILDINGS ARE REQUIRED TO BE PROVIDED WITH A MINIMUM OF 4-INCH HIGH LETTERS ON A POST OR MAILBOX WITH THE PROPERTY ADDRESS. THE LOCATION OF THE PROPOSED ADDRESS LABELS SHALL BE REVIEWED AND CONFIRMED APPROPRIATE BY THE FIRE DEPARTMENT.
- THE MAXIMUM OCCUPANCY OF EACH UNIT SHALL BE DEED RESTRICTED TO 4 PERSONS SO THAT THE PROPOSED WELL DOES NOT BECOME A SMALL COMMUNITY WATER SYSTEM.
- THE CONDITIONS IMPOSED BY THE CANDIA RECYCLING CENTER REGULATIONS SHALL REMAIN IN EFFECT THROUGHOUT THE USE OF THIS SITE IN ACCORDANCE WITH SECTION 8.10(D) OF THE SITE PLAN REVIEW REGULATIONS.
- THIS SHARED ACCESS DRIVEWAY SHALL NEVER BECOME A TOWN-MAINTAINED ROAD OR BECOME THE RESPONSIBILITY OF THE TOWN TO MAINTAIN.
- ALL DUPLEX UNITS SHALL BE ALARMED AND THE ALARM SYSTEM SHALL BE MONITORED. A KNOX BOX CONTAINING A MASTER KEY FOR ALL OF THE UNITS SHALL BE PLACED ON THE SIDE OF UNIT 5.

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85 Portsmouth Ave. Stratham, NH 03885
 Civil Engineering Services
 603-772-4746
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SITE PLAN TAX MAP 405, LOT 48
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.

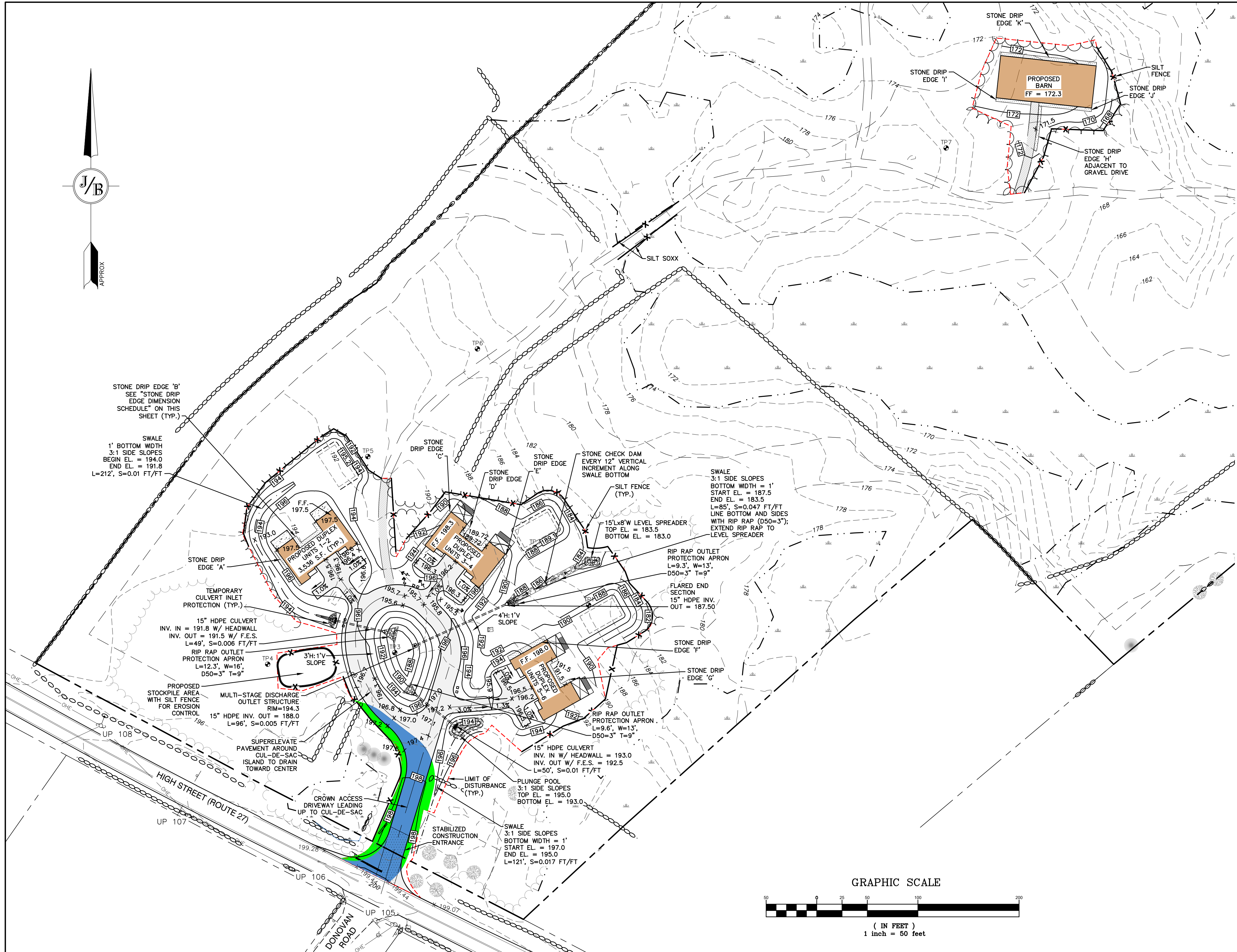
C4

SHEET 6 OF 23
 JBE PROJECT NO. 22201

PROJECT PARCEL
 TOWN OF CANDIA
 TAX MAP 405, LOT 48

APPLICANT
 BOB CARR
 17 VASSAR STREET
 MANCHESTER, NH 03104
 BK 6150, PG 2657

TOTAL LOT AREA
 87.8 ACRES ±



GRADING AND DRAINAGE NOTES:

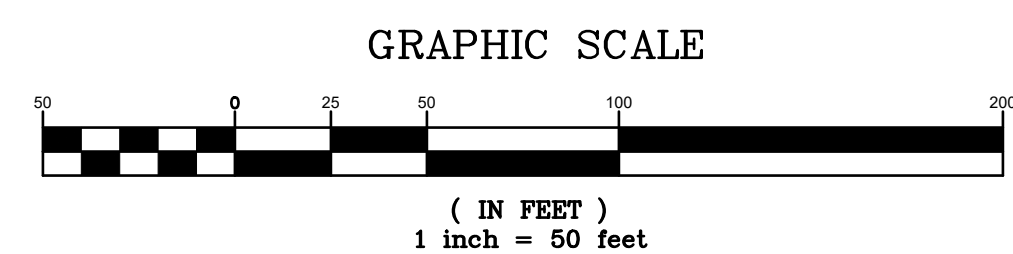
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S150 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL STORMWATER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING AND ANYTIME CONSTRUCTION STOPS FOR LONGER THAN 3 DAYS.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.25" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHALL BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- AREA OF DISTURBANCE = 98,500 S.F.

WETLAND BUFFER IMPACT LEGEND

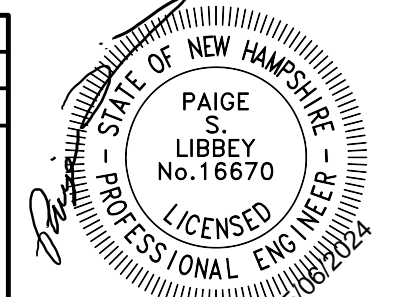
- PERMANENT DISTURBANCE (IMPERVIOUS SURFACE) = 3,750 S.F.
- TEMPORARY DISTURBANCE (PERVIOUS AREA TO BE DISTURBED) = 2,050 S.F.

STONE DRIP EDGE DIMENSION SCHEDULE			
STONE DRIP EDGE	LENGTH (FT.)	WIDTH (FT.)	DEPTH (FT.)
A	42	2.5	2.3
B	52	4	3.2
C	42	3	2.4
D	52	4	1.2
E	42	2.5	4
F	42	4.5	1.6
G	52	3	1.6
H	40	3	3
I	35	4	3.85
J	52	4	3.85
K	95	4	3.85

PROJECT PARCEL TOWN OF CANDIA TAX MAP 405, LOT 48
APPLICANT BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
TOTAL LOT AREA 87.8 ACRES ±



Design: DJM Draft: KDR Date: 11/13/23
 Checked: JAC Scale: AS NOTED Project No.: 22201
 Drawing Name: 22201-PLAN.dwg
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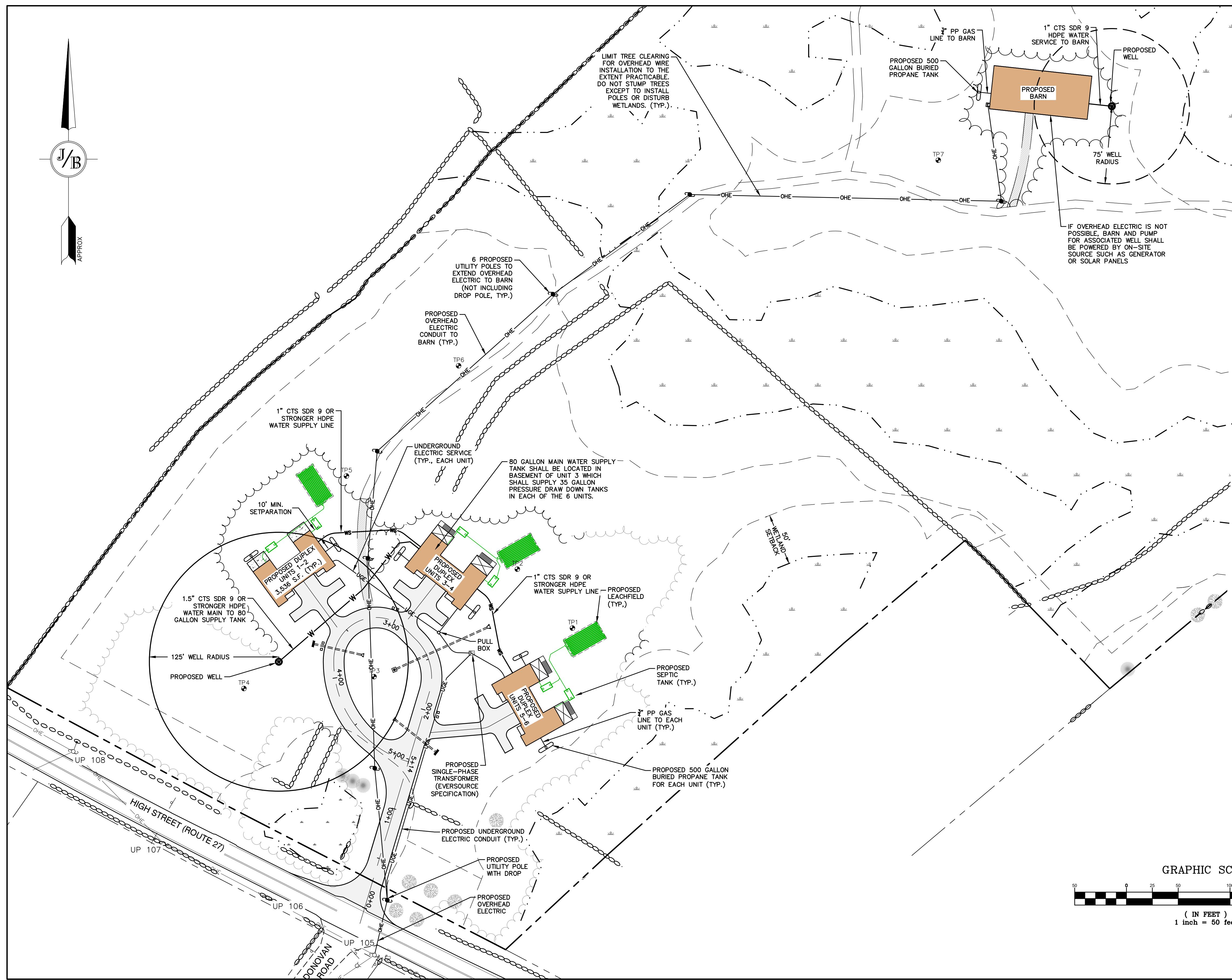
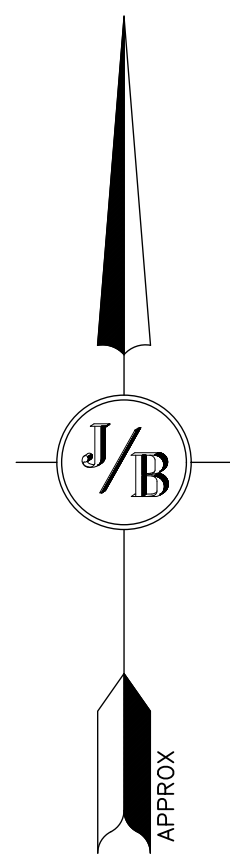


REV.	DATE	REVISION	BY
5	5/6/24	REVISED PER TOWN ENGINEER AND FIRE CHIEF COMMENTS	DJM
4	3/22/24	REVISED PER TOWN ENGINEER COMMENTS	DJM
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
REV.	DATE	REVISION	BY

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

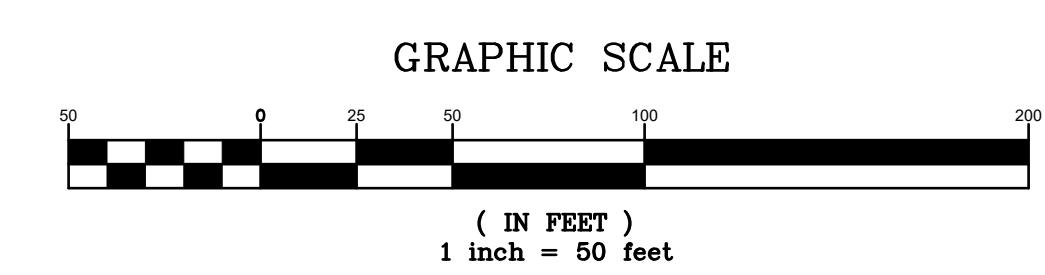
Plan Name:	GRADING & DRAINAGE PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
C5
 SHEET 7 OF 23
 JBE PROJECT NO. 22201



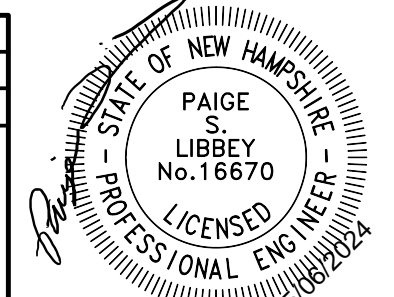
UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, AND FIRE ALARM).
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDINGS TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. SANITARY SEWER FLOW CALCULATIONS:
6 - THREE BEDROOM UNITS @ 150 GPD/BEDROOM = 2,700 GPD TOTAL FLOW
10. WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
11. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
12. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHALL BE SENT IN TRIPPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
13. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
14. ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
15. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
16. DISINFECTION OF WATER MAINS SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH AWWA STANDARD C651, LATEST EDITION. THE BASIC PROCEDURE TO BE FOLLOWED FOR DISINFECTING WATER MAINS IS AS FOLLOWS:
 - a. PREVENT CONTAMINATING MATERIALS FROM ENTERING THE WATER MAIN DURING STORAGE, CONSTRUCTION, OR REPAIR.
 - b. REMOVE, BY FLUSHING OR OTHER MEANS, THOSE MATERIALS THAT MAY HAVE ENTERED THE WATER MAINS.
 - c. CHLORINATE ANY RESIDUAL CONTAMINATION THAT MAY REMAIN, AND FLUSH THE CHLORINATED WATER FROM THE MAIN.
 - d. PROTECT THE EXISTING DISTRIBUTION SYSTEM FROM BACKFLOW DUE TO HYDROSTATIC PRESSURE TEST AND DISINFECTION PROCEDURES.
 - e. DETERMINE THE BACTERIOLOGICAL QUALITY BY LABORATORY TEST AFTER DISINFECTION.
 - f. MAKE FINAL CONNECTION OF THE APPROVED NEW WATER MAIN TO THE ACTIVE DISTRIBUTION SYSTEM



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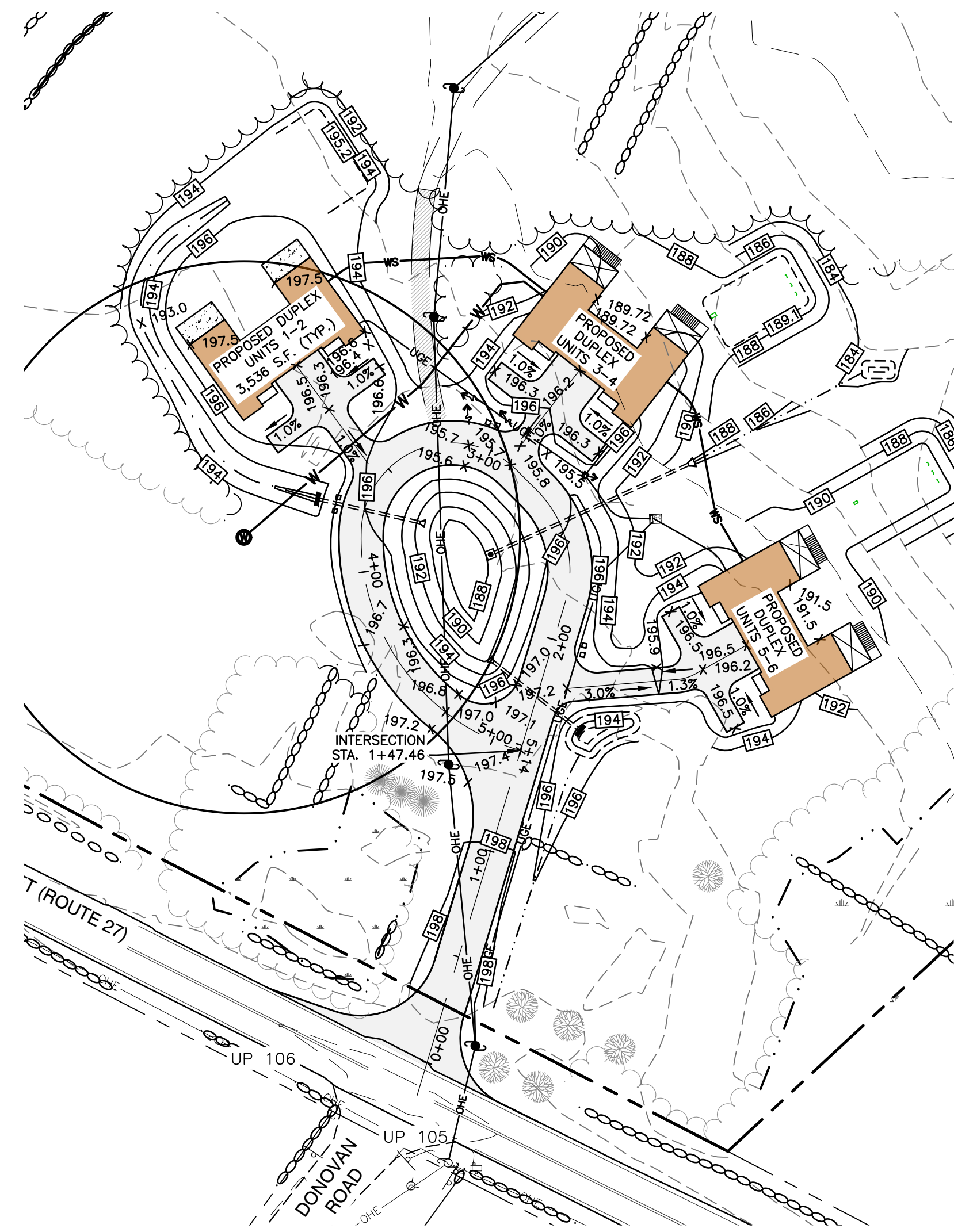
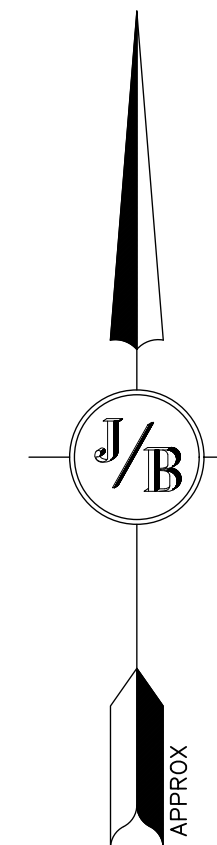
Designed and Produced in NH

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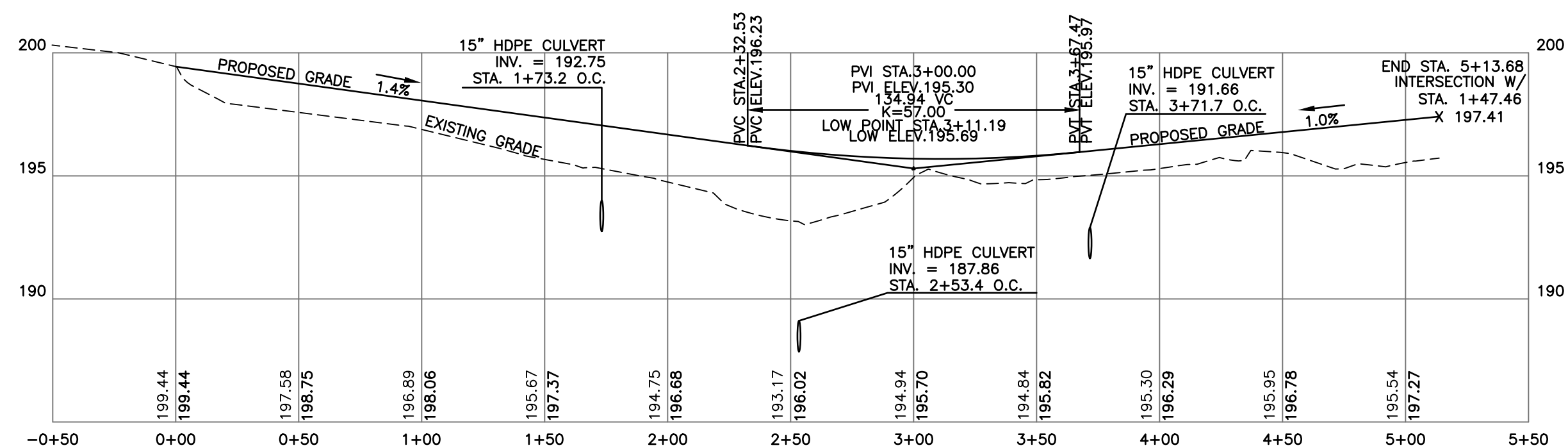
Plan Name:	UTILITY PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
C6
SHEET 8 OF 23
JBE PROJECT NO. 22201

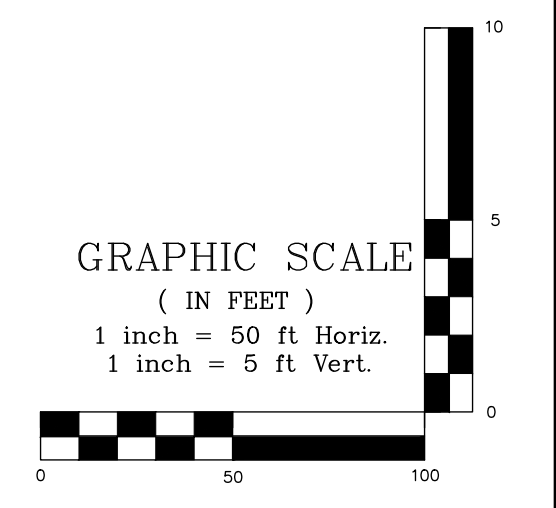


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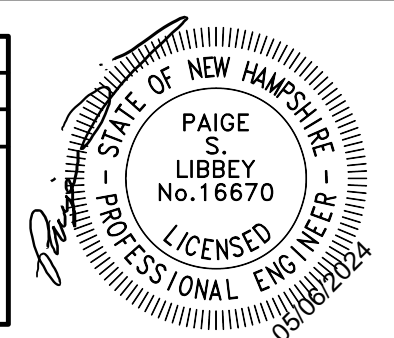
1. THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT [HTTP://CFPUB.EPA.GOV/NPDES/STORMWATER/NOI/NOISEARCH.CFM](http://cfpub.epa.gov/npdes/stormwater/noi/noisearch.cfm). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - A. FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR
 - B. ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
2. ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE TOWN, AND NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
3. DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
4. CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV, AND TELEPHONE PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
5. THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
6. SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
7. ALL DISTURBED AREAS NOT STABILIZED BY OCTOBER 15TH SHALL BE COVERED WITH AN EROSION CONTROL BLANKET. PRODUCT TO BE SPECIFIED BY THE ENGINEER.
8. FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO TOWN REQUIREMENTS.
9. CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
10. DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: SILT FENCING WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE FENCE STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SUMPS BELOW THE INLET OF CULVERTS SEMIANNUALLY.
11. ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
12. COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION.



ROAD PROFILE (1 INCH = 50 FEET)



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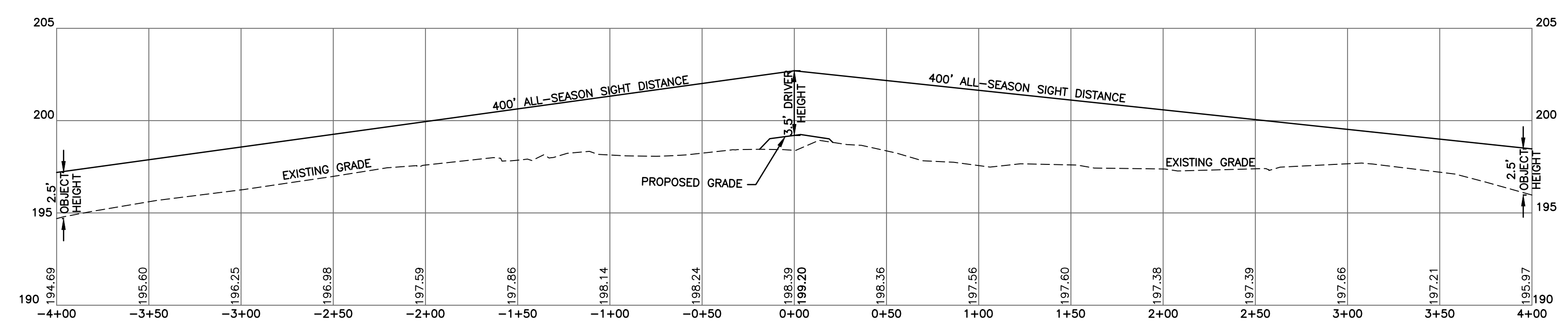
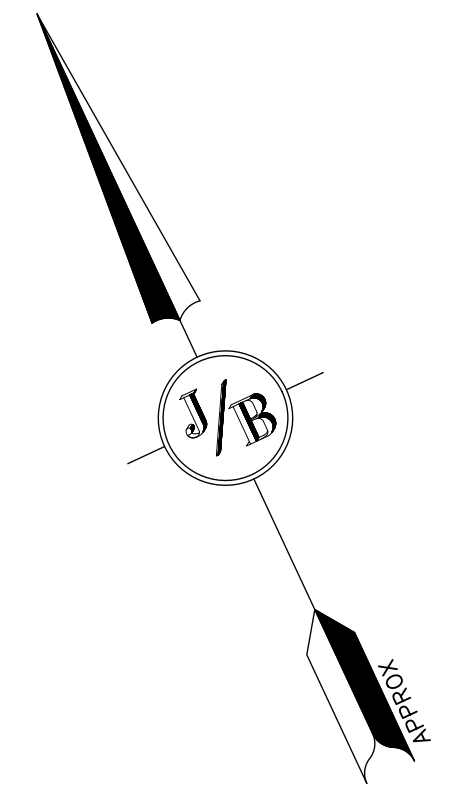
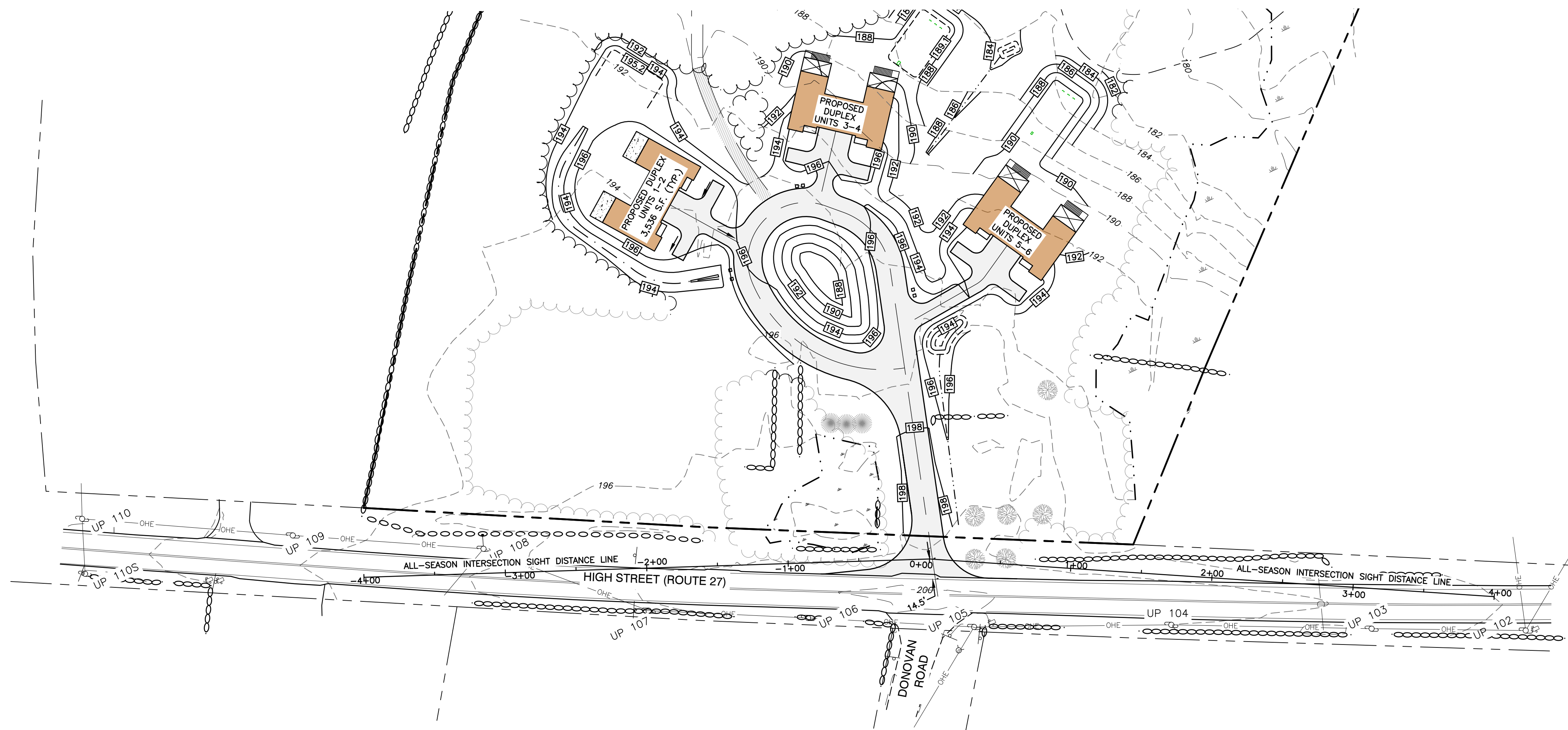
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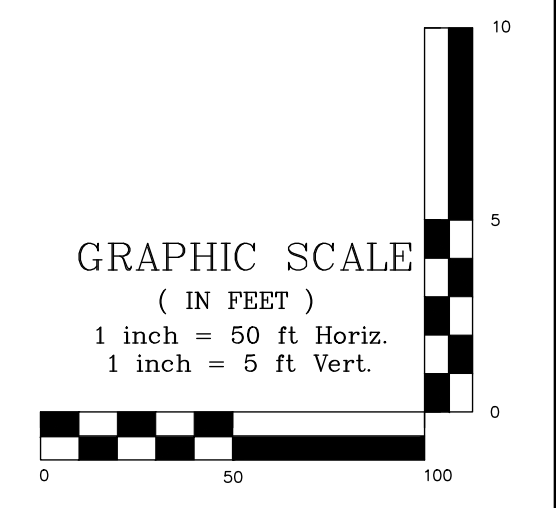
85 Portsmouth Ave. Stratham, NH 03885 Civil Engineering Services 603-772-4746 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	PLAN AND PROFILE
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

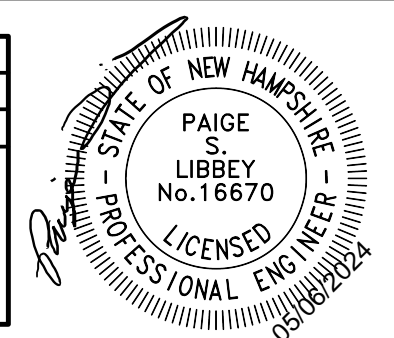
DRAWING No. **P1**
 SHEET 9 OF 23
 JBE PROJECT NO. 22201



INTERSECTION SIGHT DISTANCE PLAN & PROFILE (1 INCH = 50 FEET)



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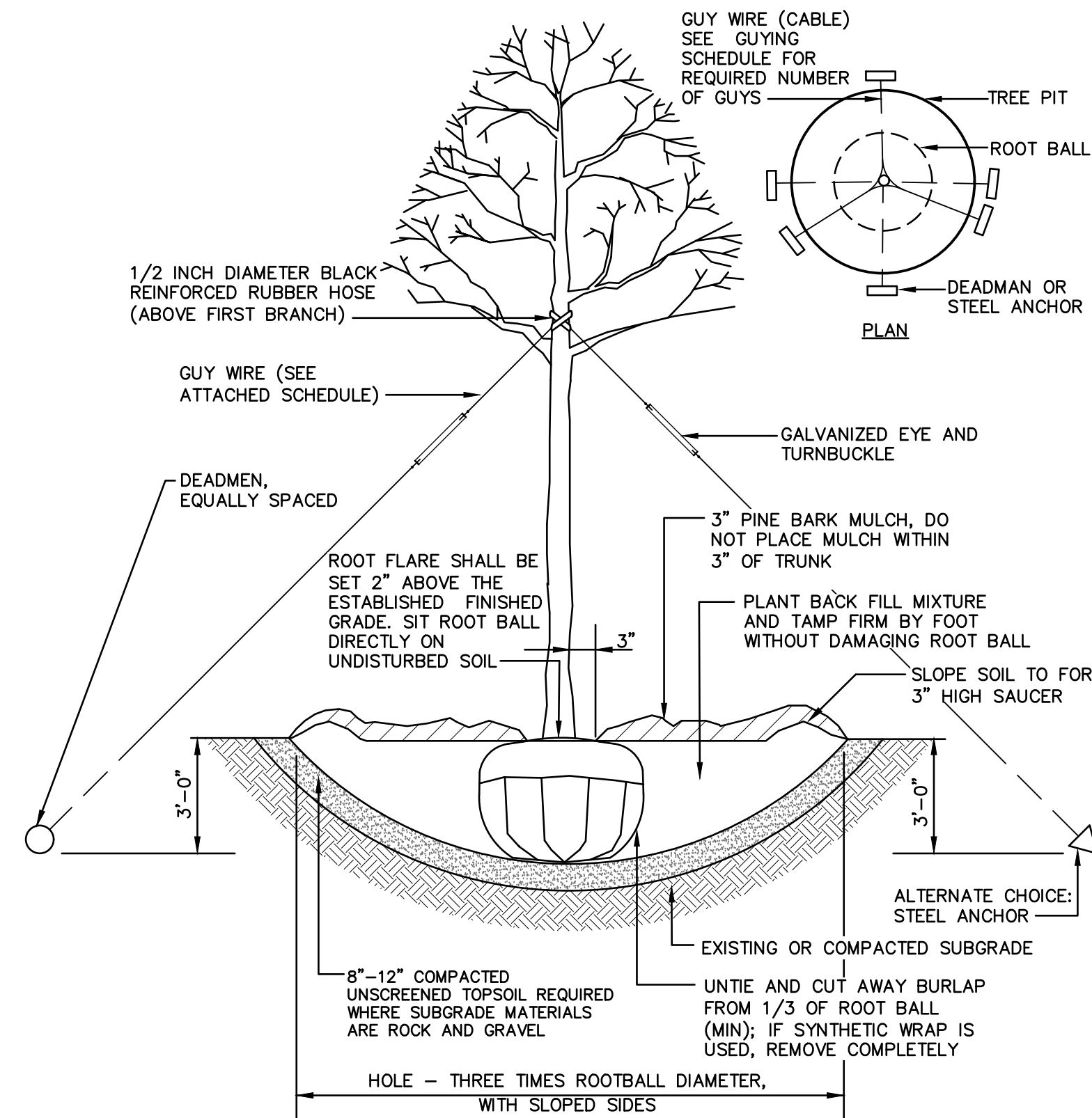
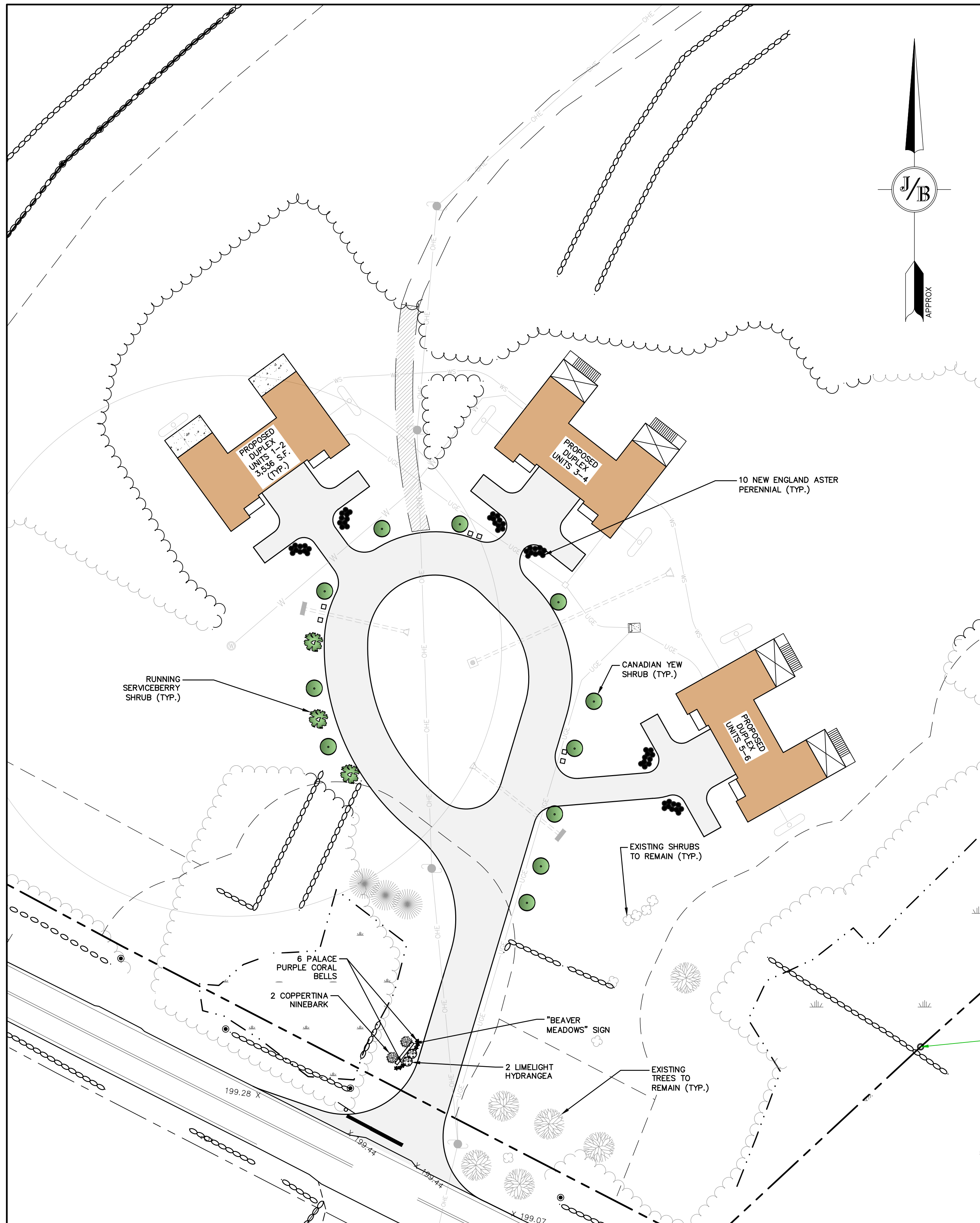


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 85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	HIGHWAY ACCESS PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
H1
 SHEET 10 OF 23
 JBE PROJECT NO. 22201



GUYING SCHEDULE

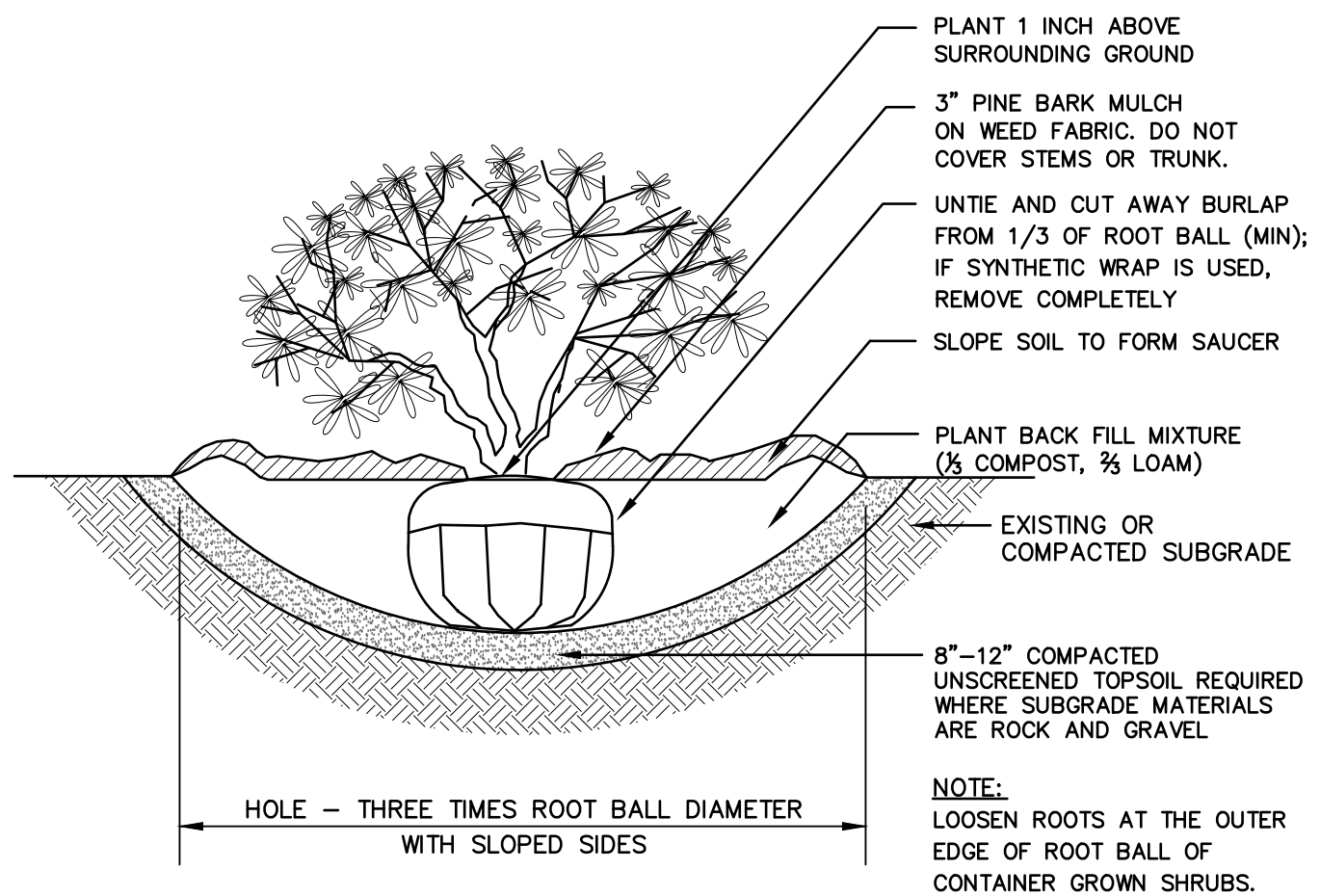
TREE CALIPER	4"-6"	6"-8"	8"-10"	10"-12"
TURNBUCKLE (GALVANIZED)	5/16"X 4-1/2"	5/16"X 4-1/2"	3/8"X6"	1/2"X8"
# GUYS REQUIRED	3	3	4	4
WIRE OR CABLE	1/8"DIA.	3/16"DIA.	1/4"DIA.	5/16"DIA.
DEADMAN SIZE	4" DIA.	6" DIA.	8" DIA.	10" DIA.
DEADMAN LENGTH	24"	24"	36"	48"

(USE GUYING SCHEDULE FOR DECIDUOUS AND EVERGREEN TREES OVER 4" CALIPER)

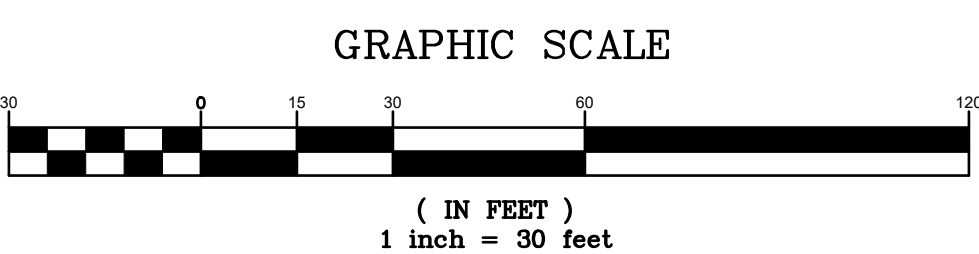
TREE GUYING (FOR TREES OVER 4" CALIPER)
NOT TO SCALE

PLANTING SCHEDULE
TREES, SHRUBS, & PERENNIALS

QTY	COMMON NAME	BOTANICAL NAME	SIZE	TYPE
10	CANADIAN YEW	TAXUS CANADENSIS	4'	SHRUB
3	RUNNING SERVICEBERRY	AMEANCHIER STOLONIFERA	5'	SHRUB
60	NEW ENGLAND ASTER	ASTER NOVAE-ANGLIAE	2'	PERENNIAL
2	LIMELIGHT HYDRANGEA	HYDRANGEA PANICULATA 'LIMELIGHT'	7 GALLON	PERENNIAL
6	PALACE PURPLE CORAL BELLS	HEUCHERA MICRANTHA 'PURPLE PALACE'	1 GALLON	PERENNIAL
2	COPPERTINA NINEBARK	PHYSOCARPUS OPULIFOLIUS 'MINDIA'	5 GALLON	SHRUB



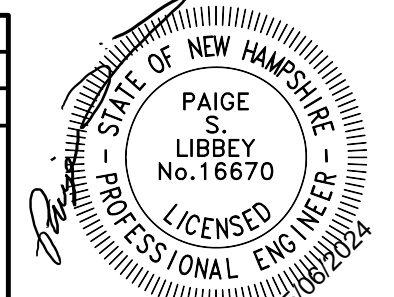
SHRUB PLANTING
NOT TO SCALE



LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
4. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
5. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED.
6. ALL WORK AND PLANTS SHALL BE DONE, INSTALLED AND DETAILED IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
7. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
8. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF ISSUANCE OF A CERTIFICATE OF OCCUPANCY. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE.
9. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
10. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
11. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE. GRASS SEED OR PINE BARK MULCH SHALL BE APPLIED AS DEPICTED ON PLANS.
12. ALL LANDSCAPING SHALL MEET THE TOWN STANDARDS AND REGULATIONS.
13. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO 'WEEDBLOCK' BY EASY GARDENER OR DEWITT WEED BARRIER.
14. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.
15. IRRIGATION PIPING SYSTEM SHALL BE REVIEWED AND APPROVED BY OWNER AND ENGINEER PRIOR TO INSTALLATION.
16. A MINIMUM OF 4 INCHES OF TOPSOIL WITH 5% ORGANIC MATTER INCORPORATED SHALL BE SPREAD IN ALL PLANTING AND TURF AREAS.
17. ALL LANDSCAPING SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. AN INSPECTION OF ALL PLANTINGS TO ENSURE COMPLIANCE WITH THE APPROVED LANDSCAPING PLAN SHALL BE CONDUCTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ONGOING INSPECTIONS OF LANDSCAPES SHALL BE CONDUCTED TO ENSURE COMPLIANCE OF THE SITE WITH THE APPROVED LANDSCAPE PLAN IN PERPETUITY.

Design: DJM Draft: KDR Date: 11/13/23
 Checked: JAC Scale: AS NOTED Project No.: 22201
 Drawing Name: 22201-PLAN.dwg
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
5	5/6/24	REVISED PER TOWN ENGINEER AND FIRE CHIEF COMMENTS	DJM
4	3/22/24	REVISED PER TOWN ENGINEER COMMENTS	DJM
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885 Civil Engineering Services 603-772-4746 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LANDSCAPING PLAN**

Project: **"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034**

Owner of Record: **CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104**

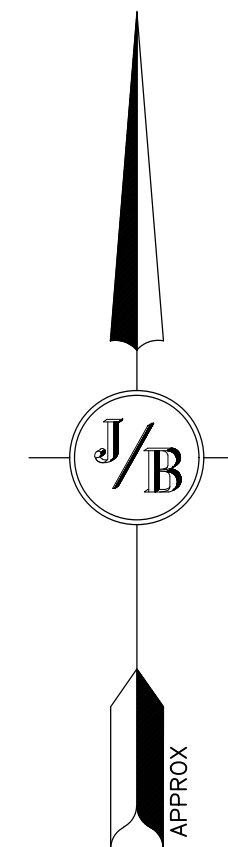
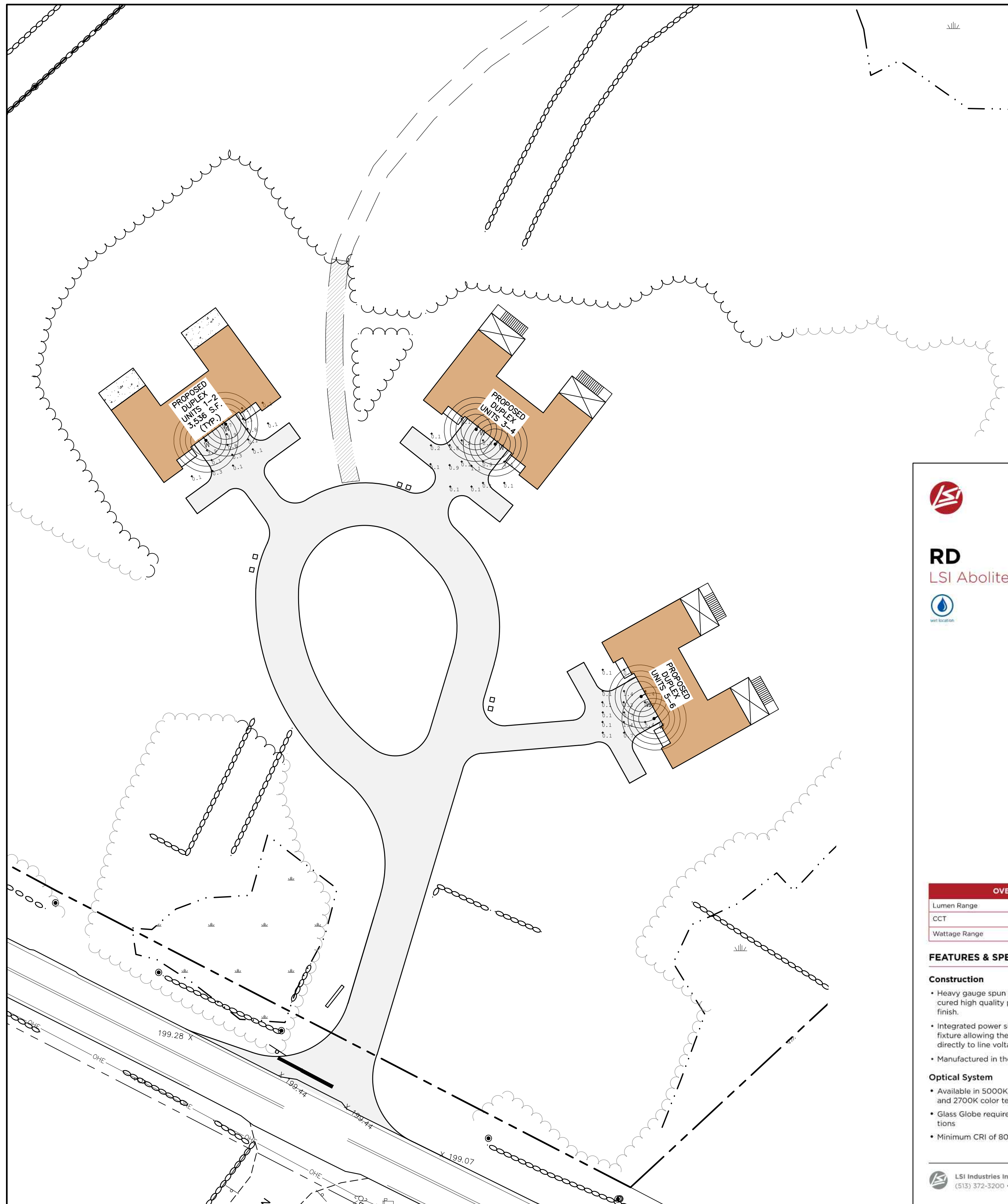
DRAWING No. **L1**

SHEET 11 OF 23
JBE PROJECT NO. 22201

PROJECT PARCEL
TOWN OF CANDIA
TAX MAP 405, LOT 48

APPLICANT
BOB CARR
17 VASSAR STREET
MANCHESTER, NH 03104
BK 6150, PG 2657

TOTAL LOT AREA
87.8 ACRES ±



- LIGHTING AND ELECTRICAL NOTES:**
1. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
 2. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
 3. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDELES.
 4. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
 5. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
 6. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY EXPOSURE LIGHTING, INC. 501 ISLINGTON STREET, PORTSMOUTH, NH 03801, ATTENTION KEN SWEENEY. ALL LIGHTS SHALL BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHALL BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

Catalog #: _____ Project: _____
 Prepared By: _____ Date: _____ Type: _____

LSI Abolite Gooseneck and Wall Brackets

3/4" Single Reflector Gooseneck Wall Bracket. Features rigid conduit and cast wall plate which fits 4" octagonal box (by other). Brackets are finished in gloss white powder, additional colors are available.

NOTE: Brackets feature 3/4" stems which slip fit into wall plate (wall end is unthreaded). Conduit may be cut down (in the field by other) to shorten bracket length. CAS wall plate included with all goosenecks.

All dimensions displayed in inches.

GB A 3 GWT

GB F 3 GWT

GB B 3 GWT

GB G 3 GWT

GB C 3 GWT

GB H 3 GWT

GB E 3 GWT

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Page 1/2 Rev. 07/22/21 SPEC.2036.A.0320

Catalog #: _____ Project: _____
 Prepared By: _____ Date: _____ Type: _____

RD LSI Abolite® LED Standard Dome

OVERVIEW	
Lumen Range:	1,250 - 1,700
CCT	27/30/35/40/50K
Wattage Range	9.3 - 12.8

QUICK LINKS

[Ordering Guide](#) | [Performance](#) | [Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Heavy gauge spun steel with a thermally cured high quality polyester powder coat finish.
- Integrated power supply built into the fixture allowing the RLM to be connected directly to line voltage.
- Manufactured in the USA

Optical System

- Available in 5000K, 4000K, 3500K, 3000K, and 2700K color temperatures
- Glass Globe required for outdoor applications
- Minimum CRI of 80

Electrical

- Standard Universal Voltage (120-277 Vac) Input 50/60Hz
- 0-10V dimming, 5% standard
- Operating Temperature -30°C to +50°C (-22°F to +122°F)

Installation

- Pre-wired with 96" leads standard.
- Optional 10' prewired cord set and canopy available in black and white
- Optional 10' prewired cord set, aircraft wire, and canopy available in black and white
- Fixed hub tapped for 3/4" NPT conduit.
- Not designed for uplight applications.

Warranty

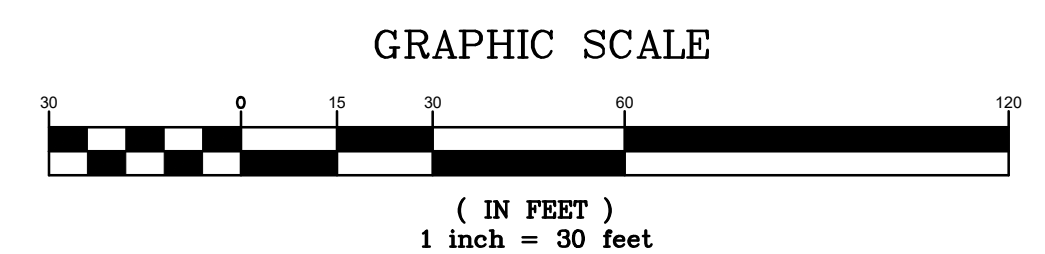
- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- UL Listed
- Suitable for wet locations

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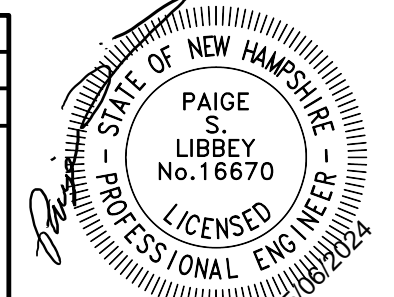
Page 1/3 Rev. 06/09/21 SPEC.1054.A.0720



PROJECT PARCEL TOWN OF CANDIA TAX MAP 405, LOT 48
APPLICANT BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
TOTAL LOT AREA 87.8 ACRES ±

Design: DJM Draft: KDR Date: 11/13/23
 Checked: JAC Scale: AS NOTED Project No.: 22201
 Drawing Name: 22201-PLAN.dwg

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3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
REV.	DATE	REVISION	BY

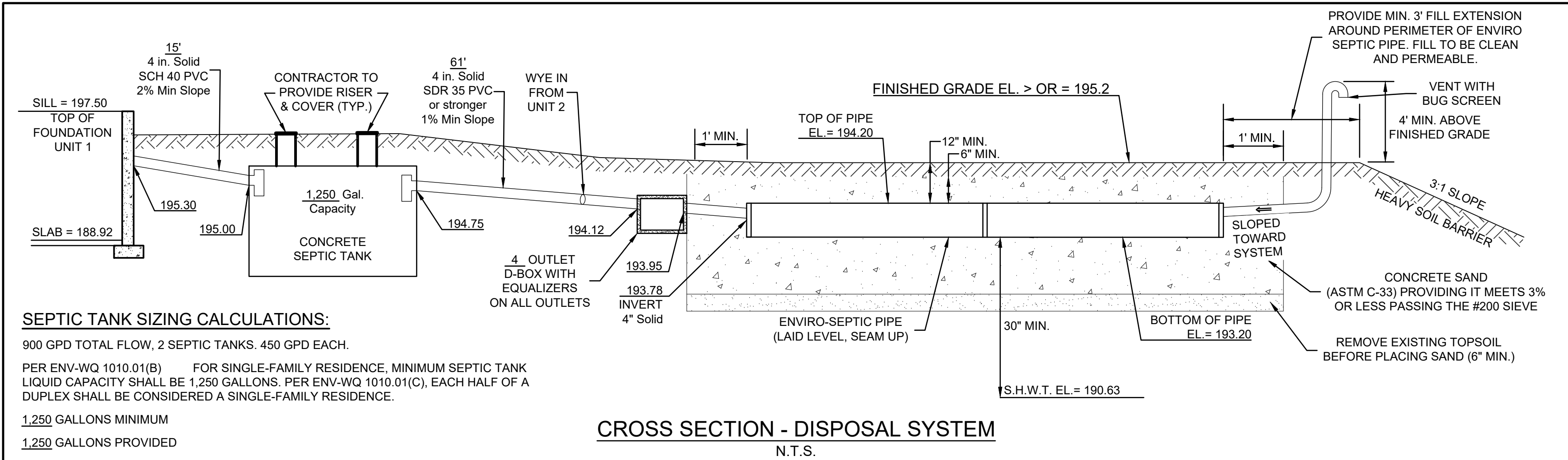
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885 Civil Engineering Services 603-772-4746 E-MAIL: JBE@JONESANDBEACH.COM

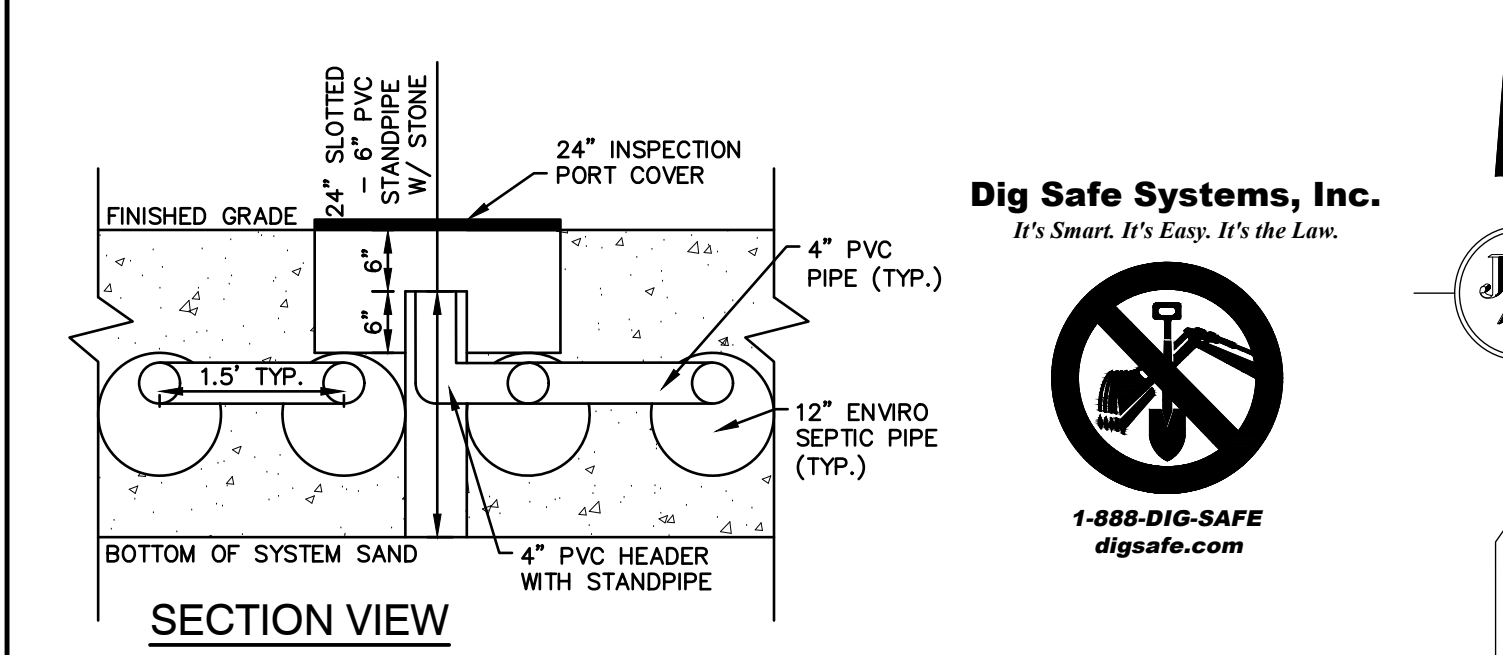
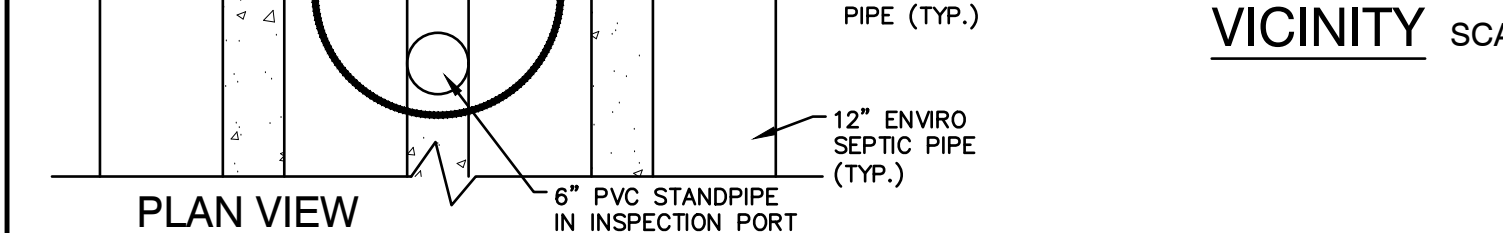
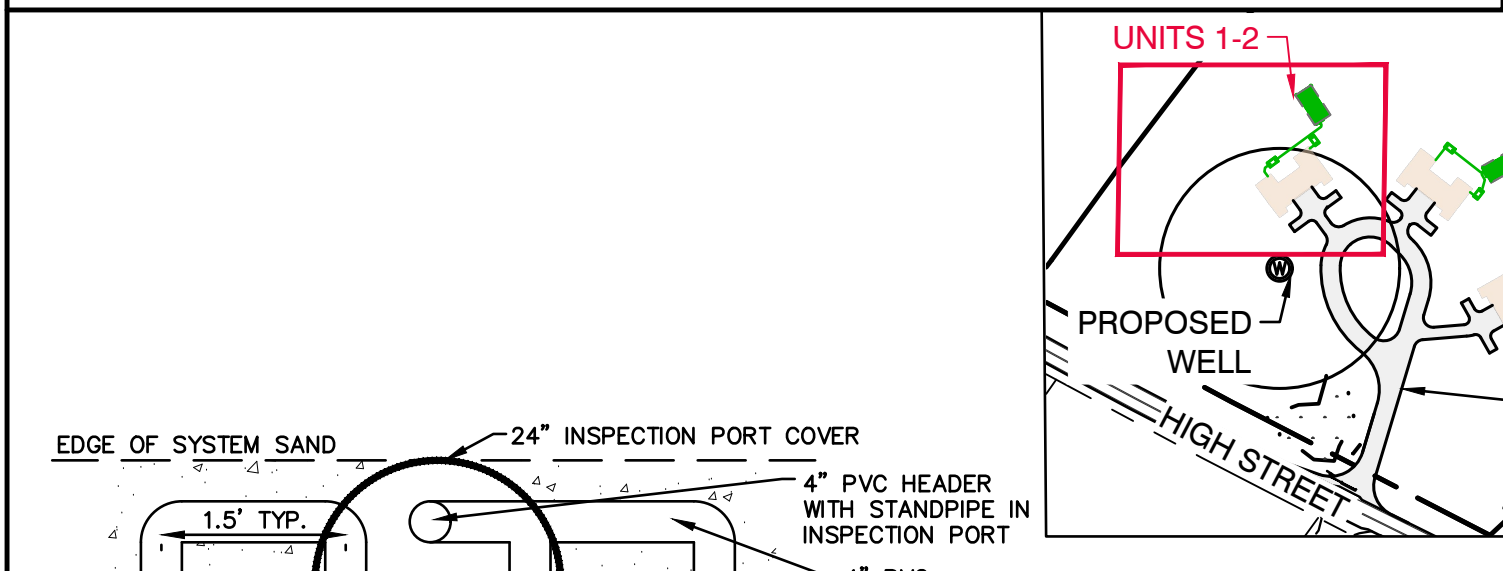
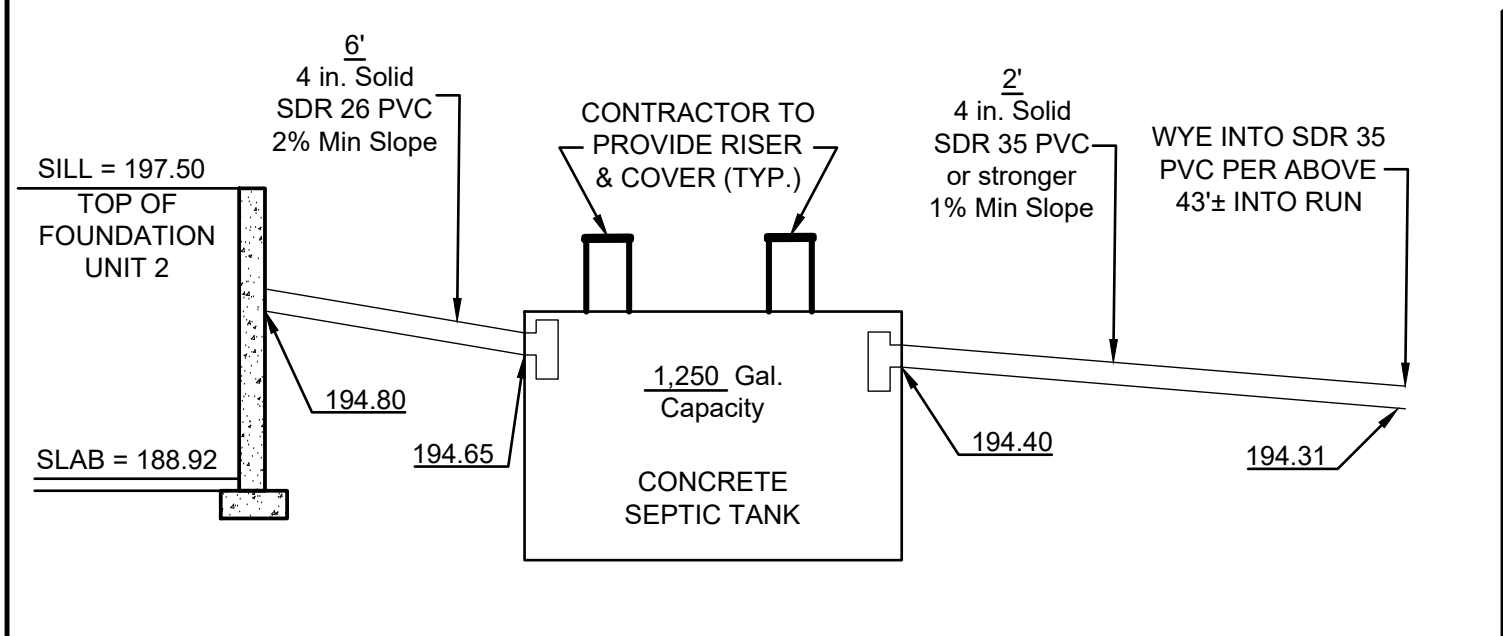
Plan Name:	LIGHTING PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
L2
 SHEET 12 OF 23
 JBE PROJECT NO. 22201



SEPTIC TANK SIZING CALCULATIONS:

900 GPD TOTAL FLOW, 2 SEPTIC TANKS, 450 GPD EACH.
 PER ENV-WQ 1010.01(B) FOR SINGLE-FAMILY RESIDENCE, MINIMUM SEPTIC TANK LIQUID CAPACITY SHALL BE 1,250 GALLONS, PER ENV-WQ 1010.01(C), EACH HALF OF A DUPLEX SHALL BE CONSIDERED A SINGLE-FAMILY RESIDENCE.
 1,250 GALLONS MINIMUM
 1,250 GALLONS PROVIDED



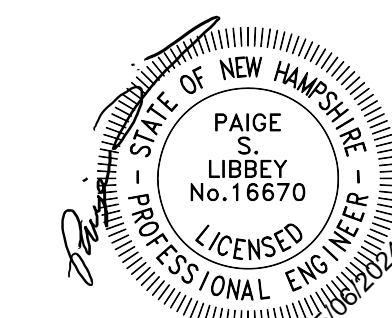
INSPECTION PORT DETAIL

NOT TO SCALE

PROJECT PARCEL
 TOWN OF CANDIA
 TAX MAP 405, LOT 48
 R.C.R.D. BK. 6150 PG. 2657
 TOTAL LOT AREA: 84.0 ACRES

- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE SEPTIC PLAN FROM THE NHDES APPROVED PLAN
 - THE BUILDER/SITE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE ZONING DIMENSIONAL REQUIREMENTS AND SETBACK LINE REQUIREMENTS PRIOR TO INITIATING CONSTRUCTION OF THE PROPOSED HOUSE AND SEPTIC SYSTEM. THE ZONING ORDINANCE OF THE MUNICIPALITY IS TO BE COMPLIED WITH. THE BUILDER/SITE CONTRACTOR IS ALSO RESPONSIBLE TO CONTACT THE MUNICIPALITY REGARDING INSPECTIONS PRIOR TO AND DURING CONSTRUCTION, I.E. LOCATION AND BED-BOTTOM INSPECTIONS.

Design: JAC Draft: KDR Date: 05/06/2024
 Checked: JAC Scale: 1" = 20' Project No.: 22201
 Drawing Name: 22201-PLAN.DWG
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Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746
 E-MAIL: JBE@JONESANDBEACH.COM

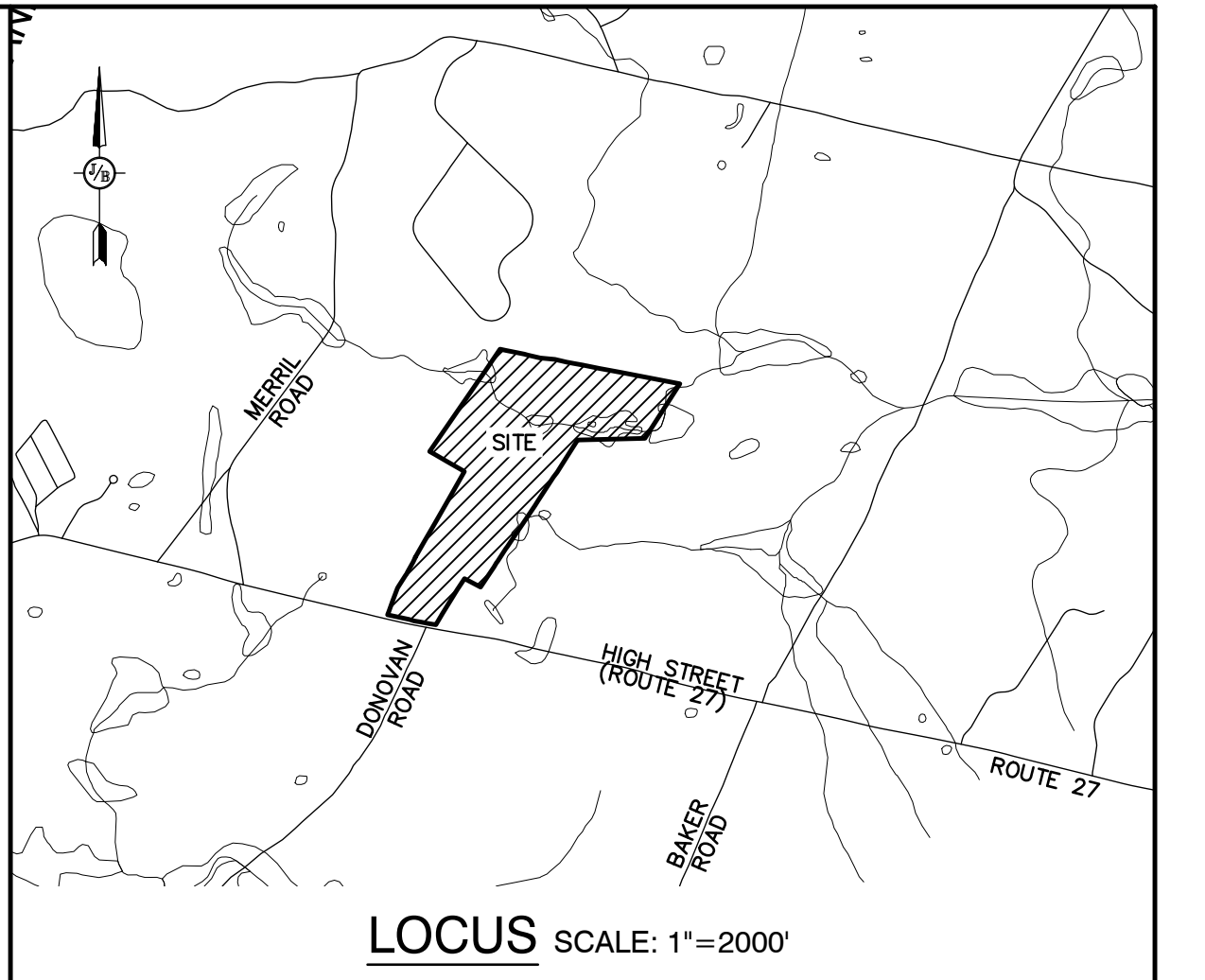
TEST PIT LOGS

PERFORMED BY: JOSEPH CORONATI, JONES & BEACH ENGINEERS, INC. SSD# 1716

TEST PIT #5	WOODS MAT
0'-10"	TOPSOIL
10'-20"	10YR 3/4 DARK YELLOWISH BROWN FINE SANDY LOAM FRIABLE
20'-60"	10 4/4 DARK YELLOWISH BROWN LOAMY SAND FIRM, MOTTLES

SHWT = 20"
 ROOTS TO 20"
 NO H₂O OBSERVED
 NO REFUSAL

TEST PIT, DATE: SEPTEMBER 14, 2023
 PERC. RATE: 14 MIN/INCH



ENVIRO-SEPTIC DESIGN CALCULATIONS

6 BEDROOM RESIDENTIAL DUPLEX = 900 GALLONS PER DAY (150 GPD/BEDROOM)
 900 GPD @ 14 MIN/INCH = 420 L.F. OF ENVIRO-SEPTIC PIPE REQUIRED (70 LF/BEDROOM).
 420 L.F. OF ENVIRO-SEPTIC PIPE PROVIDED.
 12 ROWS OF ENVIRO-SEPTIC PIPE X 35' LONG, 4 SERIES OF 3 ROWS.
 BED DIMENSIONS 37' x 19.5'

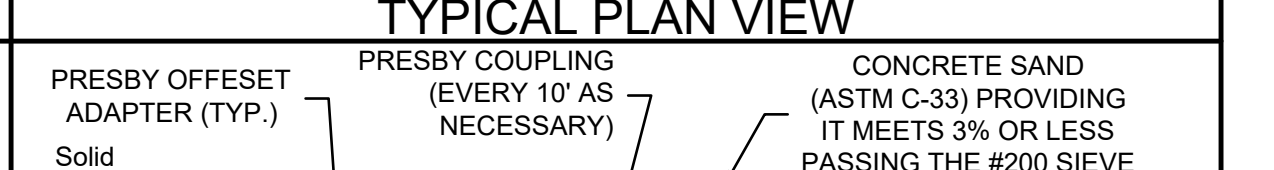
REFERENCES

APPROVAL FOR CONSTRUCTION IS VALID FOR 4 YEARS FROM DATE OF ISSUE

- PREV. CONSTRUCTION APPROVAL # NOT FOUND.
- SUBDIVISION APPROVAL # GREATER THAN 5 ACRES.

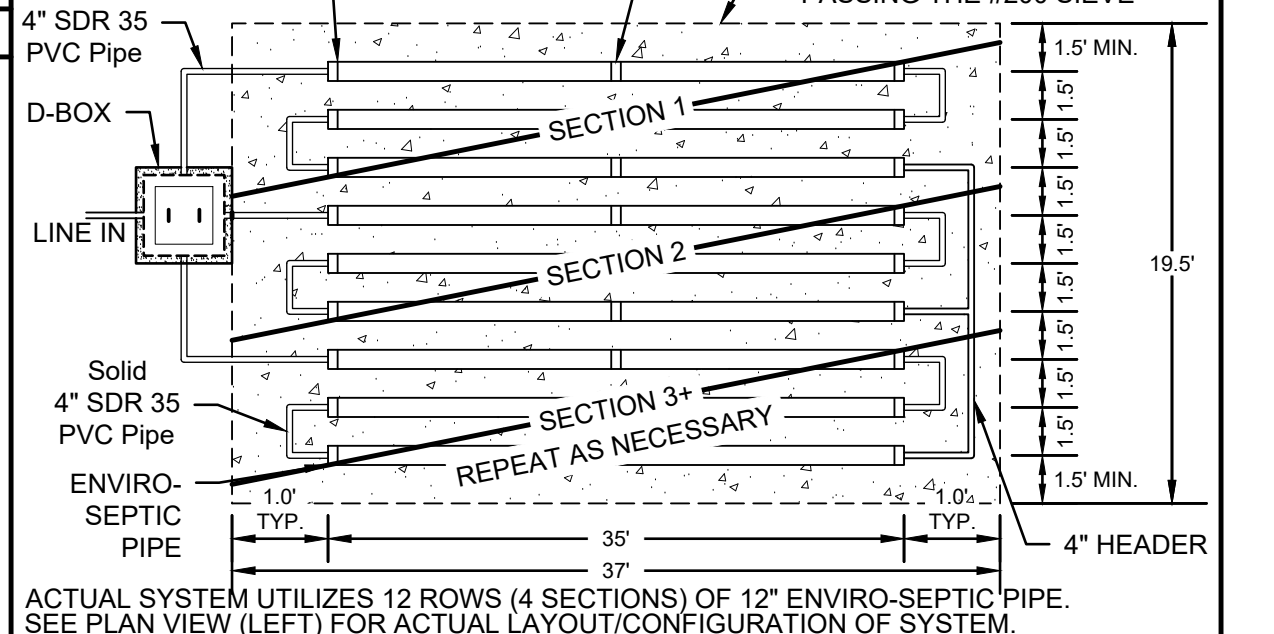
DESIGN INTENT

THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (E.D.S.) SHALL BE CONSTRUCTED AT ELEVATION 193.20. THIS IS APPROXIMATELY 0.90 FEET ABOVE ORIGINAL GROUND ON THE HIGH CONTOUR (192.30) OF THE DESIGNED E.D.S. (ENV-WQ-1003.13(aa))



GENERAL NOTES

- CONTRACTOR TO VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGNER OF ANY ABNORMAL CONDITIONS (HARDPAN OR SATURATED SOILS, LEDGE, ETC.) FOUND WHEN EXCAVATING PRIOR TO INSTALLATION OF THE SYSTEM.
- LEACH BED COMPRISED OF ENVIRO-SEPTIC LEACHING PIPE. FOR DETAILED INSTALLATION INFORMATION REFER TO "DESIGN AND INSTALLATION MANUAL FOR A.E.S. AND E.S. WASTEWATER TREATMENT SYSTEMS", 2019 EDITION (OR MOST CURRENT EDITION). CONTACT PRESBY ENVIRONMENTAL AT PHONE (800) 473-5298 OR WWW.PRESBYENVIRONMENTAL.COM
- PER ENV-WQ 1016.03, CONTRACTOR IS TO PROTECT THE NATURAL ABSORPTION QUALITIES OF THE SOIL. DO NOT COMPACT OR DRIVE OVER THE AREA WITH EQUIPMENT AND PROTECT OPEN EXCAVATION TO PREVENT THE ENTRANCE OF SILT AND DEBRIS.
- FILL AROUND ENVIRO PIPES TO BE ASTM C-33 (CONCRETE SAND) OR EQUAL
- REMOVE TOPSOIL BEFORE PLACING FILL. 6" THICK LOAM & SEED AROUND PERIMETER OF FILL.
- CONTRACTOR TO INSTALL A VENT WHEN PROVIDING MORE THAN 18' OF COVER. VENTING IS REQUIRED IF SYSTEM IS DESIGNED FOR H2O LOADING, OR ADVANCED ENVIRO-SEPTIC IS USED.
- CROWN SYSTEM TO SHED RAINWATER; SLOPE SYSTEM AWAY FROM HOUSE.
- SYSTEM WILL BE REPLACED IN SAME LOCATION IN CASE OF FAILURE.
- DISTRIBUTION BOX SHALL HAVE FLOW EQUALIZERS INSTALLED IN THE OUTLET PORTS.
- JOINTS ARE TO BE BELLED PVC OR STANDARD SLIP COLLARS.
- PER ENV-WQ 1010.11, THE FIRST COMPARTMENT IN MULTI-COMPARTMENT SEPTIC TANKS MUST EQUAL AT LEAST 2/3 OF THE REQUIRED VOLUME.
- PER ENV-WQ 1010.10, EXCEPTING LEDGE TANKS, THE LIQUID DEPTH OF THE SEPTIC TANK IS TO BE AT LEAST 40".
- THE OUTLET BAFFLE SHALL BE A VENTED TEE WHICH SHALL EXTEND TO A DISTANCE BELOW THE SURFACE EQUAL TO 40% OF THE LIQUID DEPTH AND SHALL EXTEND ABOVE THE LIQUID LINE TO NOT LESS THAN ONE INCH FROM THE TOP OF THE TANK.
- ALL CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR THAT: (1) WILL ACCOMMODATE NORMAL MOVEMENT OF THE SEPTIC TANK WITHOUT LEAKING OR BREAKING; AND (2) HAS BEEN CERTIFIED BY ITS MANUFACTURER OR DISTRIBUTOR AS MEETING OR EXCEEDING THE APPLICABLE STANDARD IN ASTM C 1644-06, SECTION 7.
- CONTRACTOR TO PROVIDE RISERS FOR TANKS WITH MORE THAN 12" OF COVER.
- IF GARBAGE GRINDERS ARE DESIRED, SEPTIC TANK SHALL BE 50% LARGER.
- TOWN OF CANDIA REQUIRES BED BOTTOM INSPECTION.
- ENVIRO-SEPTIC TO BE SUPPLIED BY: ELIMINATOR SYSTEMS INC. (603) 868-2242) OR EQUAL.
- 1,250 GALLON SEPTIC TANK & D-BOX TO BE SUPPLIED BY: SHEA CONCRETE, (800-696-7432) OR EQUAL.
- ROCKINGHAM COUNTY SOIL CONSERVATION SERVICE SOIL TYPE: SCITUATE-NEWFIELDS COMPLEX.
- ANY CHANGES TO SEPTIC TANK, BUILDING OR WELL LOCATION/ORIENTATION WILL REQUIRE AN AS-BUILT PLAN TO BE PROVIDED BY THE DESIGNER PRIOR TO NHDES FINAL INSPECTION.
- PER ENV-WQ 1004.10, SYSTEMS OVER 2,500 GPD ARE TO BE INSPECTED BY DESIGNER.
- PER ENV-WQ 1003.13(a)(3) THERE ARE NO KNOWN BURIAL SITES OR CEMETERIES ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.
- 50' SETBACK FROM POORLY DRAINED SOILS.
- DISTANCE FROM SEWER PIPE TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF SDR26 OR EQUIVALENT IS USED IN ACCORDANCE WITH ENV-WQ 1008.04(c)(1).
- DISTANCE FROM SEPTIC TANK TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF THE SEPTIC TANK IS EITHER MADE FROM PLASTIC OR COATED WITH A SEALANT TO PREVENT INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH ENV-WQ 1008.04(c)(2).



WETLAND DELINEATION

WETLANDS ON-SITE WERE DELINEATED BY: JAMES GOVE
 GOVE ENVIRONMENTAL SERVICES, INC.
 8 CONTINENTAL DR., BLDG 2, UNIT H, EXETER, NH

DATE: SUMMER, 2023 - THERE ARE NO WETLANDS WITHIN 75' OF THE PROPOSED ISDS

OWNER NOTES

- KNOW THE LOCATION OF YOUR SEPTIC TANK AND LEACHING AREA.
- INSPECT YOUR SEPTIC TANK YEARLY. HAVE THE SEPTIC TANK PUMPED AS NEEDED BUT AT LEAST ONCE EVERY THREE YEARS.
- DO NOT FLUSH BULKY ITEMS SUCH AS DIAPERS, SANITARY PADS OR BABY WIPES.
- DO NOT FLUSH TOXIC CHEMICALS SUCH AS PAINT THINNERS, DRANO, PESTICIDES, OR CHLORINE, AS THEY MAY KILL THE NECESSARY BACTERIA IN THE SEPTIC TANK.
- REPAIR LEAKING FIXTURES IN THE BUILDING PROMPTLY.
- BE CONSERVATIVE WITH WATER USE, SPREAD OUT USE OVER TIME, AND USE WATER-REDUCING FIXTURES WHENEVER AND WHEREVER POSSIBLE. TOO MUCH USE IN A SHORT TIME CAN OVERLOAD THE SYSTEM, WHICH MAY LEAD TO FAILURE.
- MOW YOUR LEACHING AREA REGULARLY. PREVENT DEEP-ROOTED TREES AND SHRUBS FROM GROWING ON AND ADJACENT TO YOUR LEACHING AREA.
- NO VEHICULAR TRAVEL, LIVESTOCK TRAVEL, OR SNOW REMOVING IN AREA OF SYSTEM, UNLESS SPECIFICALLY DESIGNED FOR H2O LOADING.

WELL LOCATION

- INSTALLATION SHALL COMPLY WITH "We 602.05" WELL LOCATION RULES
- IF THE WELL IS LOCATED LESS THAN 50' FROM THE STATE HIGHWAY RIGHT-OF-WAY AND OR LESS THAN 75' FROM THE PROPERTY LINE WITH DESIGN FLOWS FOR STRUCTURES UP TO 5 BEDROOMS. SPECIAL METHODS OF CONSTRUCTION SHALL INCLUDE BUT NOT BE LIMITED TO:
 - INSTALL NO LESS THAN 40' OF CASING INTO COMPETENT BEDROCK WHERE BEDROCK IS LESS THAN 20' FROM GROUND SURFACE
 - GROUTING THE CASING

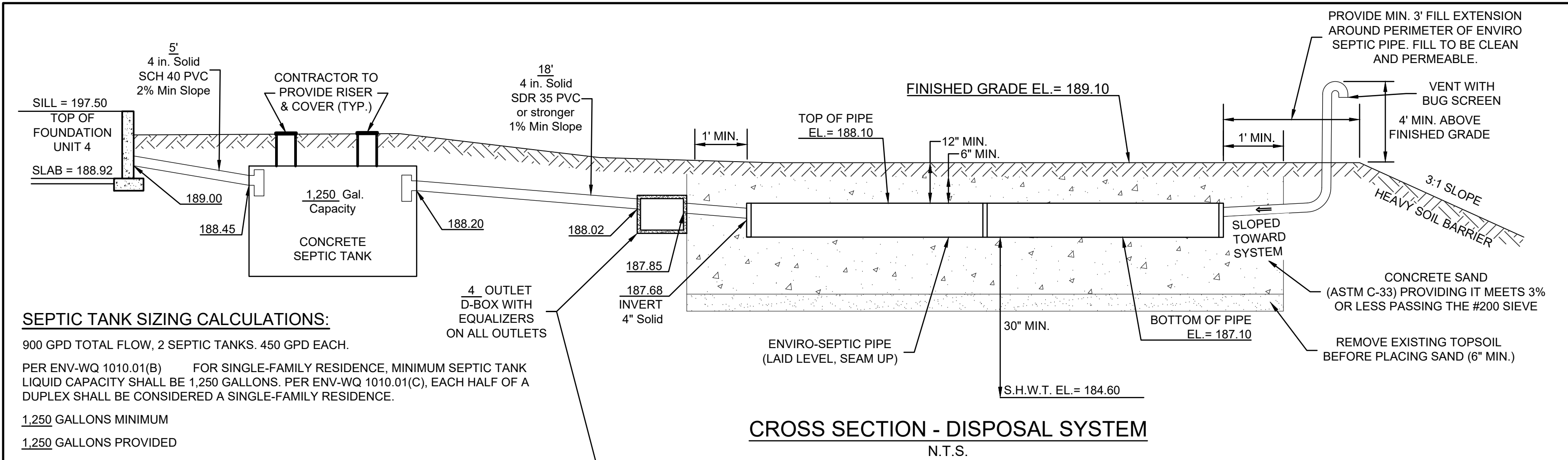
Plan Name: **EFFLUENT DISPOSAL DESIGN**

Project: **"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034**

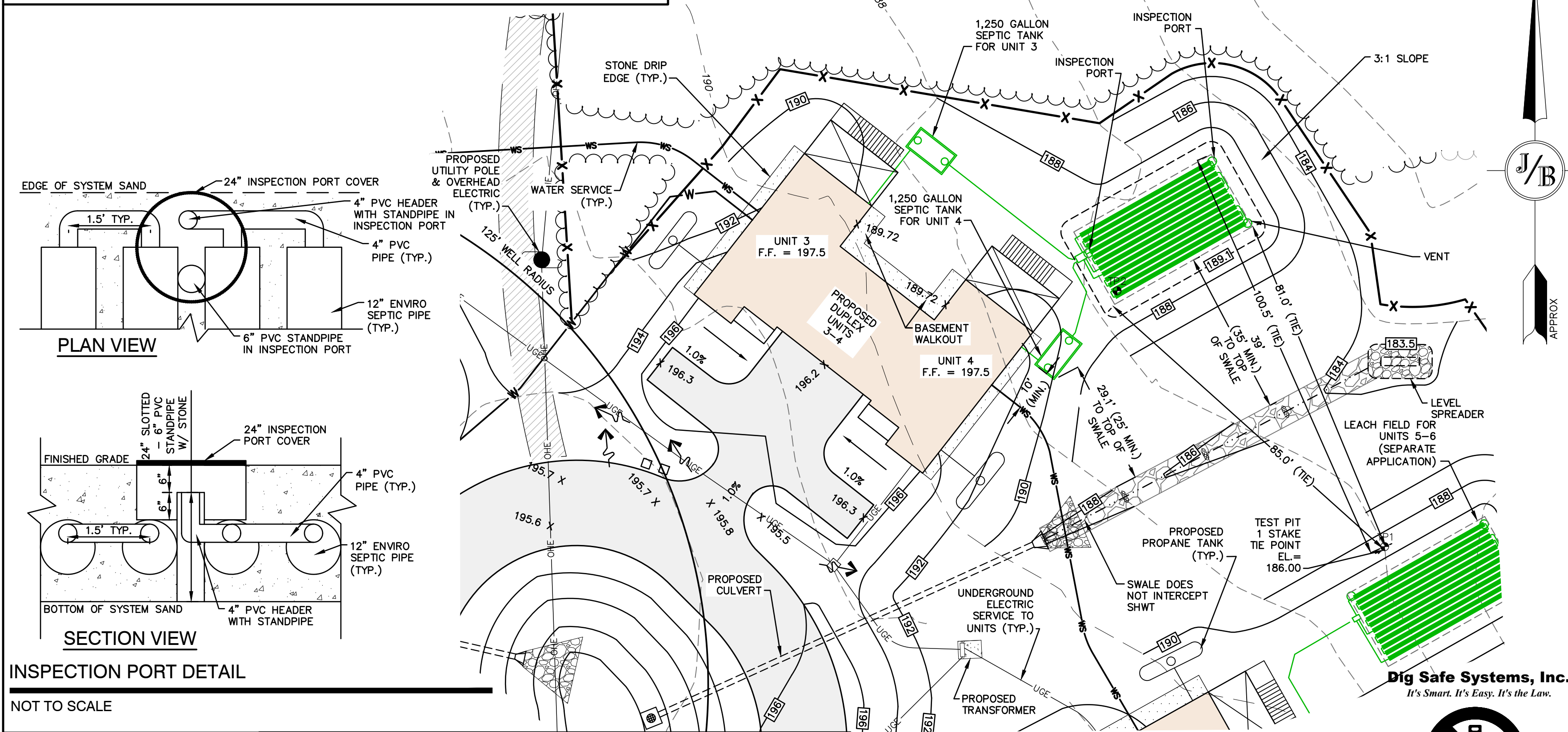
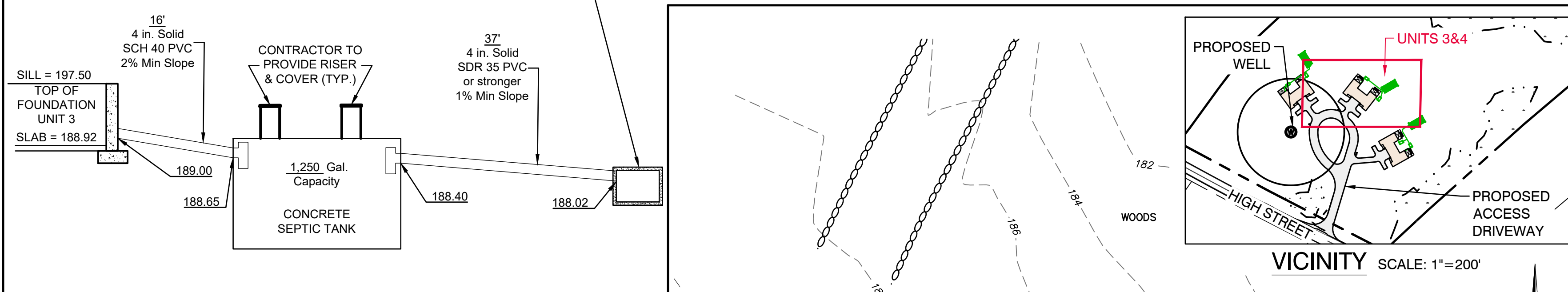
Owner of Record: **CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104**

DRAWING No. **S1**

SHEET 13 OF 23
 JBE PROJECT NO. 22201



SEPTIC TANK SIZING CALCULATIONS:
 900 GPD TOTAL FLOW, 2 SEPTIC TANKS, 450 GPD EACH.
 PER ENV-WQ 1010.01(B) FOR SINGLE-FAMILY RESIDENCE, MINIMUM SEPTIC TANK LIQUID CAPACITY SHALL BE 1,250 GALLONS. PER ENV-WQ 1010.01(C), EACH HALF OF A DUPLEX SHALL BE CONSIDERED A SINGLE-FAMILY RESIDENCE.
 1,250 GALLONS MINIMUM
 1,250 GALLONS PROVIDED



INSPECTION PORT DETAIL
 NOT TO SCALE

PROJECT PARCEL
 TOWN OF CANDIA
 TAX MAP 405, LOT 48
 R.C.R.D. BK. 6150 PG. 2657
 TOTAL LOT AREA: 84.0 ACRES

CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE SEPTIC PLAN FROM THE NHDES APPROVED PLAN
 THE BUILDER/SITE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE ZONING DIMENSIONAL REQUIREMENTS AND SETBACK LINE REQUIREMENTS PRIOR TO INITIATING CONSTRUCTION OF THE PROPOSED HOUSE AND SEPTIC SYSTEM. THE ZONING ORDINANCE OF THE MUNICIPALITY IS TO BE COMPLIED WITH. THE BUILDER/SITE CONTRACTOR IS ALSO RESPONSIBLE TO CONTACT THE MUNICIPALITY REGARDING INSPECTIONS PRIOR TO AND DURING CONSTRUCTION, I.E. LOCATION AND BED-BOTTOM INSPECTIONS.

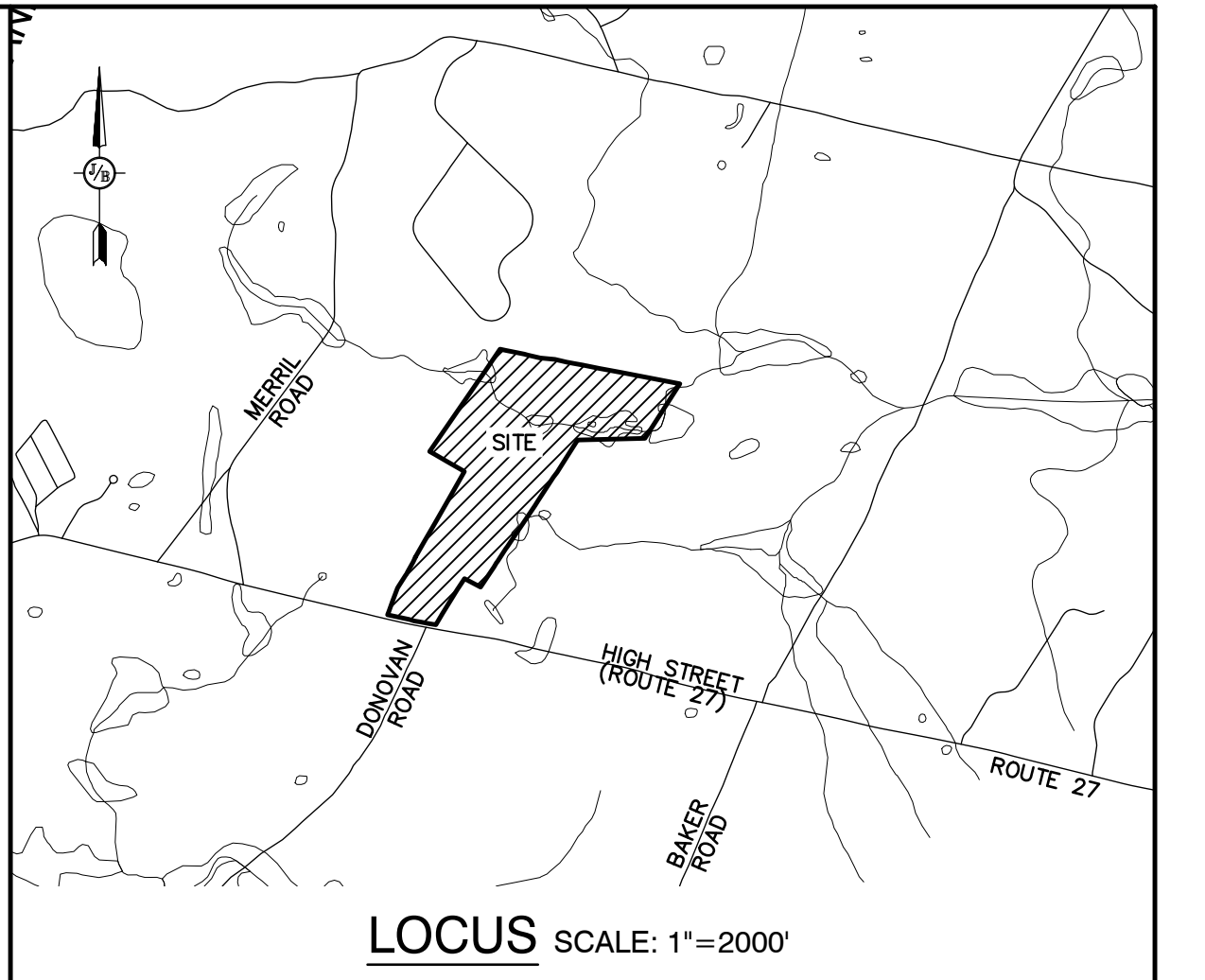
TEST PIT LOGS

PERFORMED BY: JOSEPH CORONATI, JONES & BEACH ENGINEERS, INC. SSD# 1716

TEST PIT #2	GRASS MAT
0'-6"	TOPSOIL
6'-18"	10YR 3/4 DARK YELLOWISH BROWN FINE SANDY LOAM FRAIBLE
18'-23"	10Y 4/4 DARK YELLOWISH BROWN SILTY SAND FRIABLE, SATURATED

SHWT = 18"
 ROOTS TO 18"
 H₂O @ 23"
 NO REFUSAL OBSERVED

TEST PIT, DATE: SEPTEMBER 14, 2023
 PERC. RATE: 20 MIN./INCH



ENVIRO-SEPTIC DESIGN CALCULATIONS

6 BEDROOM RESIDENTIAL DUPLEX = 900 GALLONS PER DAY (150 GPD/BEDROOM)
 900 GPD @ 14 MIN./INCH = 420 L.F. OF ENVIRO-SEPTIC PIPE REQUIRED (70 LF/BEDROOM).
 420 L.F. OF ENVIRO-SEPTIC PIPE PROVIDED.
 12 ROWS OF ENVIRO-SEPTIC PIPE x 35' LONG, 4 SERIES OF 3 ROWS.

BED DIMENSIONS 37' x 19.5'

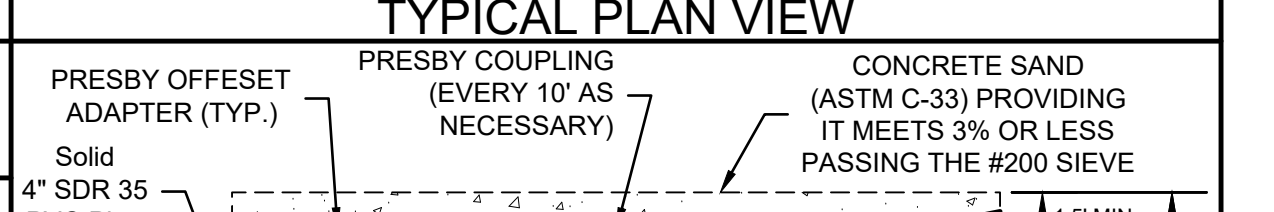
REFERENCES

APPROVAL FOR CONSTRUCTION IS VALID FOR 4 YEARS FROM DATE OF ISSUE

- PREV. CONSTRUCTION APPROVAL # NOT FOUND.
- SUBDIVISION APPROVAL # GREATER THAN 5 ACRES.

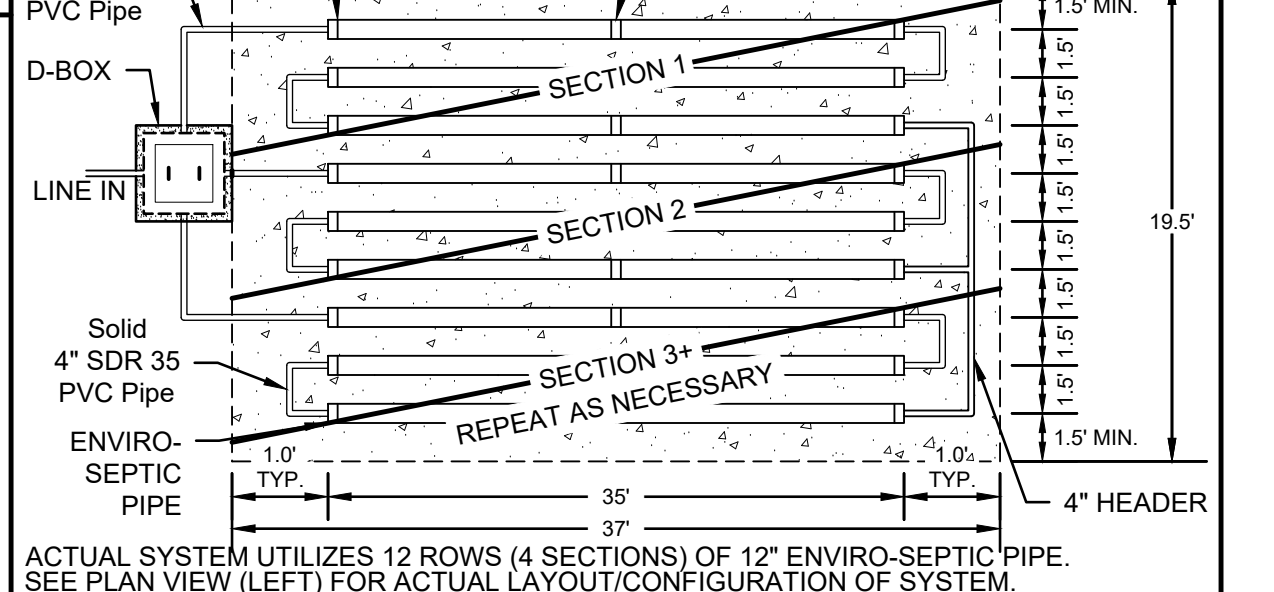
DESIGN INTENT

THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (E.D.S.) SHALL BE CONSTRUCTED AT ELEVATION 187.10. THIS IS APPROXIMATELY 1.00 FEET ABOVE ORIGINAL GROUND ON THE HIGH CONTOUR (186.10) OF THE DESIGNED E.D.S. (ENV-WQ-1003.13(aa))



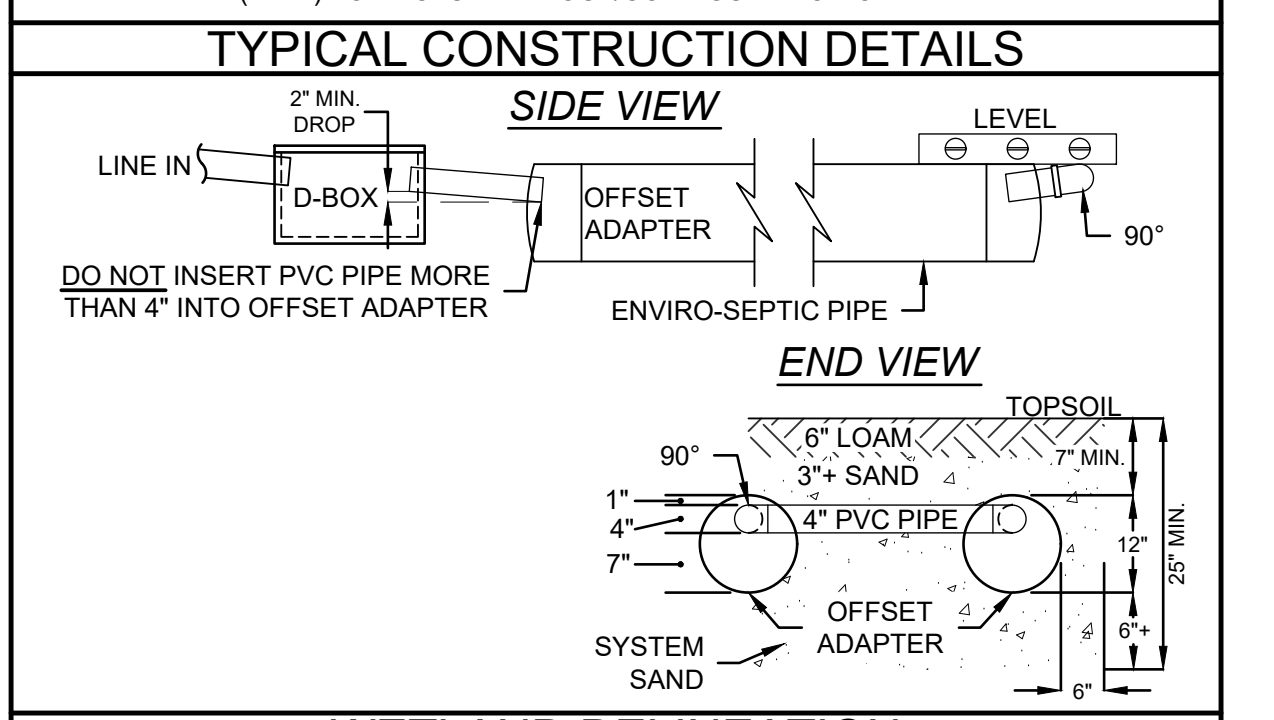
GENERAL NOTES

- CONTRACTOR TO VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGNER OF ANY ABNORMAL CONDITIONS (HARDPAN OR SATURATED SOILS, LEDGE, ETC.) FOUND WHEN EXCAVATING PRIOR TO INSTALLATION OF THE SYSTEM.
- LEACH BED COMPRISED OF ENVIRO-SEPTIC LEACHING PIPE. FOR DETAILED INSTALLATION INFORMATION REFER TO "DESIGN AND INSTALLATION MANUAL FOR A.E.S. AND E.S. WASTEWATER TREATMENT SYSTEMS", 2019 EDITION (OR MOST CURRENT EDITION). CONTACT PRESBY ENVIRONMENTAL AT PHONE (800) 473-5298 OR WWW.PRESBYENVIRONMENTAL.COM
- PER ENV-WQ 1016.03, CONTRACTOR IS TO PROTECT THE NATURAL ABSORPTION QUALITIES OF THE SOIL. DO NOT COMPACT OR DRIVE OVER THE AREA WITH EQUIPMENT AND PROTECT OPEN EXCAVATION TO PREVENT THE ENTRANCE OF SILT AND DEBRIS.
- FILL AROUND ENVIRO PIPES TO BE ASTM C-33 (CONCRETE SAND) OR EQUAL.
- REMOVE TOPSOIL BEFORE PLACING FILL, 6" THICK LOAM & SEED AROUND PERIMETER OF FILL.
- CONTRACTOR TO INSTALL A VENT WHEN PROVIDING MORE THAN 18' OF COVER. VENTING IS REQUIRED IF SYSTEM IS DESIGNED FOR H2O LOADING, OR ADVANCED ENVIRO-SEPTIC IS USED.
- CROWN SYSTEM TO SHED RAINWATER; SLOPE SYSTEM AWAY FROM HOUSE.
- SYSTEM WILL BE REPLACED IN SAME LOCATION IN CASE OF FAILURE.
- DISTRIBUTION BOX SHALL HAVE FLOW EQUALIZERS INSTALLED IN THE OUTLET PORTS.
- JOINTS ARE TO BE BELLED PVC OR STANDARD SLIP COLLARS.
- PER ENV-WQ 1010.11, THE FIRST COMPARTMENT IN MULTI-COMPARTMENT SEPTIC TANKS MUST EQUAL AT LEAST 2/3 OF THE REQUIRED VOLUME.
- PER ENV-WQ 1010.10, EXCEPTING LEDGE TANKS, THE LIQUID DEPTH OF THE SEPTIC TANK IS TO BE AT LEAST 40".
- THE OUTLET BAFFLE SHALL BE A VENTED TEE WHICH SHALL EXTEND TO A DISTANCE BELOW THE SURFACE EQUAL TO 40% OF THE LIQUID DEPTH AND SHALL EXTEND ABOVE THE LIQUID LINE TO NOT LESS THAN ONE INCH FROM THE TOP OF THE TANK.
- ALL CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR THAT: (1) WILL ACCOMMODATE NORMAL MOVEMENT OF THE SEPTIC TANK WITHOUT LEAKING OR BREAKING; AND (2) HAS BEEN CERTIFIED BY ITS MANUFACTURER OR DISTRIBUTOR AS MEETING OR EXCEEDING THE APPLICABLE STANDARD IN ASTM C 1644-06, SECTION 7.
- CONTRACTOR TO PROVIDE RISERS FOR TANKS WITH MORE THAN 12" OF COVER.
- IF GARBAGE GRINDERS ARE DESIRED, SEPTIC TANK SHALL BE 50% LARGER.
- TOWN OF CANDIA REQUIRES BED BOTTOM INSPECTION.
- ENVIRO-SEPTIC TO BE SUPPLIED BY: ELIMINATOR SYSTEMS INC. (603) 868-2242 OR EQUAL.
- 1,250 GALLON SEPTIC TANK & D-BOX TO BE SUPPLIED BY: SHEA CONCRETE, (800-696-7432) OR EQUAL.
- ROCKINGHAM COUNTY SOIL CONSERVATION SERVICE SOIL TYPE: SCITUATE-NEWFIELDS COMPLEX.
- ANY CHANGES TO SEPTIC TANK, BUILDING OR WELL LOCATION/ORIENTATION WILL REQUIRE AN AS-BUILT PLAN TO BE PROVIDED BY THE DESIGNER PRIOR TO NHDES FINAL INSPECTION.
- PER ENV-WQ 1004.10, SYSTEMS OVER 2,500 GPD ARE TO BE INSPECTED BY DESIGNER.
- PER ENV-WQ 1003.13(a)(3) THERE ARE NO KNOWN BURIAL SITES OR CEMETERIES ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.
- 50' SETBACK FROM POORLY DRAINED SOILS.
- DISTANCE FROM SEWER PIPE TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF SDR26 OR EQUIVALENT IS USED IN ACCORDANCE WITH ENV-WQ 1008.04(c)(1).
- DISTANCE FROM SEPTIC TANK TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF THE SEPTIC TANK IS EITHER MADE FROM PLASTIC OR COATED WITH A SEALANT TO PREVENT INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH ENV-WQ 1008.04(c)(2).



WELL LOCATION

- INSTALLATION SHALL COMPLY WITH "We 602.05" WELL LOCATION RULES
- IF THE WELL IS LOCATED LESS THAN 50' FROM THE STATE HIGHWAY RIGHT-OF-WAY AND OR LESS THAN 75' FROM THE PROPERTY LINE WITH DESIGN FLOWS FOR STRUCTURES UP TO 5 BEDROOMS. SPECIAL METHODS OF CONSTRUCTION SHALL INCLUDE BUT NOT BE LIMITED TO:
 - INSTALL NO LESS THAN 40' OF CASING INTO COMPETENT BEDROCK WHERE BEDROCK IS LESS THAN 20' FROM GROUND SURFACE
 - GROUTING THE CASING

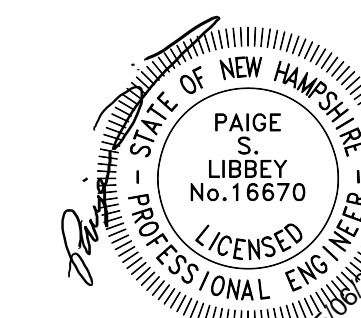


OWNER NOTES

- KNOW THE LOCATION OF YOUR SEPTIC TANK AND LEACHING AREA.
- INSPECT YOUR SEPTIC TANK YEARLY. HAVE THE SEPTIC TANK PUMPED AS NEEDED BUT AT LEAST ONCE EVERY THREE YEARS.
- DO NOT FLUSH BULKY ITEMS SUCH AS DIAPERS, SANITARY PADS OR BABY WIPES.
- DO NOT FLUSH TOXIC CHEMICALS SUCH AS PAINT THINNERS, DRANO, PESTICIDES, OR CHLORINE, AS THEY MAY KILL THE NECESSARY BACTERIA IN THE SEPTIC TANK.
- REPAIR LEAKING FIXTURES IN THE BUILDING PROMPTLY.
- BE CONSERVATIVE WITH WATER USE, SPREAD OUT USE OVER TIME, AND USE WATER-REDUCING FIXTURES WHENEVER AND WHEREVER POSSIBLE. TOO MUCH USE IN A SHORT TIME CAN OVERLOAD THE SYSTEM, WHICH MAY LEAD TO FAILURE.
- MOW YOUR LEACHING AREA REGULARLY. PREVENT DEEP-ROOTED TREES AND SHRUBS FROM GROWING ON AND ADJACENT TO YOUR LEACHING AREA.
- NO VEHICULAR TRAVEL, LIVESTOCK TRAVEL, OR SNOW REMOVAL IN AREA OF SYSTEM, UNLESS SPECIFICALLY DESIGNED FOR H2O LOADING.

Design: JAC Draft: KDR Date: 05/06/2024
 Checked: JAC Scale: 1" = 20' Project No.: 22201
 Drawing Name: 22201-PLAN.DWG

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
5	5/6/24	REVISED PER TOWN ENGINEER AND FIRE CHIEF COMMENTS	DJM
4	3/22/24	REVISED PER TOWN ENGINEER COMMENTS	DJM
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746
 E-MAIL: JBE@JONESANDBEACH.COM

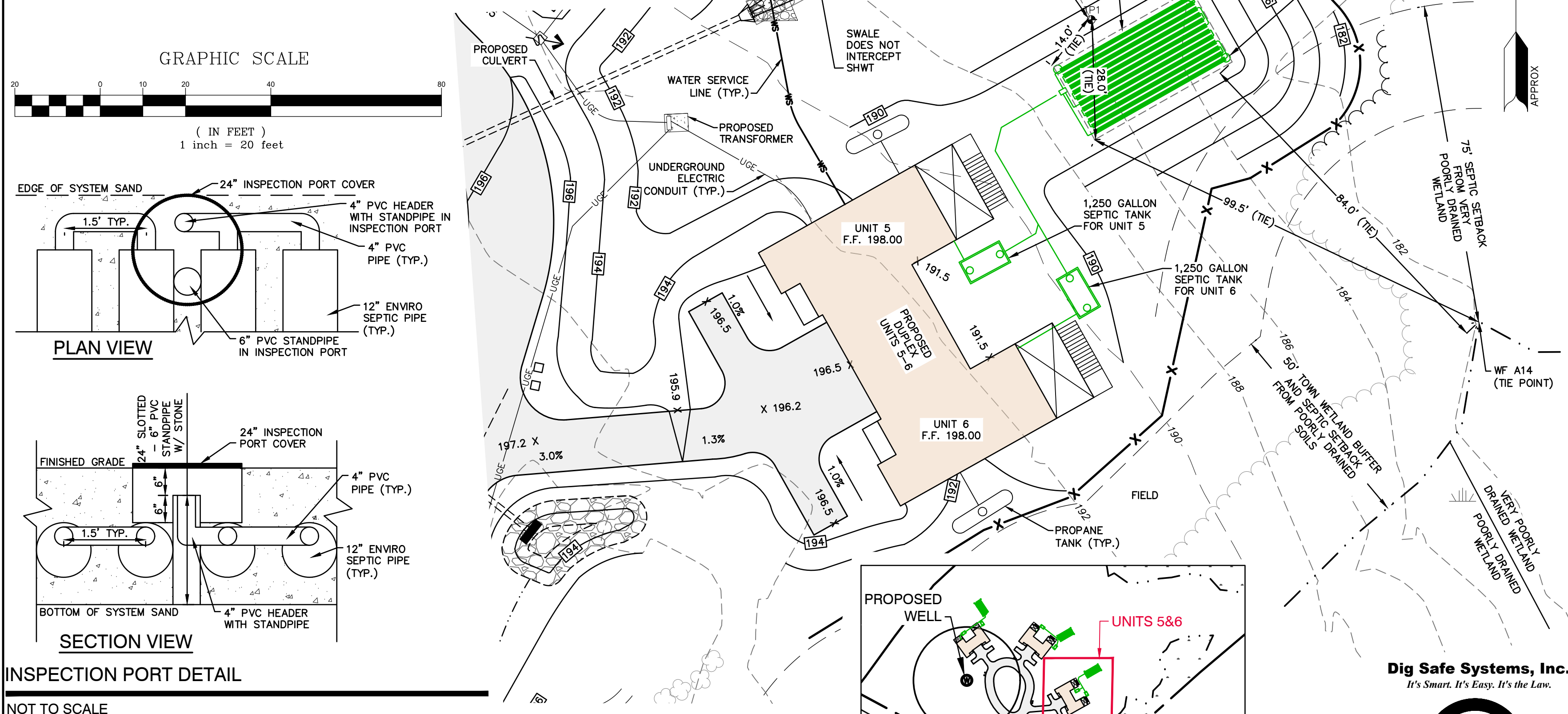
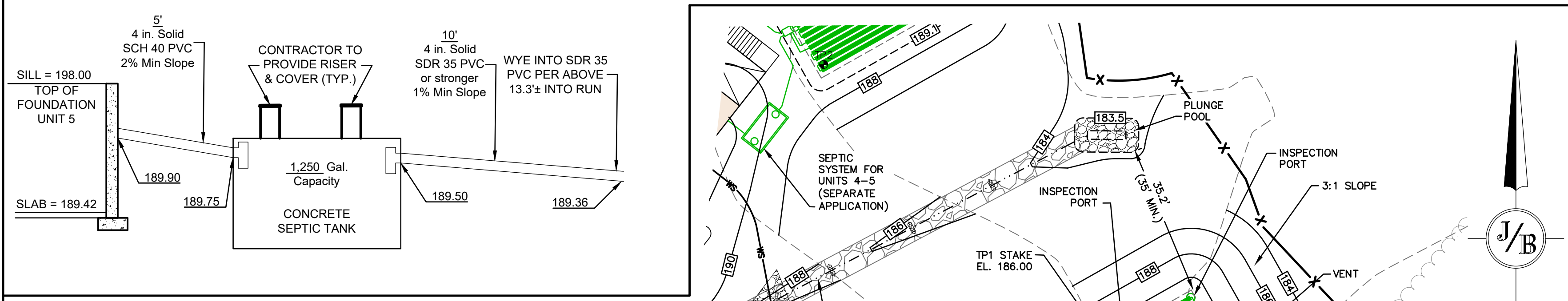
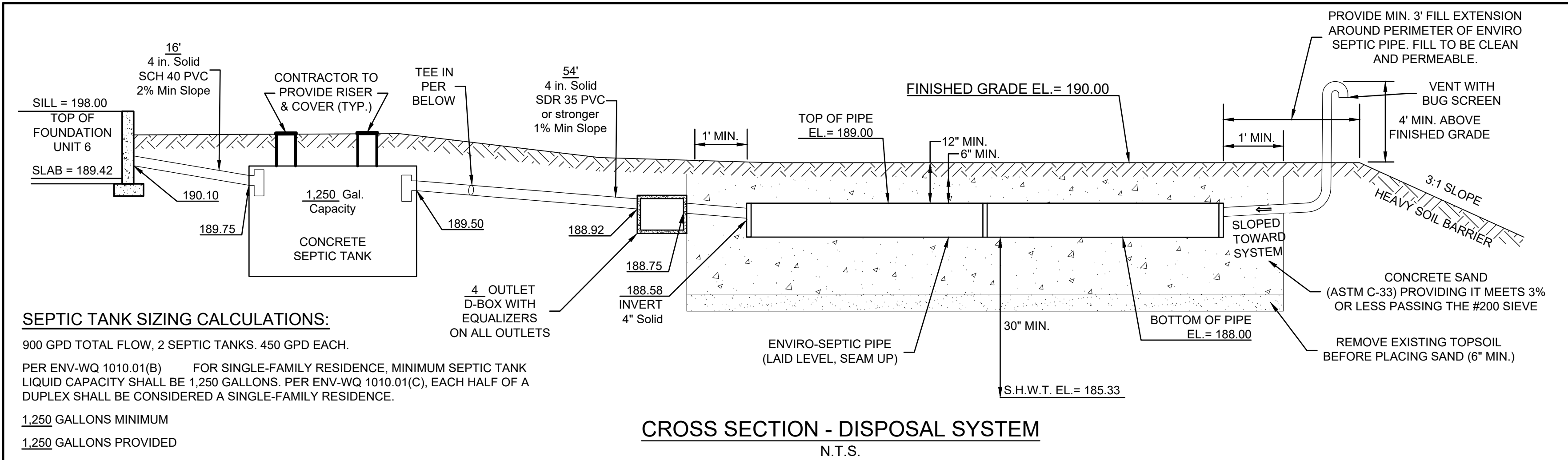
Plan Name: **EFFLUENT DISPOSAL DESIGN**

Project: **"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034**

Owner of Record: **CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104**

DRAWING No. **S2**

SHEET 14 OF 23
 JBE PROJECT NO. 22201



INSPECTION PORT DETAIL

NOT TO SCALE

PROJECT PARCEL
TOWN OF CANDIA
TAX MAP 405, LOT 48
R.C.R.D. BK. 6150 PG. 2657

TOTAL LOT AREA: 84.0 ACRES

CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE SEPTIC PLAN FROM THE NHDES APPROVED PLAN

THE BUILDER/SITE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE ZONING DIMENSIONAL REQUIREMENTS AND SETBACK LINE REQUIREMENTS PRIOR TO INITIATING CONSTRUCTION OF THE PROPOSED HOUSE AND SEPTIC SYSTEM. THE ZONING ORDINANCE OF THE MUNICIPALITY IS TO BE COMPLIED WITH. THE BUILDER/SITE CONTRACTOR IS ALSO RESPONSIBLE TO CONTACT THE MUNICIPALITY REGARDING INSPECTIONS PRIOR TO AND DURING CONSTRUCTION, I.E. LOCATION AND BED-DOWN INSPECTIONS.

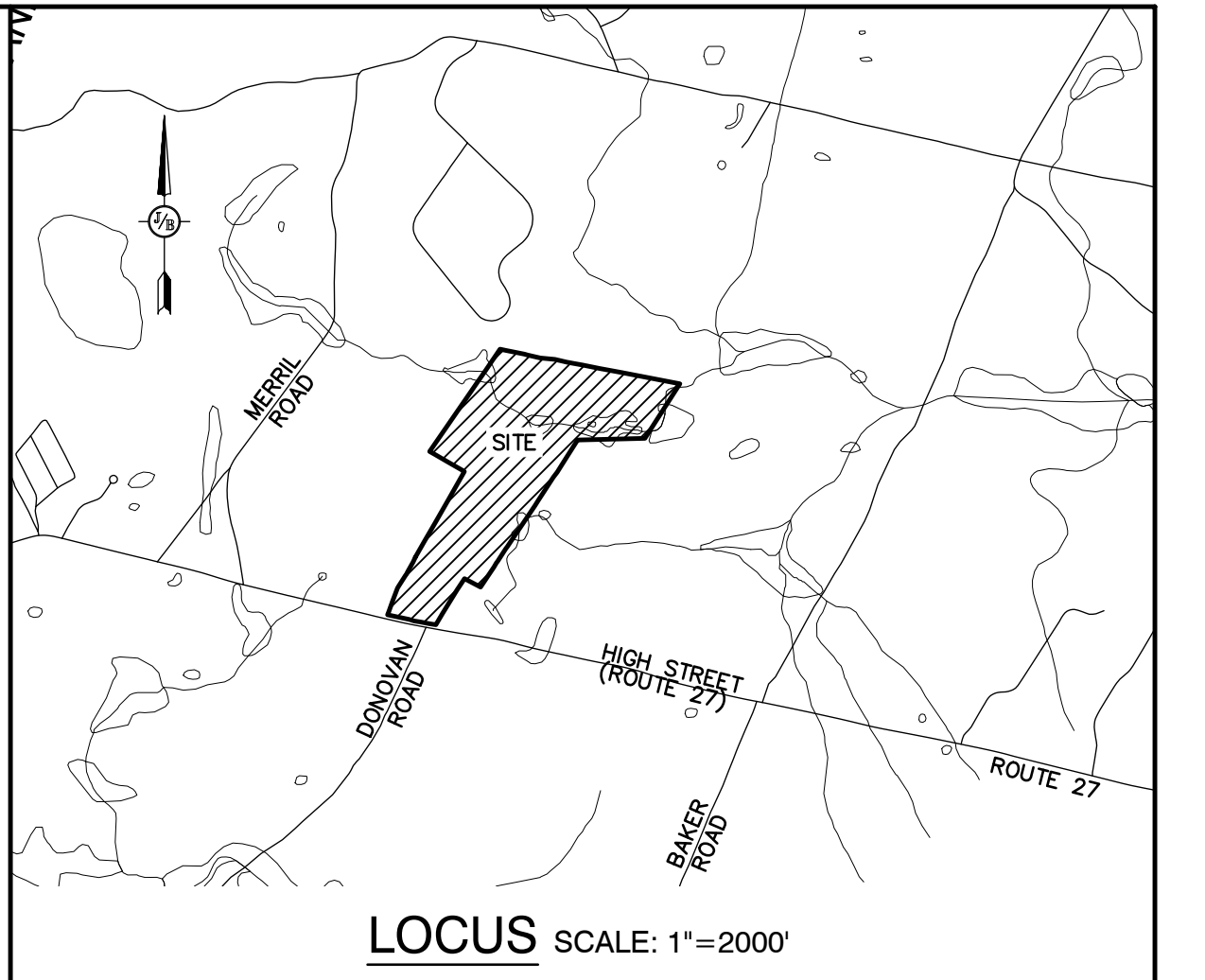
TEST PIT LOGS

PERFORMED BY: JOSEPH CORONATI, JONES & BEACH ENGINEERS, INC. SSD# 1716

TEST PIT #1	GRASS MAT
0'-6"	TOPSOIL
6'-20"	10YR 4/4 DARK YELLOWISH BROWN FINE SANDY LOAM ROCKY, FRAIBLE
20'-60"	10Y 6/4 LIGHT YELLOWISH BROWN SANDY CLAY FIRM, SATURATED

SHWT = 20"
ROOTS TO 20"
H₂O @ 36"
NO REFUSAL OBSERVED

TEST PIT, DATE: SEPTEMBER 14, 2023
PERC. RATE: 20 MIN./INCH



ENVIRO-SEPTIC DESIGN CALCULATIONS

6 BEDROOM RESIDENTIAL DUPLEX = 900 GALLONS PER DAY (150 GPD/BEDROOM)
900 GPD @ 14 MIN./INCH = 420 L.F. OF ENVIRO-SEPTIC PIPE REQUIRED (70 LF/BEDROOM).
420 L.F. OF ENVIRO-SEPTIC PIPE PROVIDED.
12 ROWS OF ENVIRO-SEPTIC PIPE X 35' LONG. 4 SERIES OF 3 ROWS.

BED DIMENSIONS 37' x 19.5'

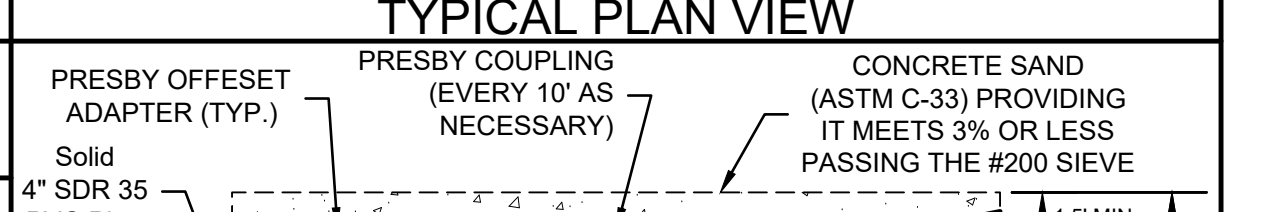
REFERENCES

APPROVAL FOR CONSTRUCTION IS VALID FOR 4 YEARS FROM DATE OF ISSUE

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- SUBDIVISION APPROVAL # GREATER THAN 5 ACRES.

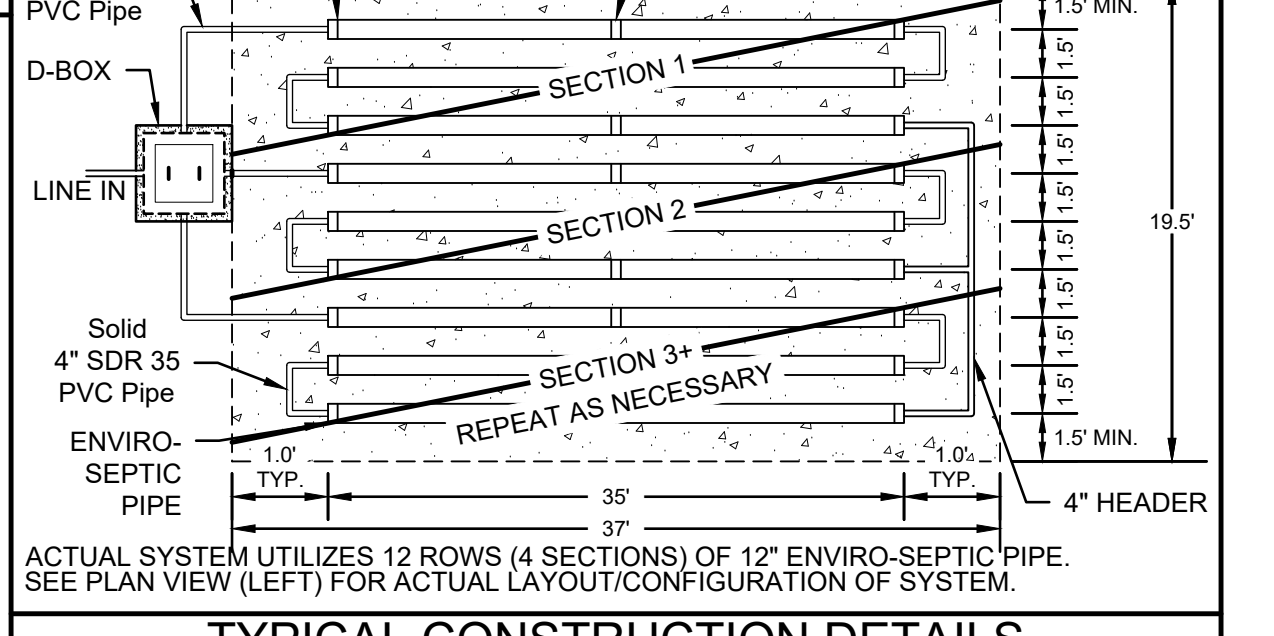
DESIGN INTENT

THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (E.D.S.) SHALL BE CONSTRUCTED AT ELEVATION 188.00. THIS IS APPROXIMATELY 1.00 FEET ABOVE ORIGINAL GROUND ON THE HIGH CONTOUR (187.00) OF THE DESIGNED E.D.S. (ENV-WQ-1003.13(aa))



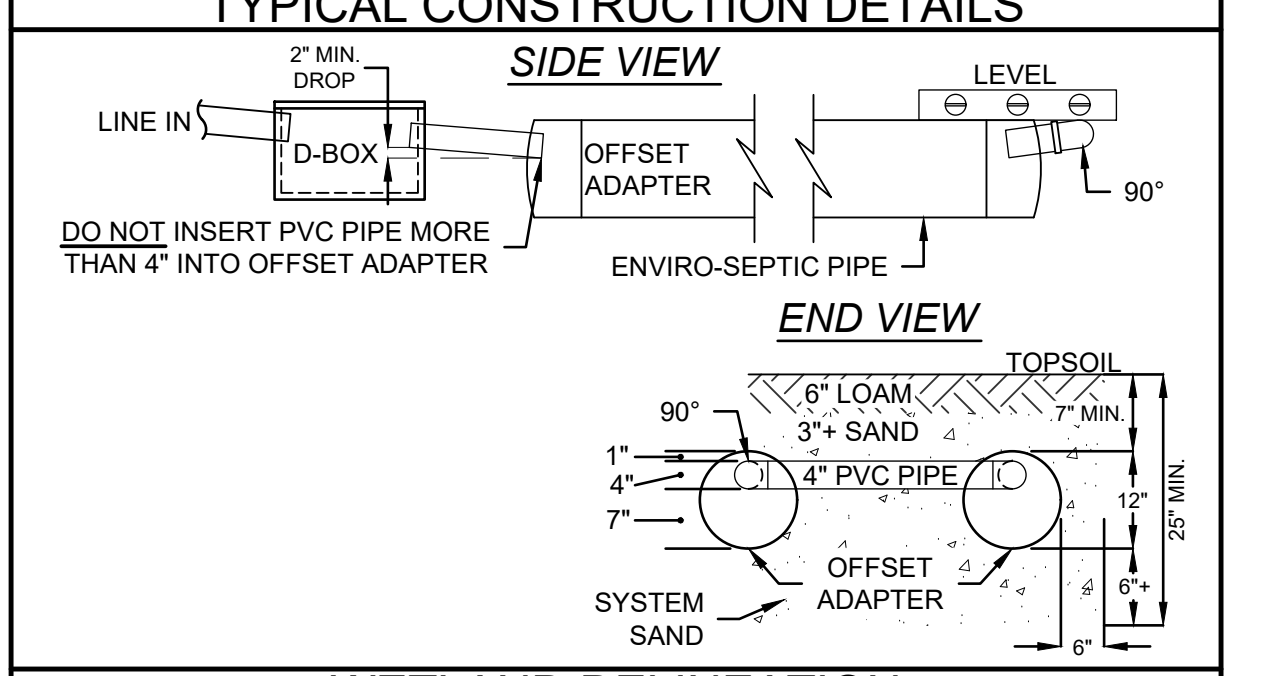
GENERAL NOTES

- CONTRACTOR TO VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGNER OF ANY ABNORMAL CONDITIONS (HARDPAN OR SATURATED SOILS, LEDGE, ETC.) FOUND WHEN EXCAVATING PRIOR TO INSTALLATION OF THE SYSTEM.
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- FILL AROUND ENVIRO PIPES TO BE ASTM C-33 (CONCRETE SAND) OR EQUAL.
- REMOVE TOPSOIL BEFORE PLACING FILL. 4" THICK LOAM & SEED AROUND PERIMETER OF FILL.
- CONTRACTOR TO INSTALL A VENT WHEN PROVIDING MORE THAN 18' OF COVER. VENTING IS REQUIRED IF SYSTEM IS DESIGNED FOR H2O LOADING, OR ADVANCED ENVIRO-SEPTIC IS USED.
- CROWN SYSTEM TO SHED RAINWATER. SLOPE SYSTEM AWAY FROM HOUSE.
- SYSTEM WILL BE REPLACED IN SAME LOCATION IN CASE OF FAILURE.
- DISTRIBUTION BOX SHALL HAVE FLOW EQUALIZERS INSTALLED IN THE OUTLET PORTS.
- JOINTS ARE TO BE BELLED PVC OR STANDARD SLIP COLLARS.
- PER ENV-WQ 1010.11, THE FIRST COMPARTMENT IN MULTI-COMPARTMENT SEPTIC TANKS MUST BE AT LEAST 2/3 OF THE REQUIRED VOLUME.
- PER ENV-WQ 1010.10, EXCEPTING LEDGE TANKS, THE LIQUID DEPTH OF THE SEPTIC TANK IS TO BE AT LEAST 40".
- THE OUTLET BAFFLE SHALL BE A VENTED TEE WHICH SHALL EXTEND TO A DISTANCE BELOW THE SURFACE EQUAL TO 40% OF THE LIQUID DEPTH AND SHALL EXTEND ABOVE THE LIQUID LINE TO NOT LESS THAN ONE INCH FROM THE TOP OF THE TANK.
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- 1,250 GALLON SEPTIC TANKS & D-BOX TO BE SUPPLIED BY: SHEA CONCRETE, (800-698-7432) OR EQUAL.
- ROCKINGHAM COUNTY SOIL CONSERVATION SERVICE SOIL TYPE: SCITUATE-NEWFIELDS COMPLEX.
- ANY CHANGES TO SEPTIC TANK, BUILDING OR WELL LOCATION/ORIENTATION WILL REQUIRE AN AS-BUILT PLAN TO BE PROVIDED BY THE DESIGNER PRIOR TO NHDES FINAL INSPECTION.
- PER ENV-WQ 1004.10, SYSTEMS OVER 2,500 GPD ARE TO BE INSPECTED BY DESIGNER.
- PER ENV-WQ 1003.13(a)(3) THERE ARE NO KNOWN BURIAL SITES OR CEMETERIES ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.
- 50' SETBACK FROM POORLY DRAINED SOILS.
- DISTANCE FROM SEWER PIPE TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF THE SEPTIC TANK IS EITHER MADE FROM PLASTIC OR COATED WITH A SEALANT TO PREVENT INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH ENV-WQ 1008.04(c)(1).
- DISTANCE FROM SEPTIC TANK TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF THE SEPTIC TANK IS EITHER MADE FROM PLASTIC OR COATED WITH A SEALANT TO PREVENT INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH ENV-WQ 1008.04(c)(2).



WELL LOCATION

- INSTALLATION SHALL COMPLY WITH "W 602.05" WELL LOCATION RULES
- IF THE WELL IS LOCATED LESS THAN 50' FROM THE STATE HIGHWAY RIGHT-OF-WAY AND OR LESS THAN 75' FROM THE PROPERTY LINE WITH DESIGN FLOWS FOR STRUCTURES UP TO 5 BEDROOMS. SPECIAL METHODS OF CONSTRUCTION SHALL INCLUDE BUT NOT BE LIMITED TO:
 - INSTALL NO LESS THAN 40' OF CASING INTO COMPETENT BEDROCK WHERE BEDROCK IS LESS THAN 20' FROM GROUND SURFACE
 - GROUTING THE CASING

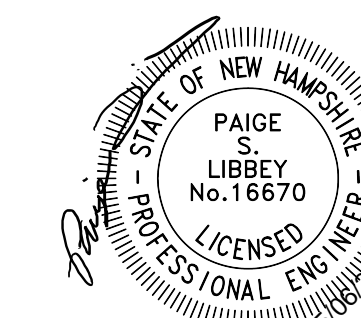


OWNER NOTES

- KNOW THE LOCATION OF YOUR SEPTIC TANK AND LEACHING AREA.
- INSPECT YOUR SEPTIC TANK YEARLY. HAVE THE SEPTIC TANK PUMPED AS NEEDED BUT AT LEAST ONCE EVERY THREE YEARS.
- DO NOT FLUSH BULKY ITEMS SUCH AS DIAPERS, SANITARY PADS OR BABY WIPES.
- DO NOT FLUSH TOXIC CHEMICALS SUCH AS PAINT THINNERS, DRANO, PESTICIDES, OR CHLORINE, AS THEY MAY KILL THE NECESSARY BACTERIA IN THE SEPTIC TANK.
- REPAIR LEAKING FIXTURES IN THE BUILDING PROMPTLY.
- BE CONSERVATIVE WITH WATER USE, SPREAD OUT USE OVER TIME, AND USE WATER-REDUCING FIXTURES WHENEVER AND WHEREVER POSSIBLE. TOO MUCH USE IN A SHORT TIME CAN OVERLOAD THE SYSTEM, WHICH MAY LEAD TO FAILURE.
- MOW YOUR LEACHING AREA REGULARLY. PREVENT DEEP-ROOTED TREES AND SHRUBS FROM GROWING ON AND ADJACENT TO YOUR LEACHING AREA.
- NO VEHICULAR TRAVEL, LIVESTOCK TRAVEL, OR SNOW REMOVAL IN AREA OF SYSTEM, UNLESS SPECIFICALLY DESIGNED FOR H2O LOADING.

Design: JAC Draft: KDR Date: 05/06/2024
Checked: JAC Scale: 1" = 20' Project No.: 22201
Drawing Name: 22201-PLAN.DWG

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
5	5/6/24	REVISED PER TOWN ENGINEER AND FIRE CHIEF COMMENTS	DJM
4	3/22/24	REVISED PER TOWN ENGINEER COMMENTS	DJM
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services 603-772-4746

E-MAIL: JBE@JONESANDBEACH.COM

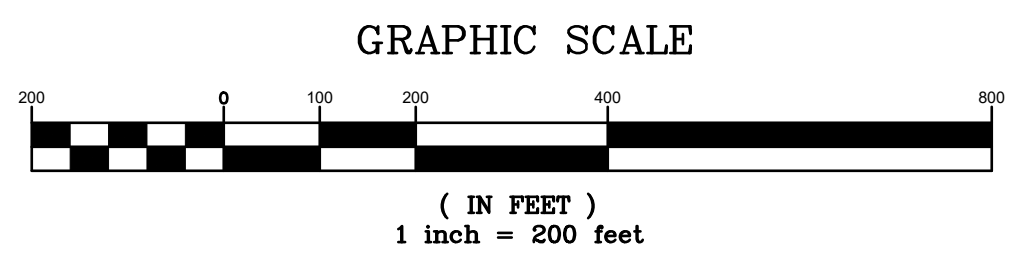
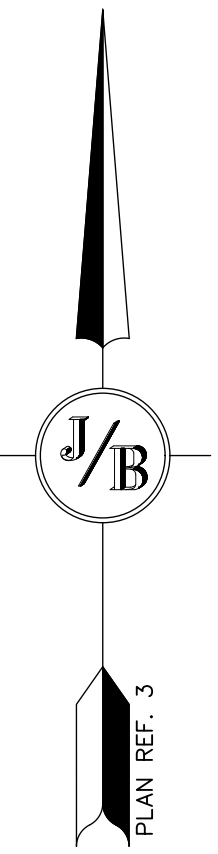
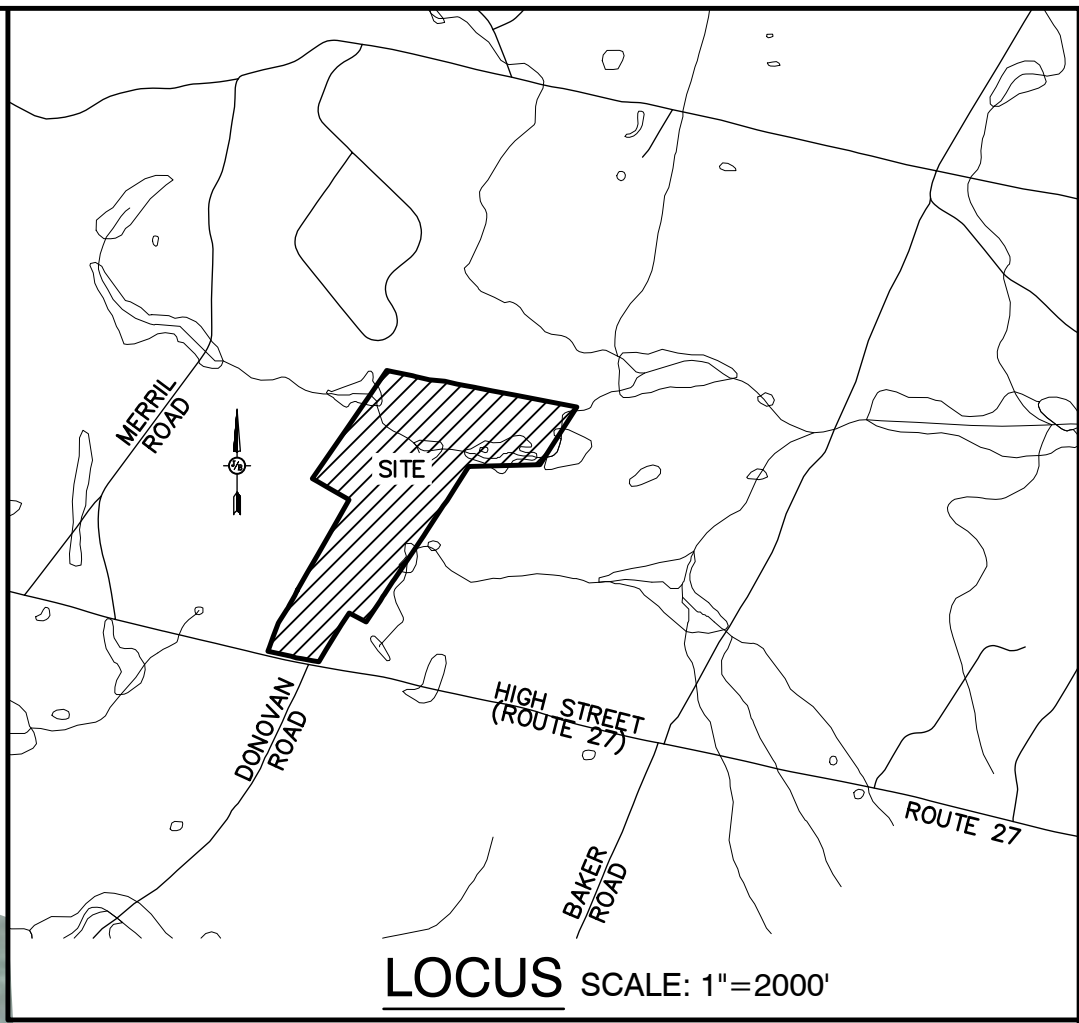
Plan Name: **EFFLUENT DISPOSAL DESIGN**

Project: **"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034**

Owner of Record: **CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104**

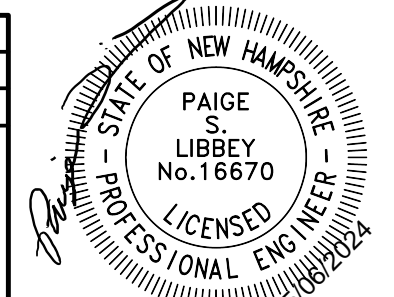
DRAWING No. **S3**

SHEET 15 OF 23
JBE PROJECT NO. 22201



PROJECT PARCEL TOWN OF CANDIA TAX MAP 405, LOT 48
APPLICANT BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
TOTAL LOT AREA 87.8 ACRES ±

Design: DJM Draft: KDR Date: 11/13/23
 Checked: JAC Scale: AS NOTED Project No.: 22201
 Drawing Name: 22201-PLAN.dwg
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REV.	DATE	REVISION	BY
5	5/6/24	REVISED PER TOWN ENGINEER AND FIRE CHIEF COMMENTS	DJM
4	3/22/24	REVISED PER TOWN ENGINEER COMMENTS	DJM
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
REV.	DATE	REVISION	BY

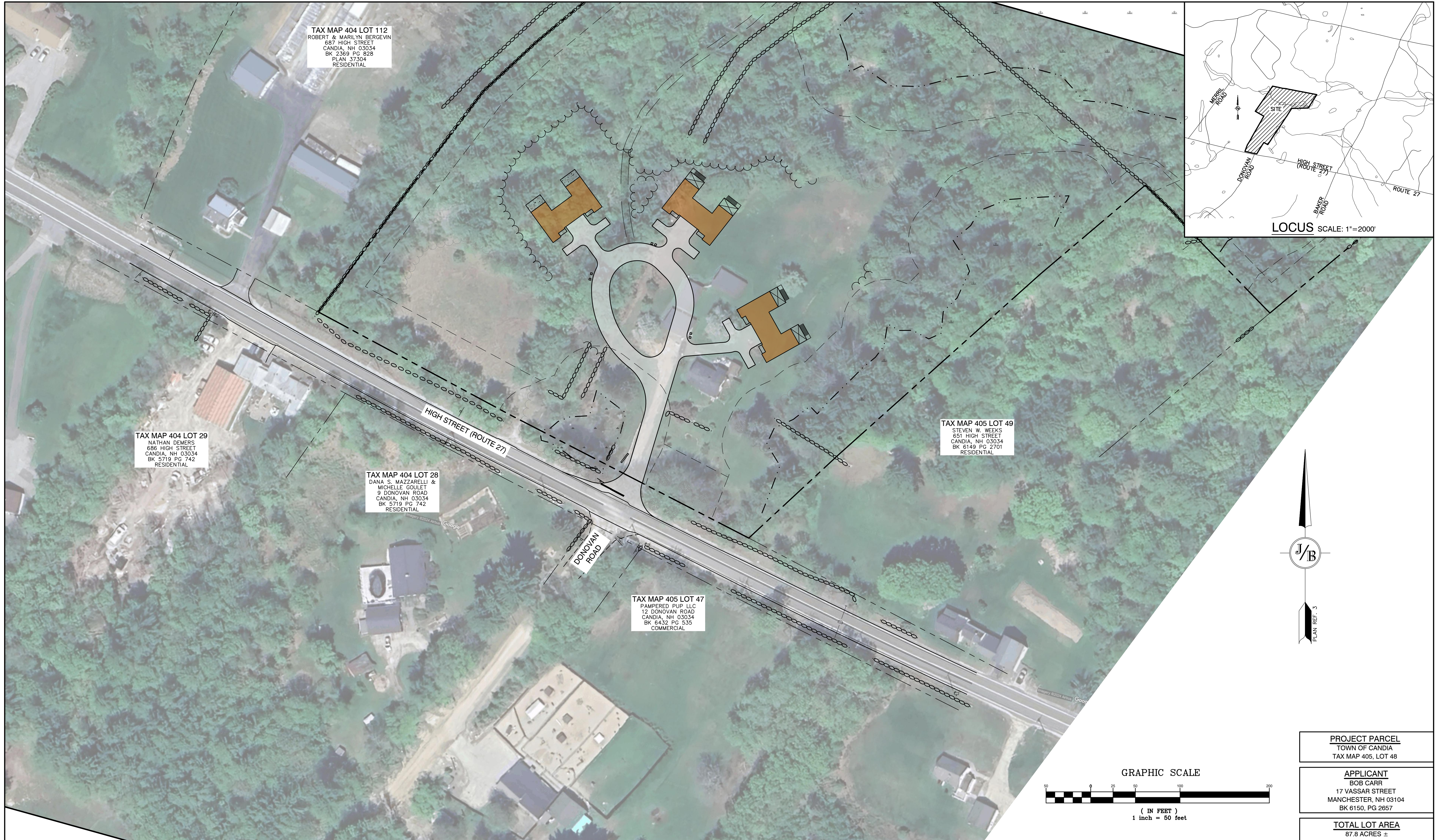
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219
 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	OVERVIEW AERIAL SITE PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
AR1
 SHEET 16 OF 23
 JBE PROJECT NO. 22201



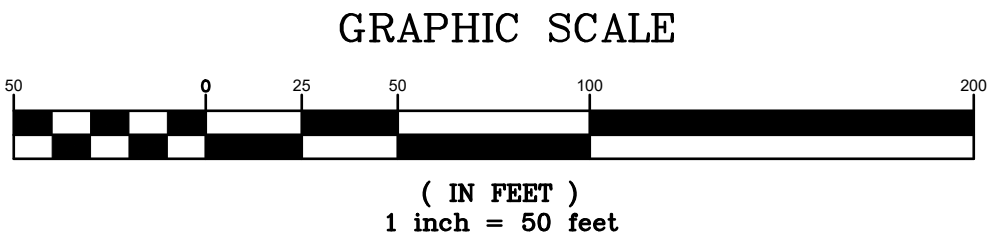
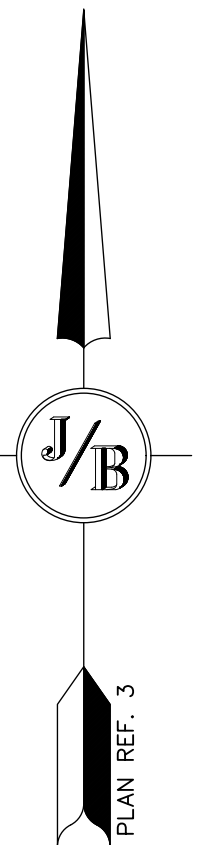
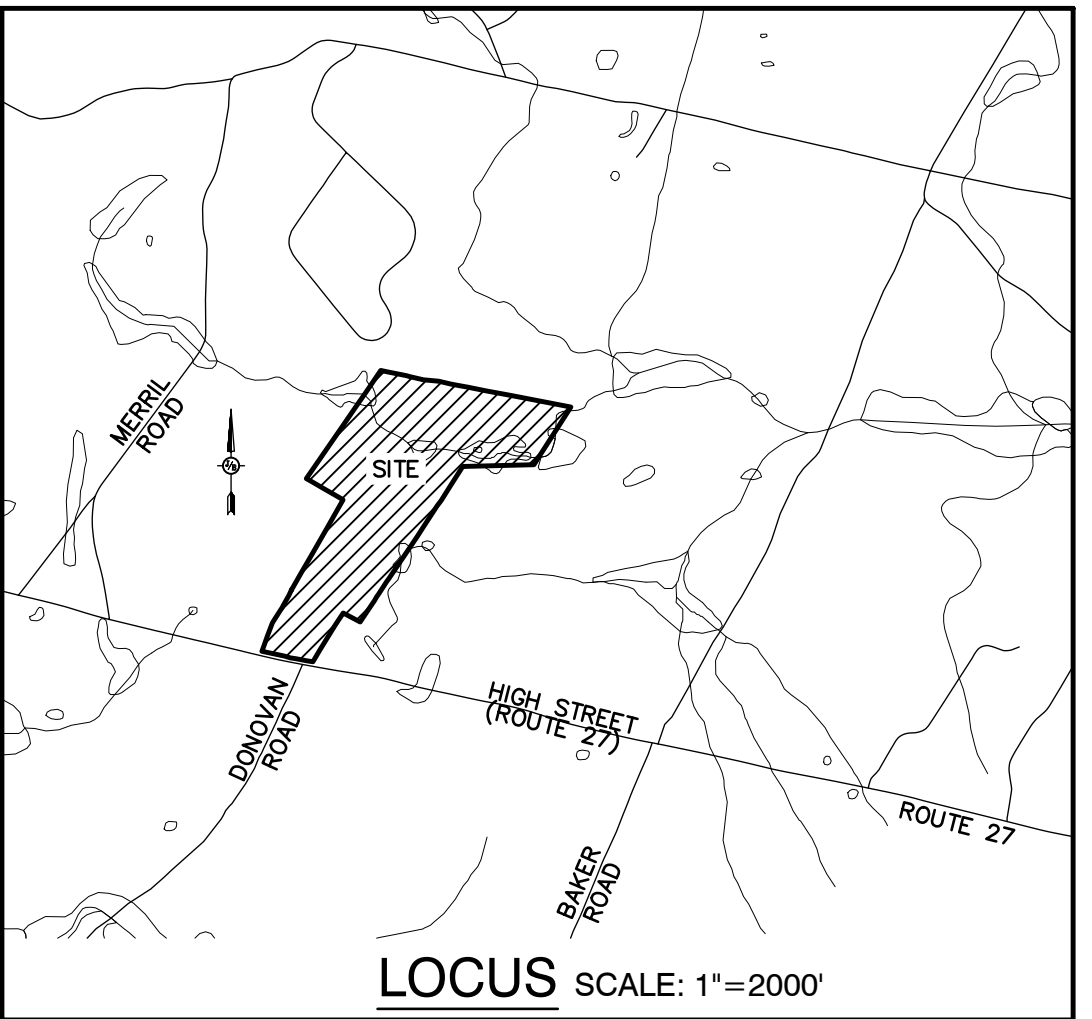
TAX MAP 404 LOT 112
 ROBERT & MARILYN BERGEVIN
 687 HIGH STREET
 CANDIA, NH 03034
 BK 2369 PG 828
 PLAN 37304
 RESIDENTIAL

TAX MAP 404 LOT 29
 NATHAN DEMERS
 688 HIGH STREET
 CANDIA, NH 03034
 BK 5719 PG 742
 RESIDENTIAL

TAX MAP 404 LOT 28
 DANA S. MAZZARELLI &
 MICHELLE GOULET
 9 DONOVAN ROAD
 CANDIA, NH 03034
 BK 5719 PG 742
 RESIDENTIAL

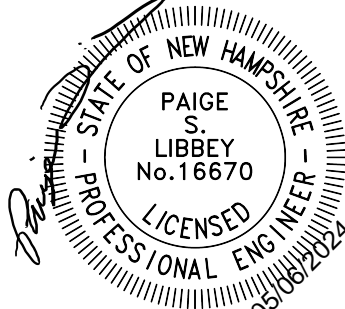
TAX MAP 405 LOT 47
 PAMPERED PUP LLC
 12 DONOVAN ROAD
 CANDIA, NH 03034
 BK 6432 PG 535
 COMMERCIAL

TAX MAP 405 LOT 49
 STEVEN W. WEEKS
 651 HIGH STREET
 CANDIA, NH 03034
 BK 6149 PG 2701
 RESIDENTIAL



PROJECT PARCEL TOWN OF CANDIA TAX MAP 405, LOT 48
APPLICANT BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
TOTAL LOT AREA 87.8 ACRES ±

Design: DJM	Draft: KDR	Date: 11/13/23
Checked: JAC	Scale: AS NOTED	Project No.: 22201
Drawing Name: 22201-PLAN.dwg		
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5	5/6/24	REVISED PER TOWN ENGINEER AND FIRE CHIEF COMMENTS	DJM
4	3/22/24	REVISED PER TOWN ENGINEER COMMENTS	DJM
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
REV.	DATE	REVISION	BY

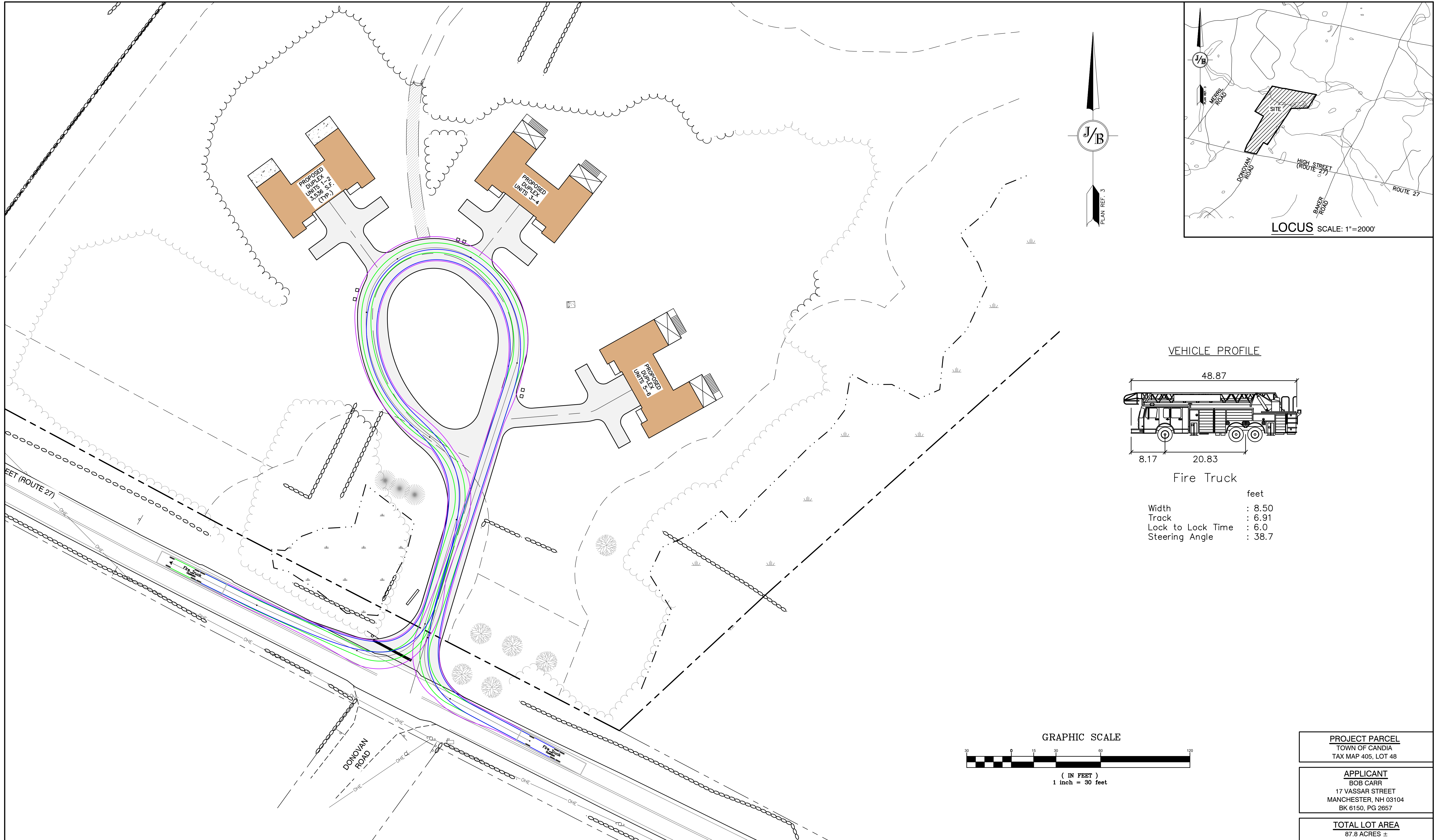
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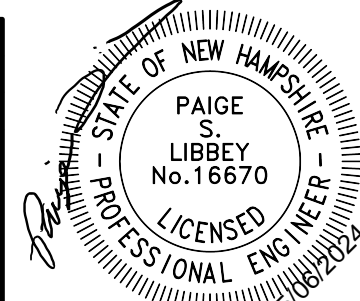
85 Portsmouth Ave. Stratham, NH 03885
 PO Box 219
 Civil Engineering Services
 603-772-4746
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	AERIAL SITE PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.	AR2
SHEET 17 OF 23 JBE PROJECT NO. 22201	



Design: DJM Draft: KDR Date: 11/13/23
 Checked: JAC Scale: AS NOTED Project No.: 22201
 Drawing Name: 22201-PLAN.dwg
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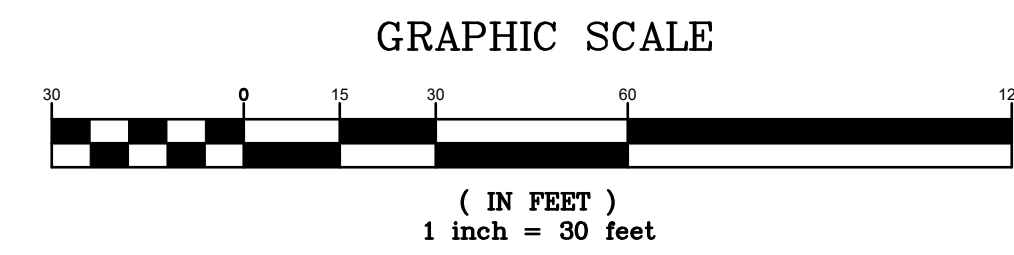
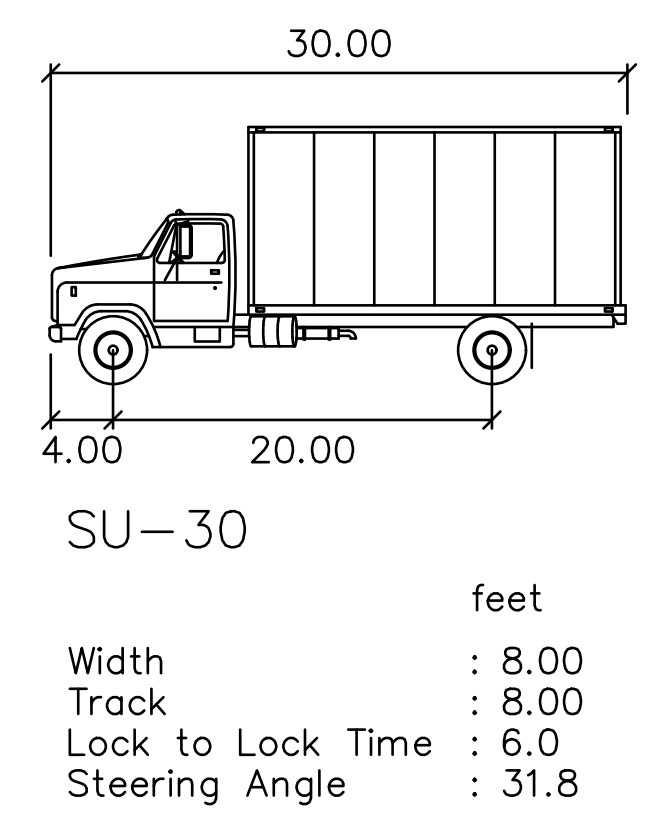
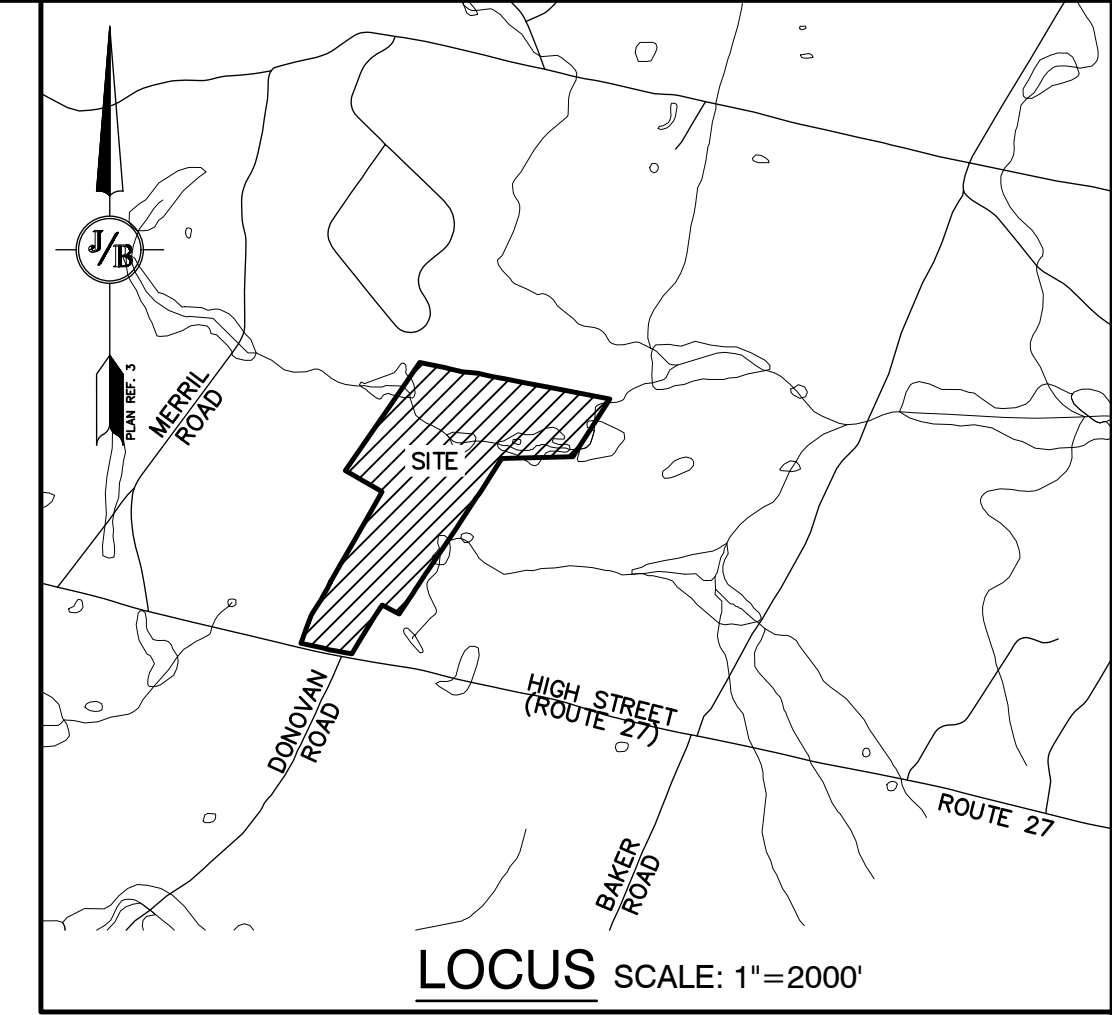
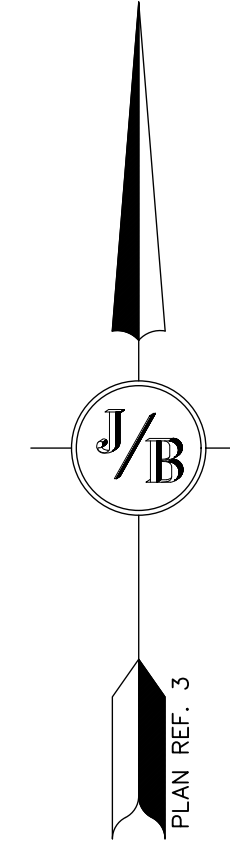
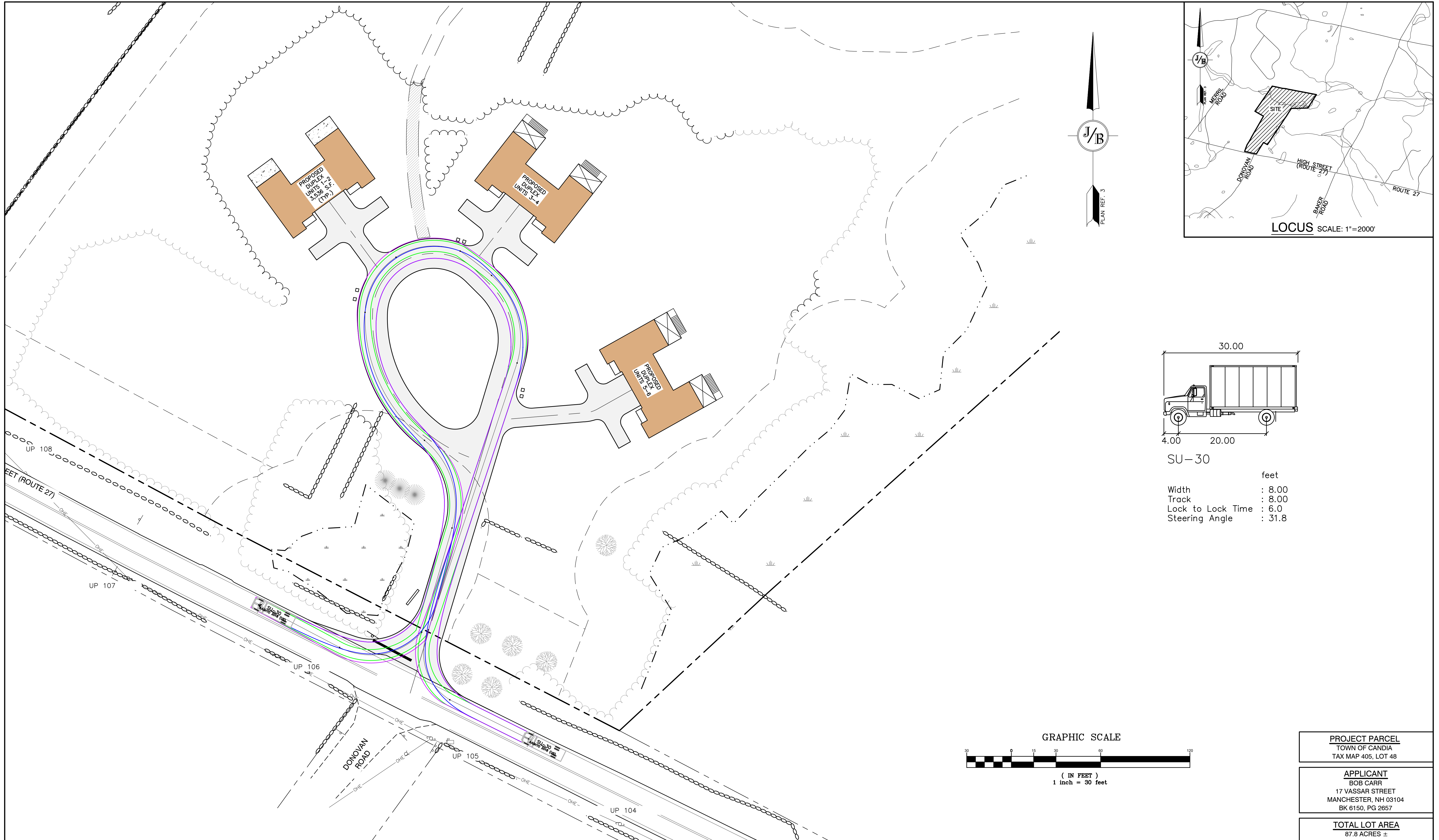
REV.	DATE	REVISION	BY
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1	11/16/23	ADD PROPOSED BUILDINGS	KDR
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746
 E-MAIL: JBE@JONESANDBEACH.COM

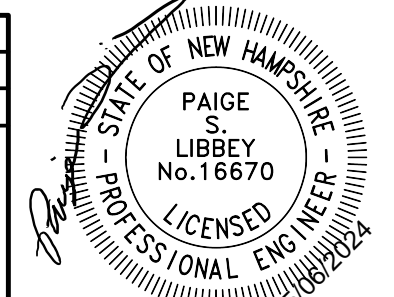
Plan Name:	TRUCK TURNING PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
T1
 SHEET 18 OF 23
 JBE PROJECT NO. 22201



PROJECT PARCEL TOWN OF CANDIA TAX MAP 405, LOT 48
APPLICANT BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
TOTAL LOT AREA 87.8 ACRES ±

Design: DJM Draft: KDR Date: 11/13/23
 Checked: JAC Scale: AS NOTED Project No.: 22201
 Drawing Name: 22201-PLAN.dwg
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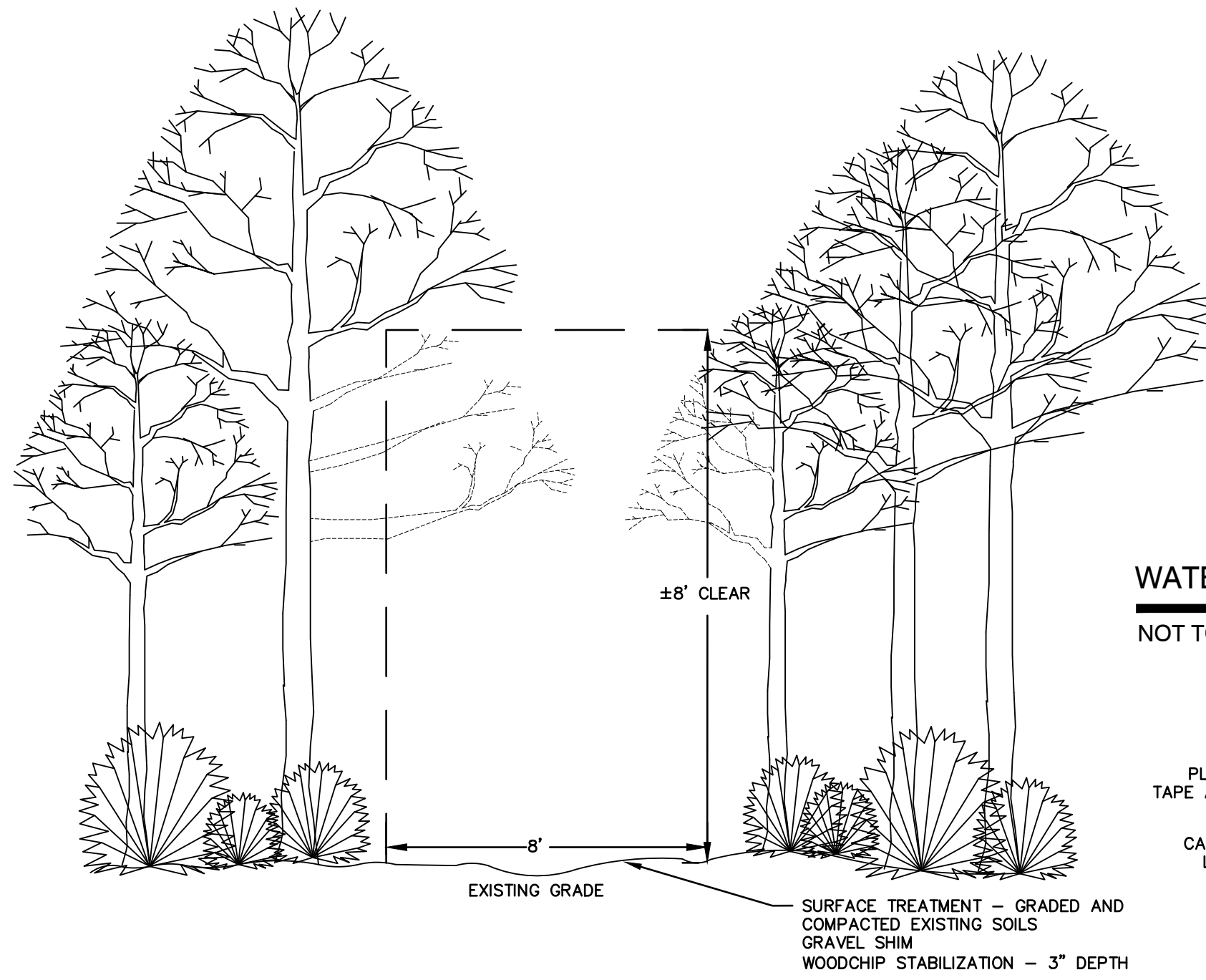


REV.	DATE	REVISION	BY
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1	11/16/23	ADD PROPOSED BUILDINGS	KDR
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	TRUCK TURNING PLAN
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

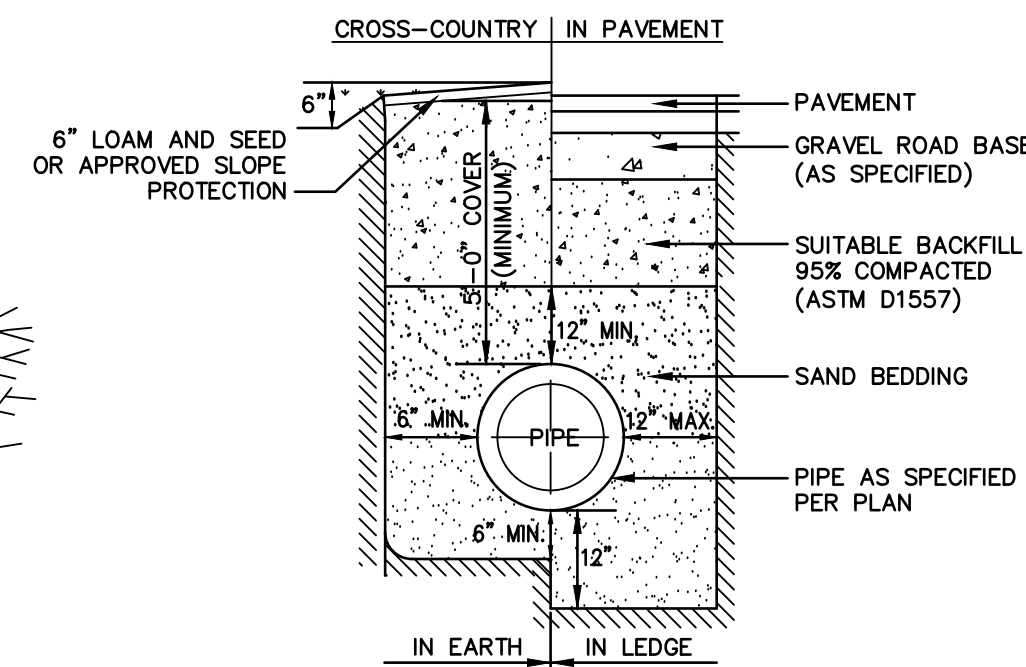
DRAWING No.
T2
SHEET 19 OF 23
JBE PROJECT NO. 22201



TRAIL LAYOUT TO BE "FINE TUNED" IN THE FIELD TO AVOID CUTTING OF LARGE TREES, AND TO AVOID EXCESSIVE GRADING, CUTTING AND FILLING WHILE CONSTRUCTING TRAIL SURFACE.

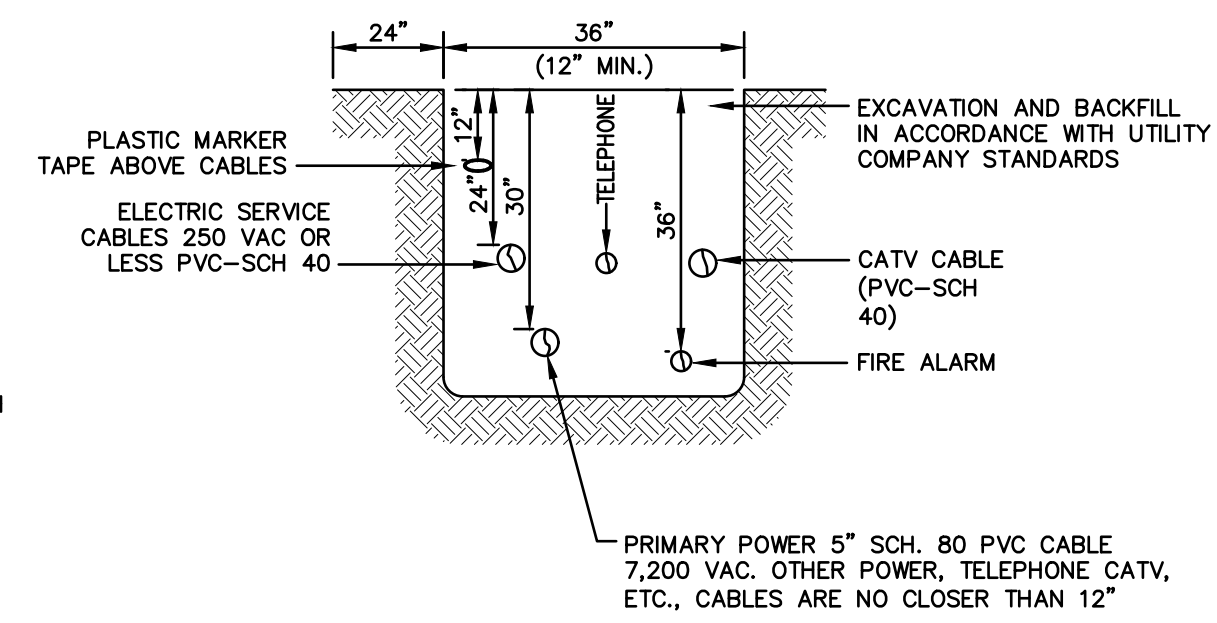
WOODS TRAIL SECTION

NOT TO SCALE



WATER SYSTEM TRENCH

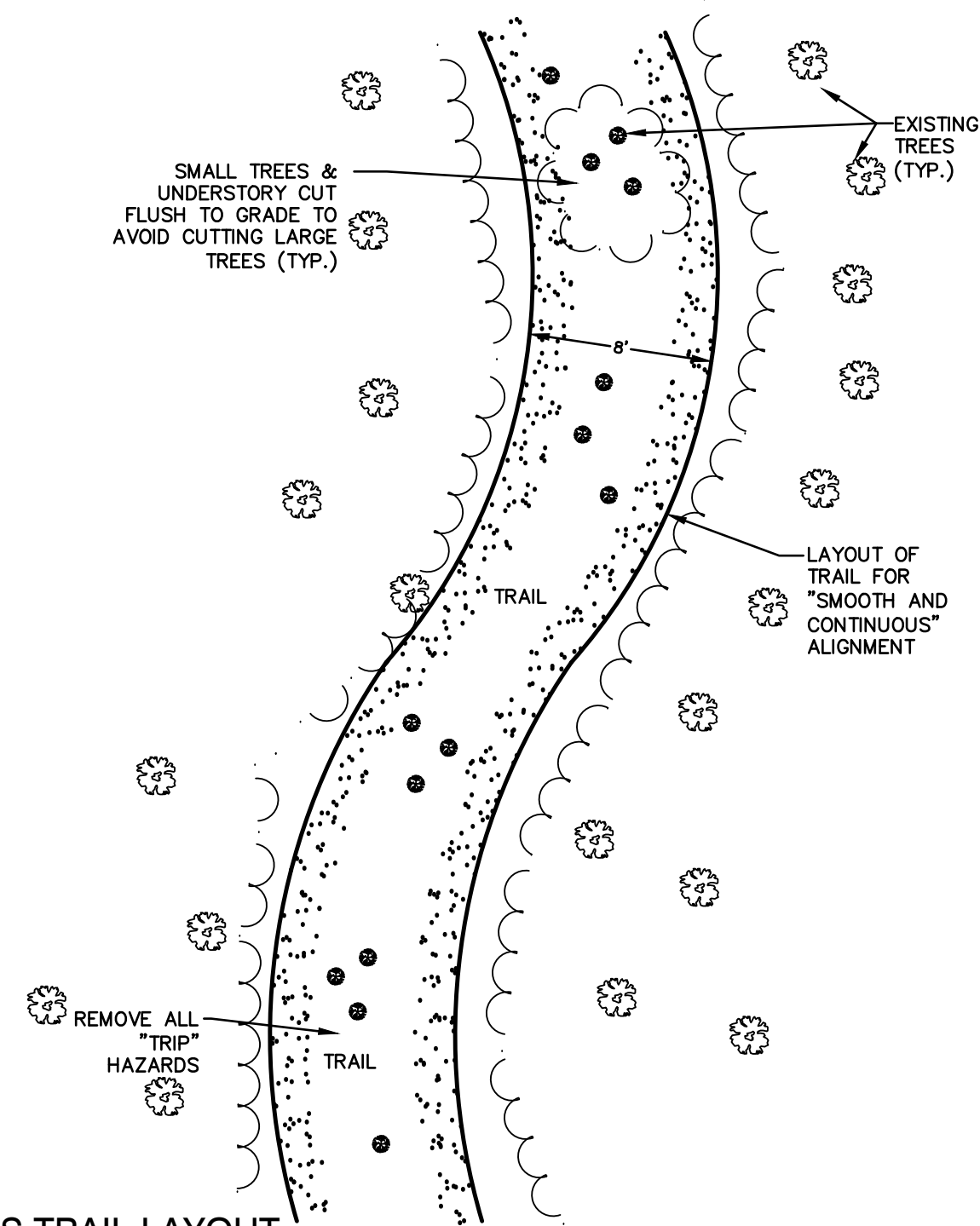
NOT TO SCALE



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

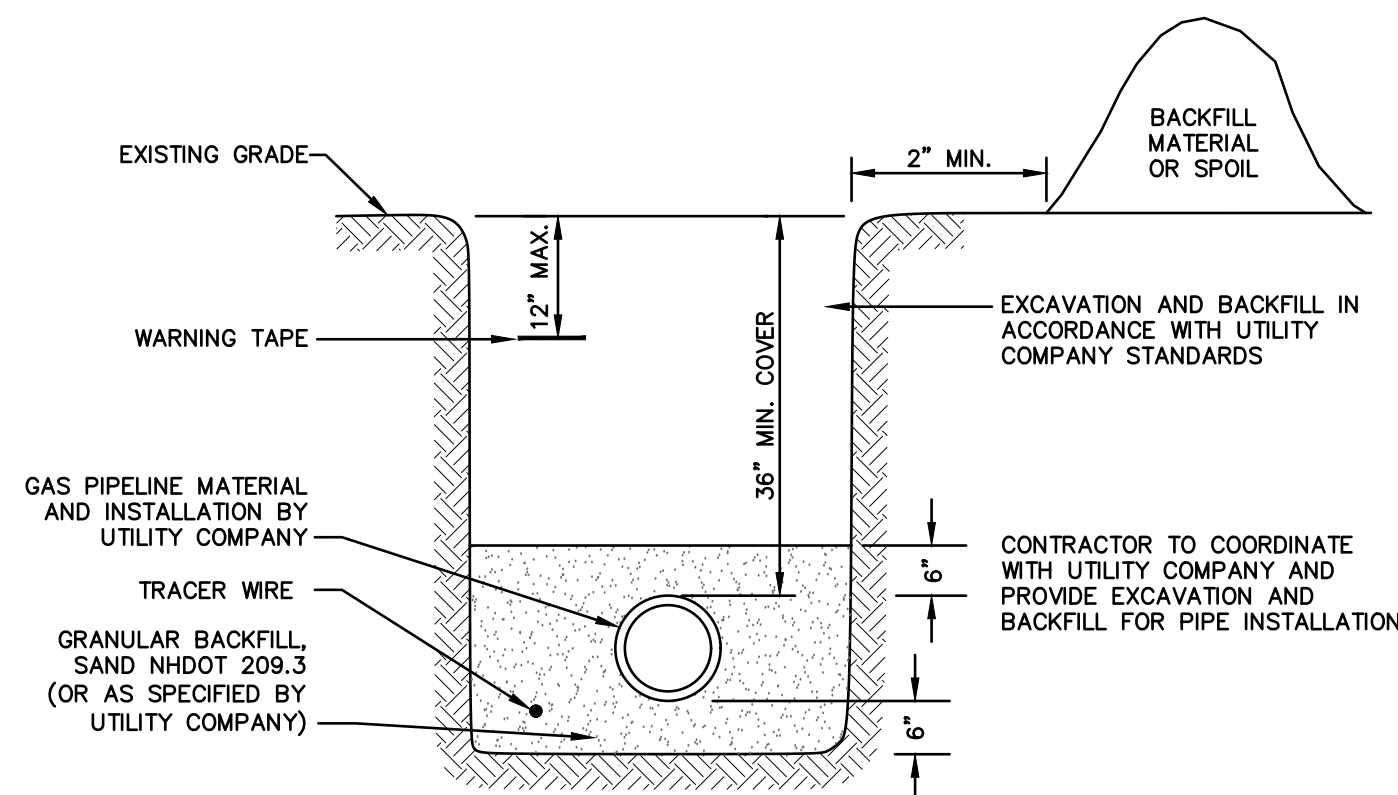
UTILITY TRENCH

NOT TO SCALE



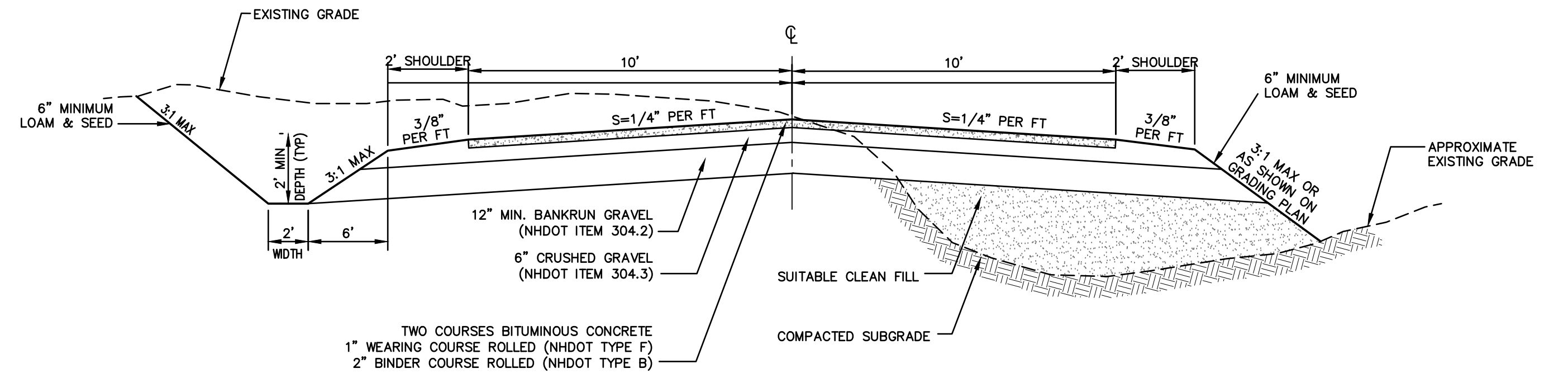
WOODS TRAIL LAYOUT

NOT TO SCALE



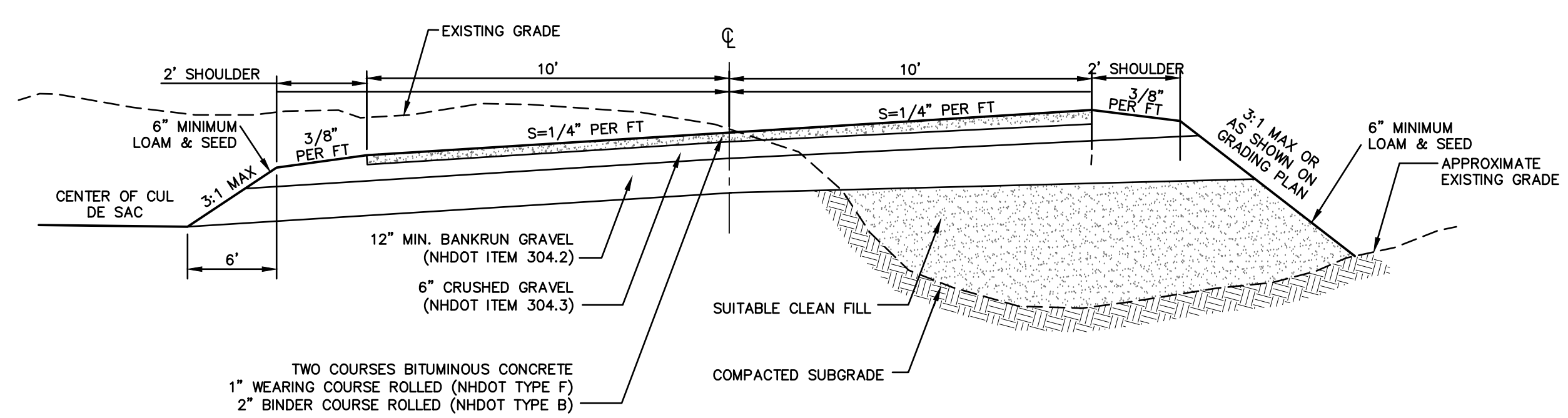
GAS TRENCH

NOT TO SCALE



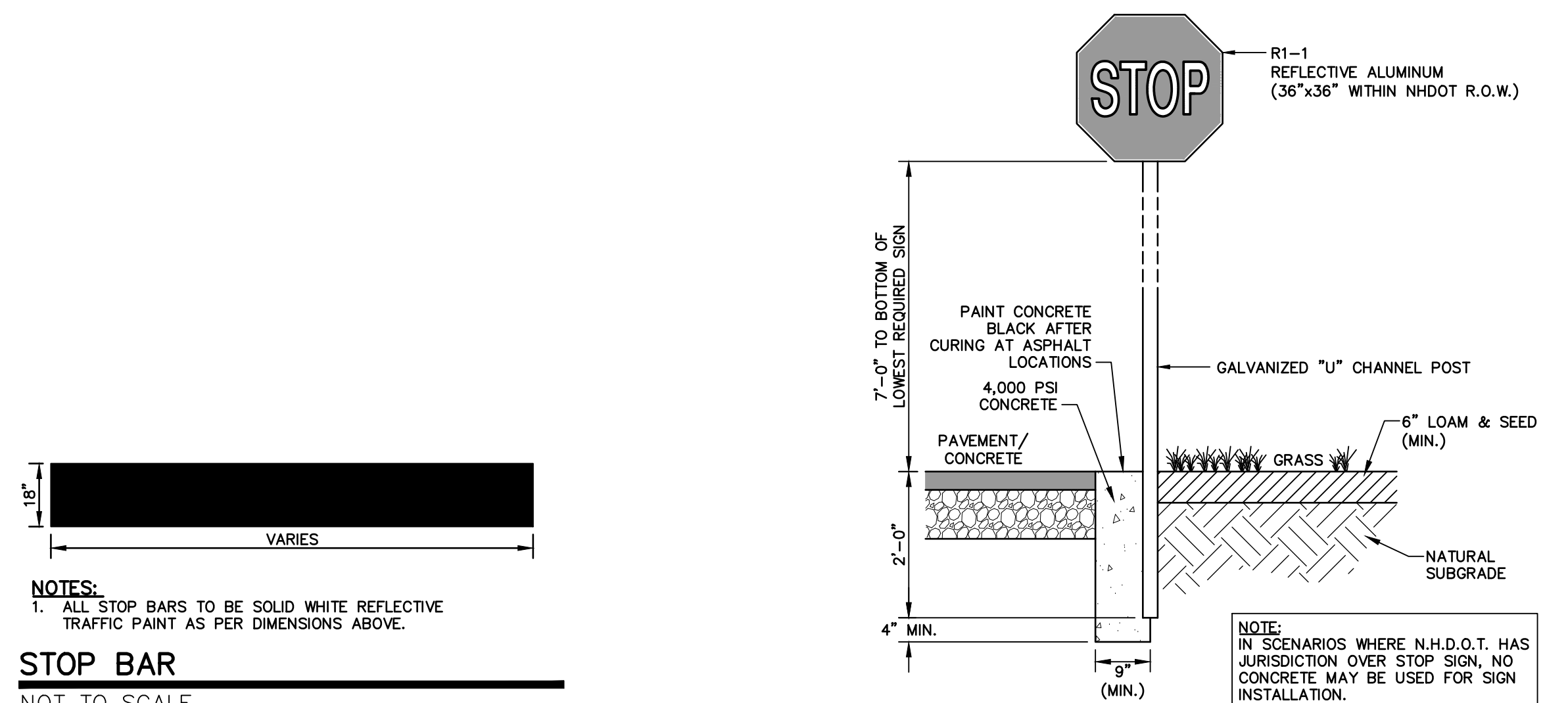
TYPICAL ROADWAY SECTION STA. 0+00 - 1+48)

NOT TO SCALE



TYPICAL ROADWAY SECTION STA. 1+48 - 5+14)

NOT TO SCALE



STOP SIGN (R1-1)

NOT TO SCALE

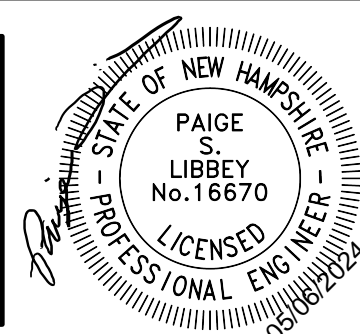
NOTES:
1. ALL STOP BARS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT AS PER DIMENSIONS ABOVE.

STOP BAR

NOT TO SCALE

Design: DJM	Draft: KDR	Date: 11/13/23
Checked: JAC	Scale: AS NOTED	Project No.: 22201
Drawing Name: 22201-PLAN.dwg		

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REV.	DATE	REVISION	BY

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85 Portsmouth Ave. Stratham, NH 03885

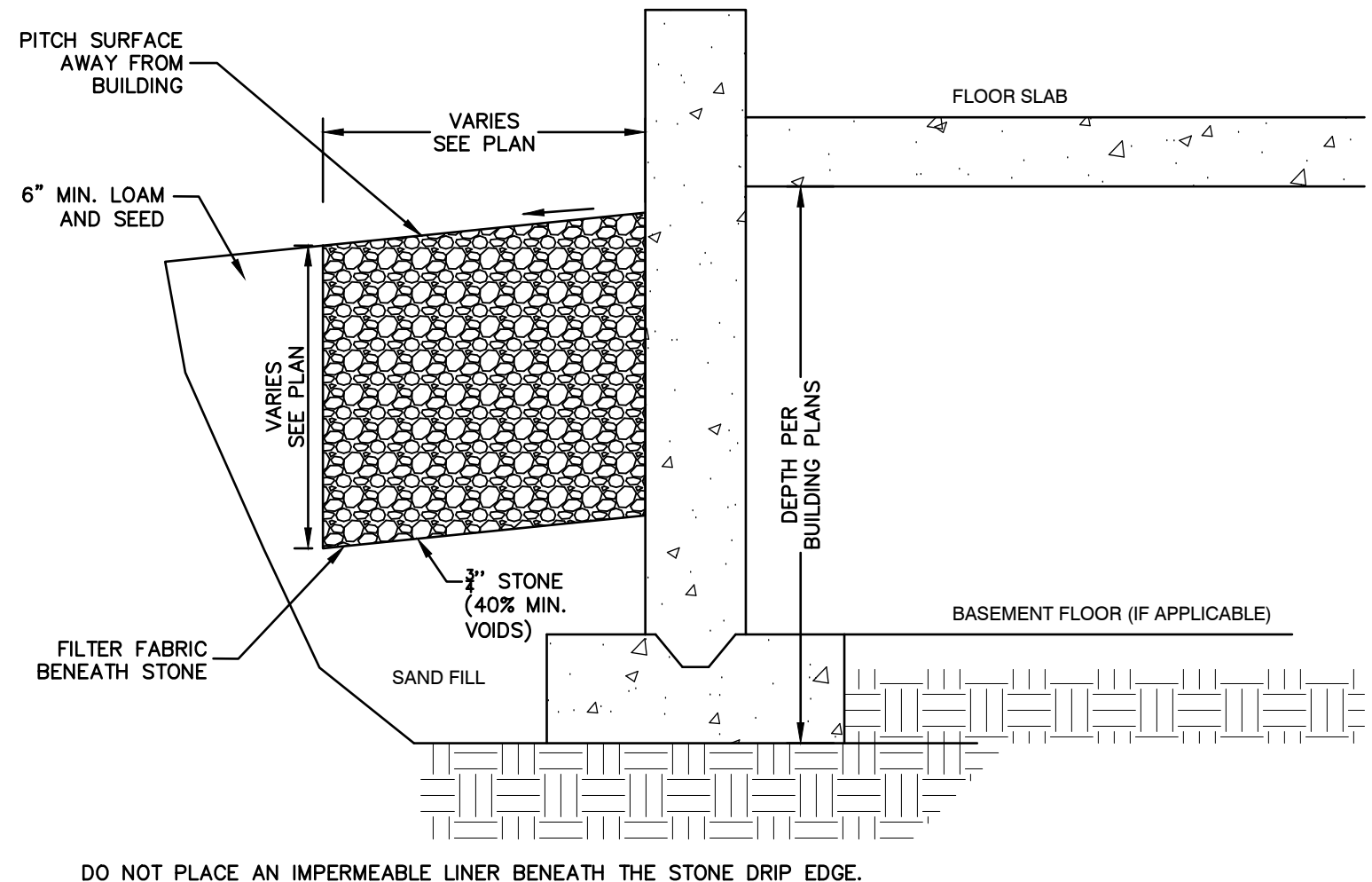
Civil Engineering Services

603-772-4746

E-MAIL: JBE@JONESANDBEACH.COM

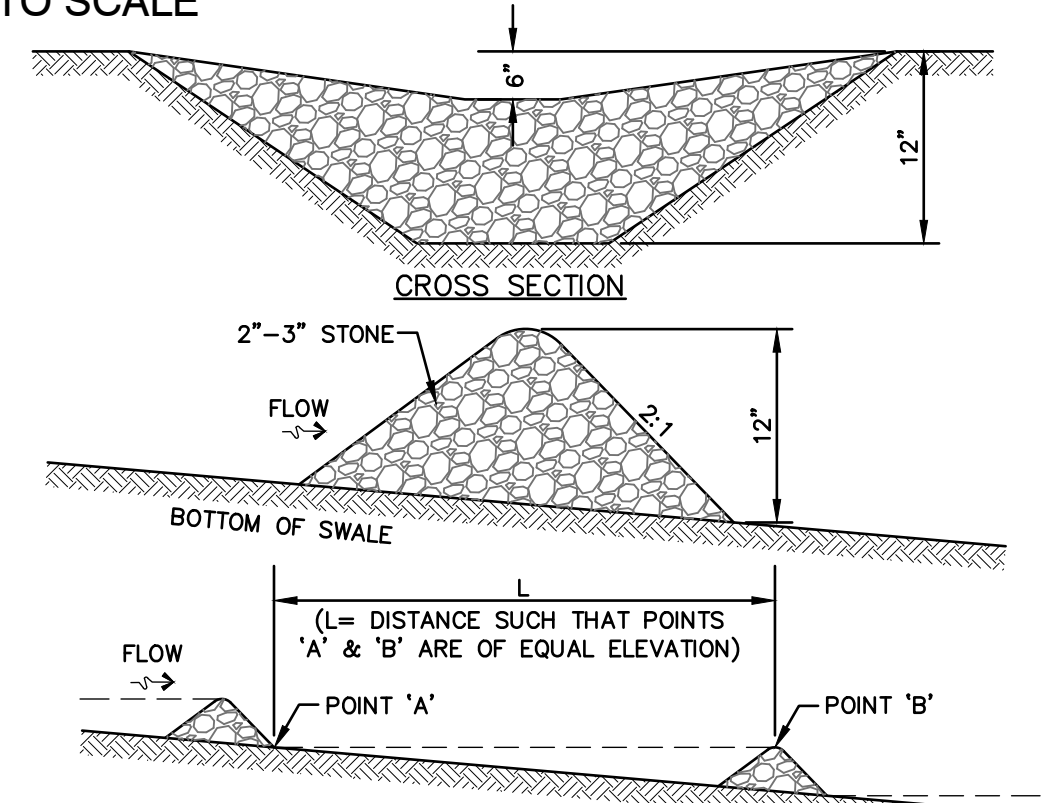
Plan Name:	DETAIL SHEET
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.	D1
SHEET 20 OF 23	JBE PROJECT NO. 22201



STONE DRIP EDGE DETAIL

NOT TO SCALE

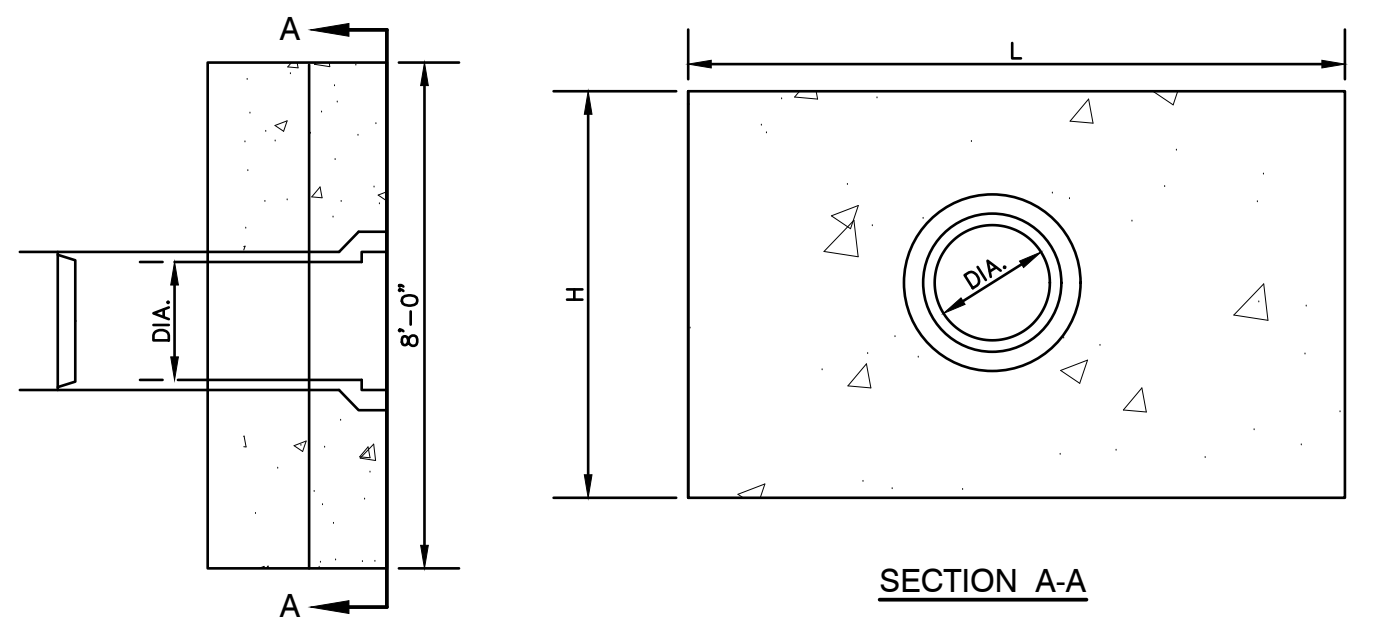


MAINTENANCE NOTE:

1. STONE CHECK DAMS SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHALL BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHALL BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

STONE CHECK DAM

NOT TO SCALE



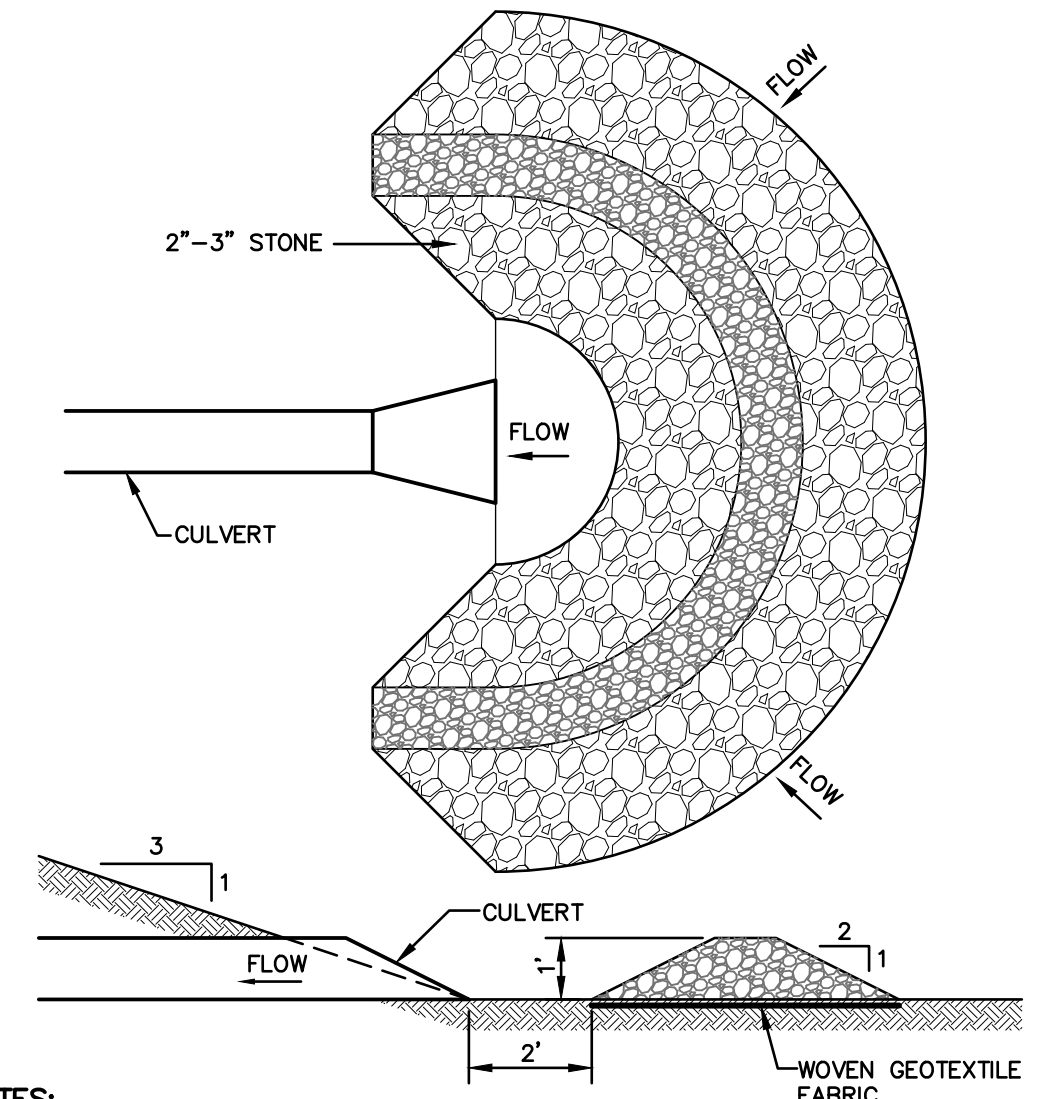
DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
D	L	H	FH	h	W
12"	4'-2"	3'-9"	1'-6"	1'-3"	1'-11"
15"	5'-11"	4'-2"	1'-6"	1'-5"	2'-0"
18"	6'-11"	4'-5"	1'-6"	1'-5"	2'-1"
24"	8'-10"	4'-11"	1'-6"	1'-5"	2'-3"

NOTES:

1. ALL DIMENSIONS GIVEN IN FEET & INCHES.
2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
3. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS; CEMENT TO BE TYPE III PER ASTM C-150; REINFORCING TO MEET OR EXCEED ASTM A-615 GRADE 60 DEFORMED BARS.
4. 1" THREADED INSERTS PROVIDED FOR FINAL ATTACHMENT IN FIELD BY OTHERS.

PRECAST CONCRETE HEADWALL

NOT TO SCALE



NOTES:

1. TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
2. INLET PROTECTION MEASURES SHALL BE INSTALLED AT THE OPENINGS OF ALL EXISTING AND PROPOSED CULVERTS LOCATED BELOW (DOWNSTREAM) FROM AND WITHIN 100' OF THE PROJECT SITE.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
4. STRUCTURES SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH VEGETATION AND THE CHANNEL SHALL BE SMOOTHED AND REVEGETATED.

TEMPORARY CULVERT INLET PROTECTION CHECK DAM

NOT TO SCALE

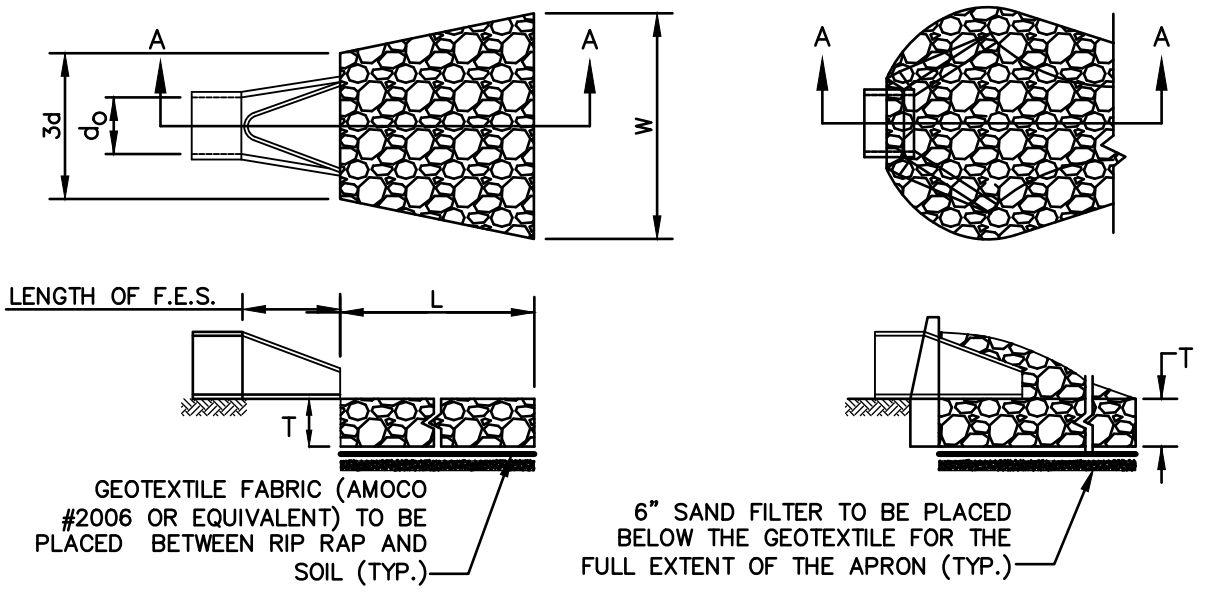


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

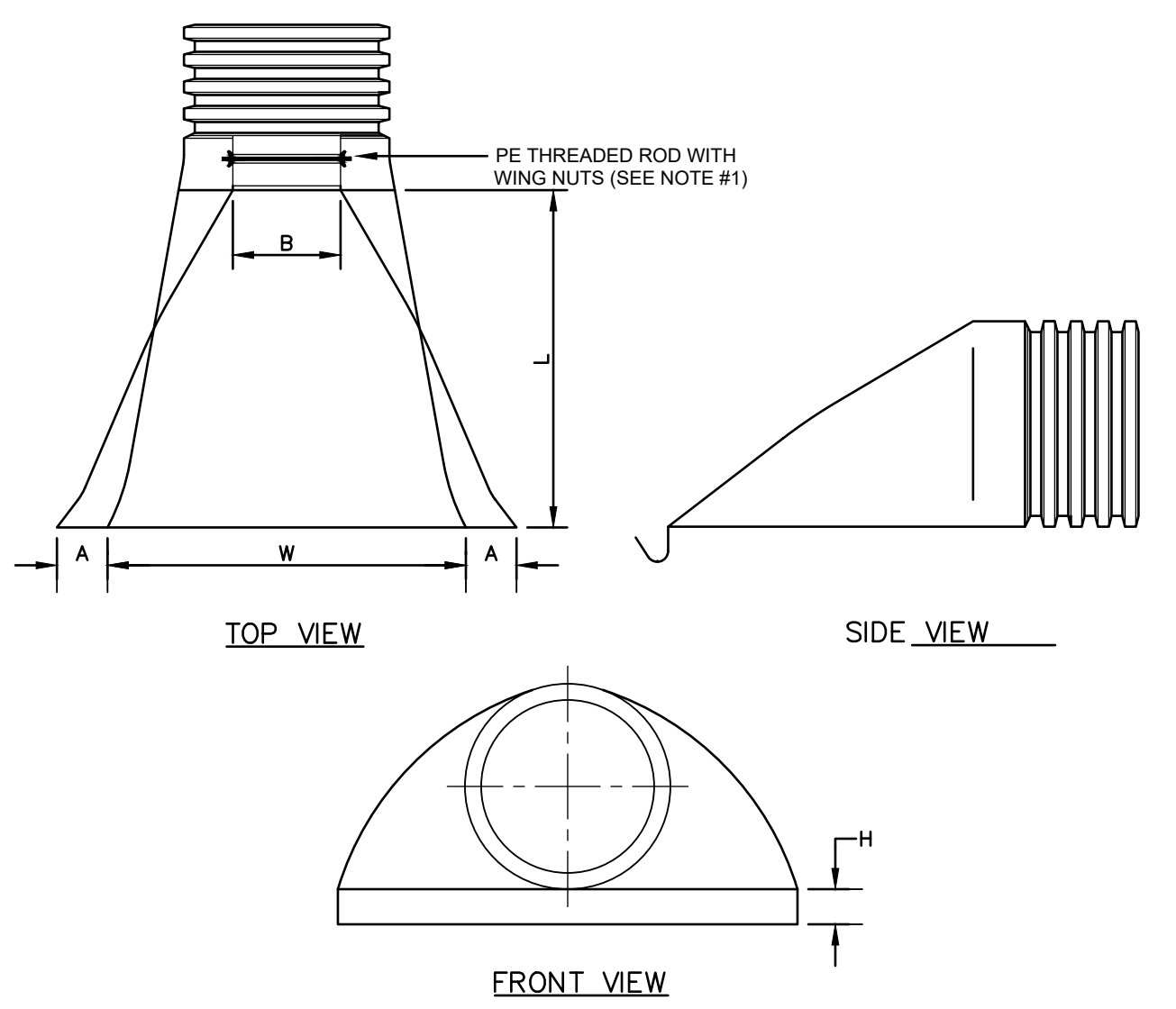
THICKNESS OF RIP RAP = 0.75 FEET		
d50 SIZE=	0.25 FEET	3 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	5	6
85%	4	5
50%	3	5
15%	1	2

NOTES:

1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHALL BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
6. MAINTENANCE: THE OUTLET PROTECTION SHALL BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHALL BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHALL BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

RIP RAP OUTLET PROTECTION APRON

NOT TO SCALE



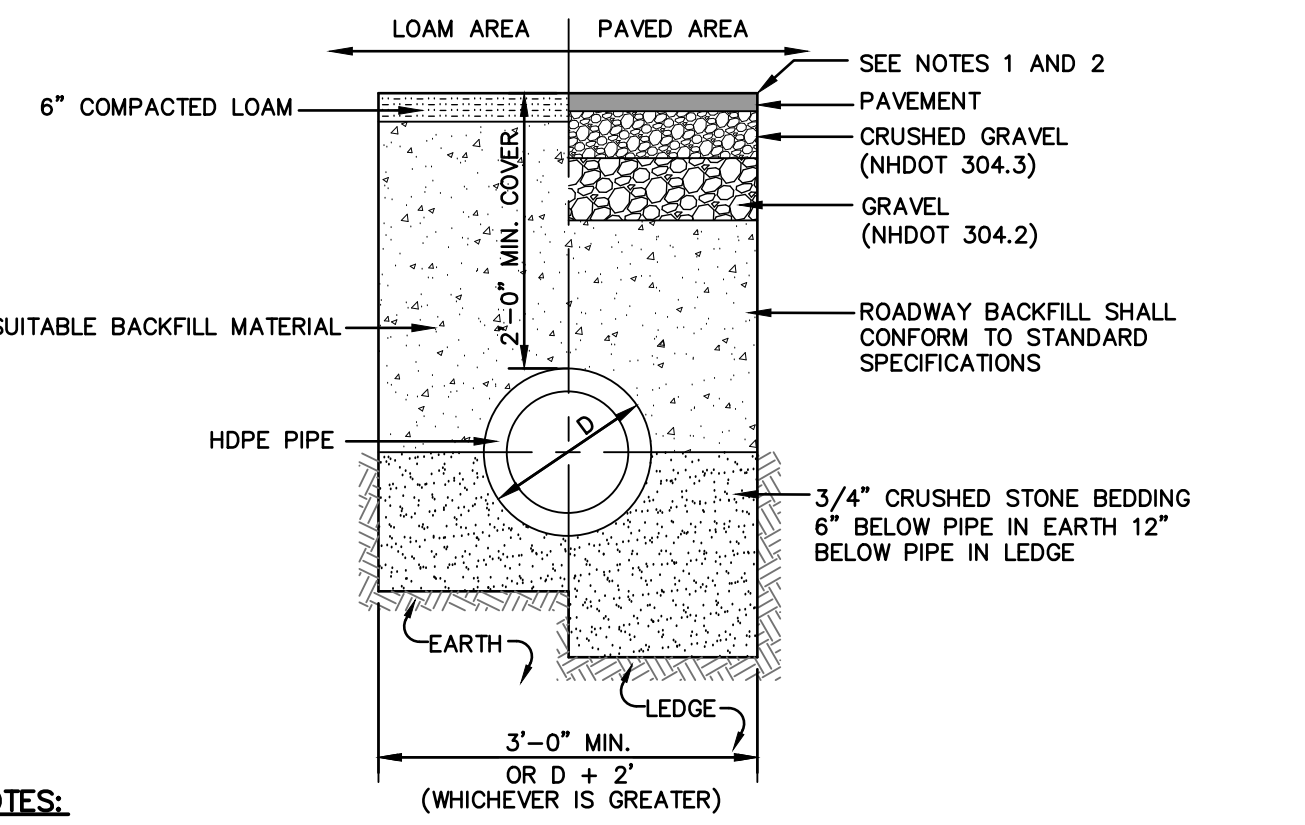
PART NO.	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	6.5"	10"	6.5"	25"	29"
1510-NP	15"	6.5"	10"	6.5"	25"	29"
1810-NP	18"	7.5"	15"	6.5"	32"	35"
2410-NP	24"	7.5"	18"	6.5"	36"	45"
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
3610-NP	36"	10.5"	N/A	7.0"	53"	68"

NOTES:

1. PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" AND 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.
2. ALL DIMENSIONS ARE NOMINAL.

ADS N-12 FLARED END SECTION

NOT TO SCALE



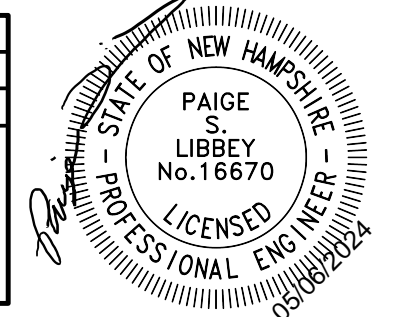
NOTES:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
3. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

DRAINAGE TRENCH

NOT TO SCALE

Design: DJM	Draft: KDR	Date: 11/13/23
Checked: JAC	Scale: AS NOTED	Project No.: 22201
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REV.	DATE	REVISION	BY

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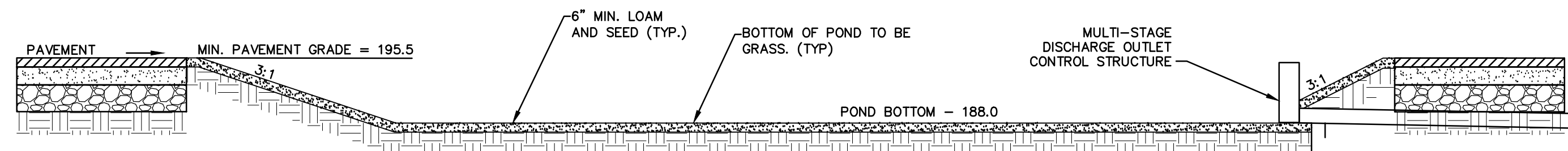
85 Portsmouth Ave. *Civil Engineering Services* 603-772-4746
 PO Box 219
 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.

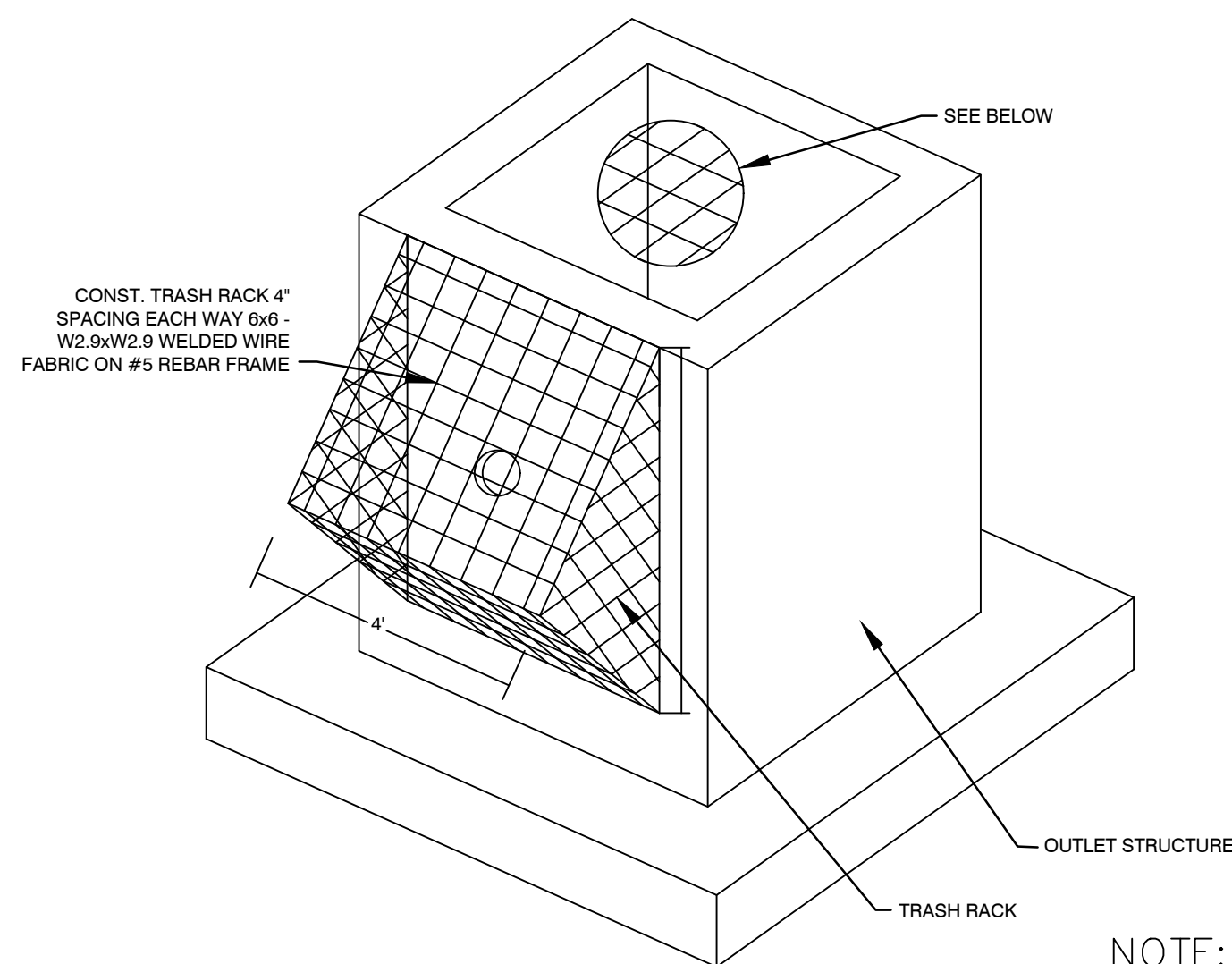
D2

SHEET 21 OF 23
JBE PROJECT NO. 22201



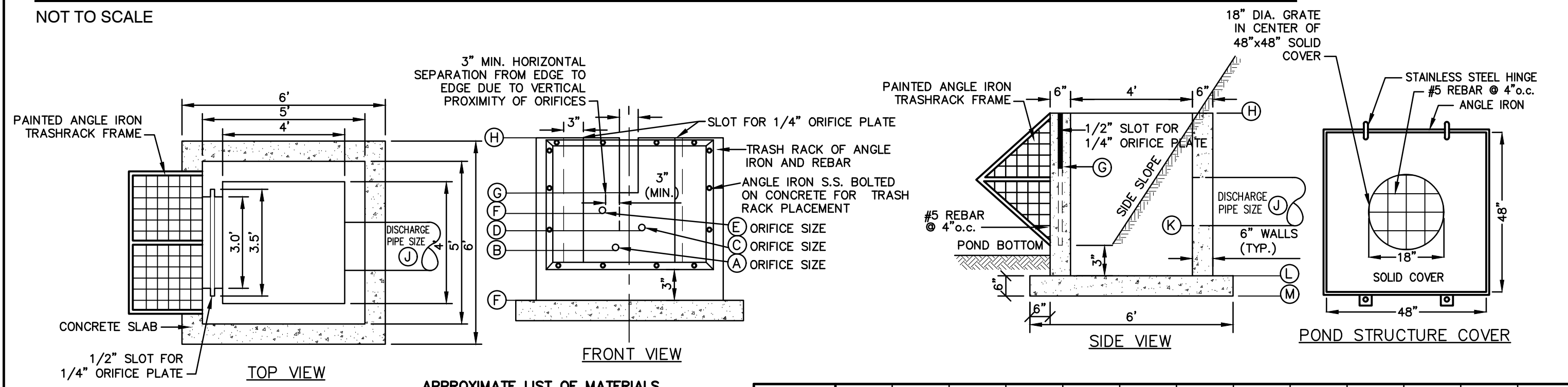
POCKET DETENTION POND (CENTER OF CUL DE SAC)

NOT TO SCALE



TYPICAL INLET TRASH RACKS

NOT TO SCALE



APPROXIMATE LIST OF MATERIALS

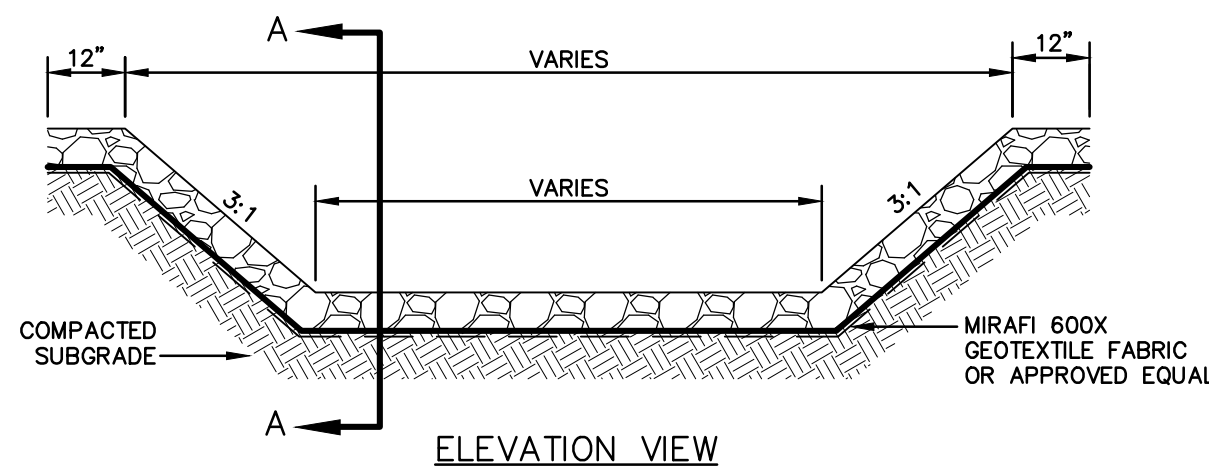
1. 3 C.Y. - 5000 PSI CONCRETE
2. 15 ANGLE IRONS @ 4' LENGTH
3. REQUIRED S.S. BOLTS AND FASTENERS
4. 1/4\"/>

	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)	(J)	(K)	(L)	(M)
MSDOS A	2.0"	188.00	2.0"	191.30	2.0"	193.40	193.60	194.30	2.0"	15"	188.00	187.50	187.00

- NOTES:**
1. REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZONTAL AND VERTICAL PLACED #4 REBAR @ 12" O.C.
 2. CONCRETE BOX TO BE CONSTRUCTED OR PRECAST OF EQUAL DIMENSIONS AND REINFORCING.
 3. CONCRETE SLAB TO BE CONSTRUCTED ALONG WITH BASE. FOR PRECAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
 4. SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WATERTIGHT WITH MORTAR BY CONTRACTOR.
 5. ALL REBAR SHALL BE PROVIDED AS EPOXY COATED.
 6. TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNIKER, N.H., (1-603-428-3218) OR EQUAL.
 7. STRUCTURE TO HAVE TEMPORARY PLYWOOD INSTALLED IN THE ORIFICE PLATE SLOT UNTIL THE SITE IS STABILIZED.
 8. STRUCTURE IS TO BE DESIGNED FOR H2O LOADING.
 9. SOIL UNDERLYING THE STRUCTURE IS TO BE COMPACTED TO 95% MODIFIED PROCTOR.

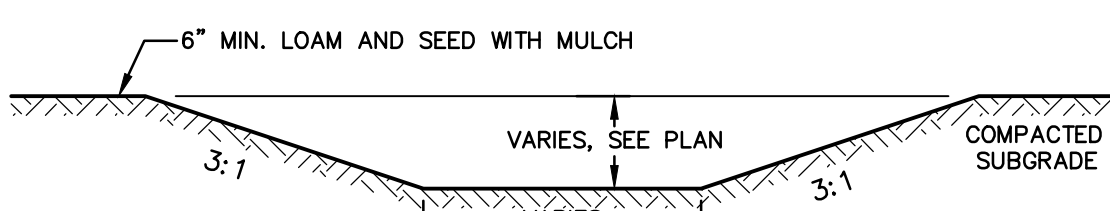
MULTI-STAGE DISCHARGE OUTLET STRUCTURE (MSDOS)

NOT TO SCALE



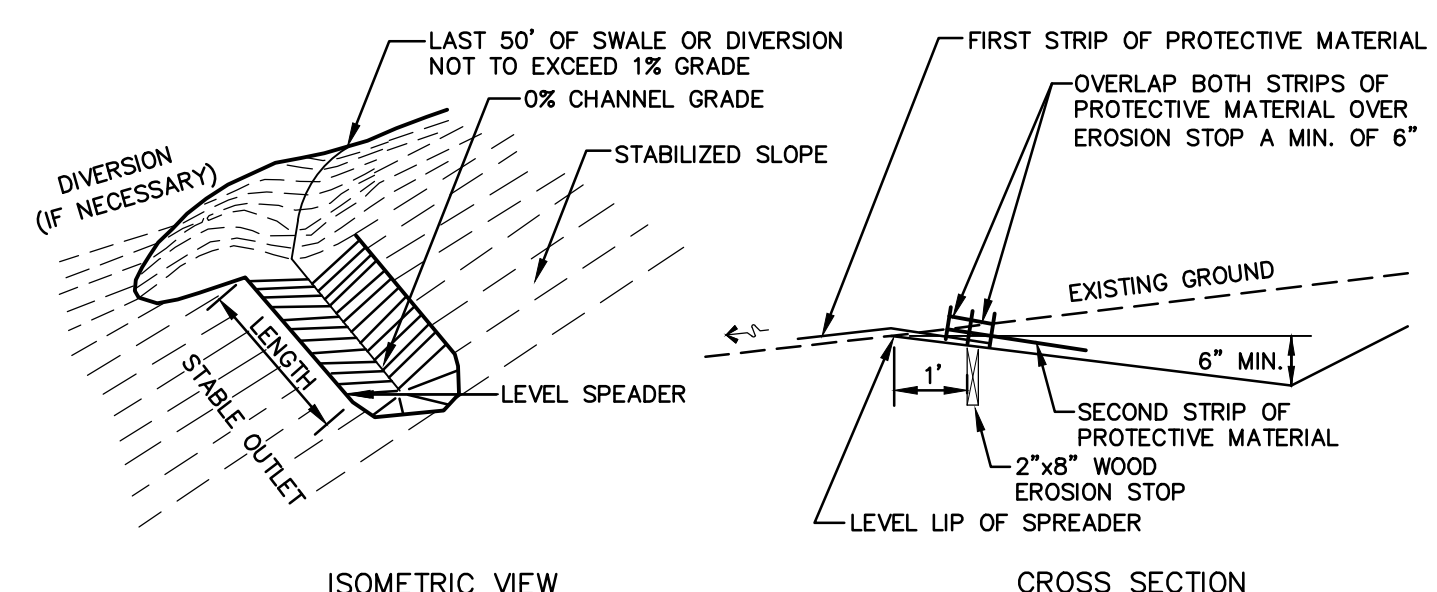
PLUNGE POOL

NOT TO SCALE



VEGETATED SWALE

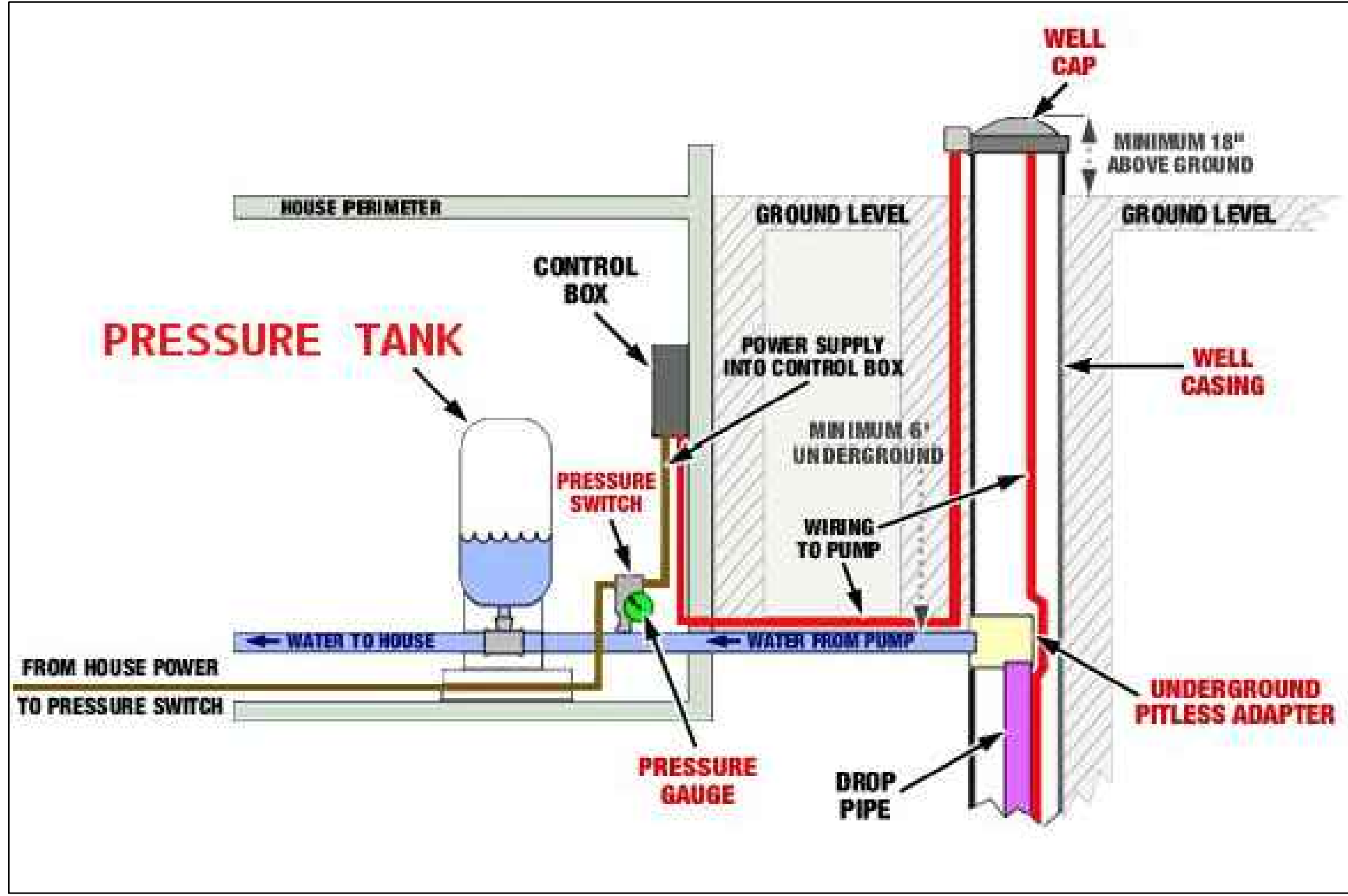
NOT TO SCALE



LEVEL SPREADER

NOT TO SCALE

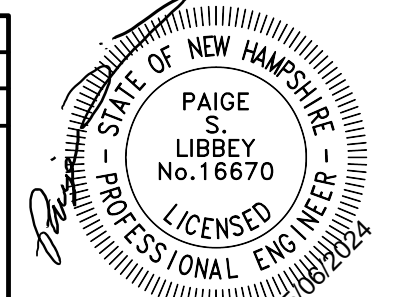
- NOTES:**
1. CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO ENSURE UNIFORM SPREADING OF RUNOFF.
 2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
 3. AN EROSION STOP SHALL BE PLACED VERTICALLY A MINIMUM OF SIX INCHES DEEP IN A SLIT TRENCH ONE FOOT BACK OF THE LEVEL LIP AND PARALLEL TO THE LIP. THE EROSION STOP SHALL EXTEND THE ENTIRE LENGTH OF THE LEVEL LIP.
 4. ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING TWO STRIPS OF JUTE OR EXCELSIOR MATTING ALONG THE LIP. EACH STRIP SHALL OVERLAP THE EROSION STOP BY AT LEAST SIX INCHES.
 5. ENTRANCE CHANNEL TO THE LEVEL SPREADER SHALL NOT EXCEED A 1 PERCENT GRADE FOR AT LEAST 50 FEET BEFORE ENTERING THE SPREADER.
 6. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER MUST NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
 7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.
 8. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE SPREADER HAS BEEN DAMAGED. SEDIMENT DEEPER THAN 4\"/>



TYPICAL RESIDENTIAL WELL LAYOUT

NOT TO SCALE

Design: DJM	Draft: KDR	Date: 11/13/23
Checked: JAC	Scale: AS NOTED	Project No.: 22201
Drawing Name: 22201-PLAN.dwg		
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REV.	DATE	REVISION	BY
5	5/6/24	REVISED PER TOWN ENGINEER AND FIRE CHIEF COMMENTS	DJM
4	3/22/24	REVISED PER TOWN ENGINEER COMMENTS	DJM
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-4746

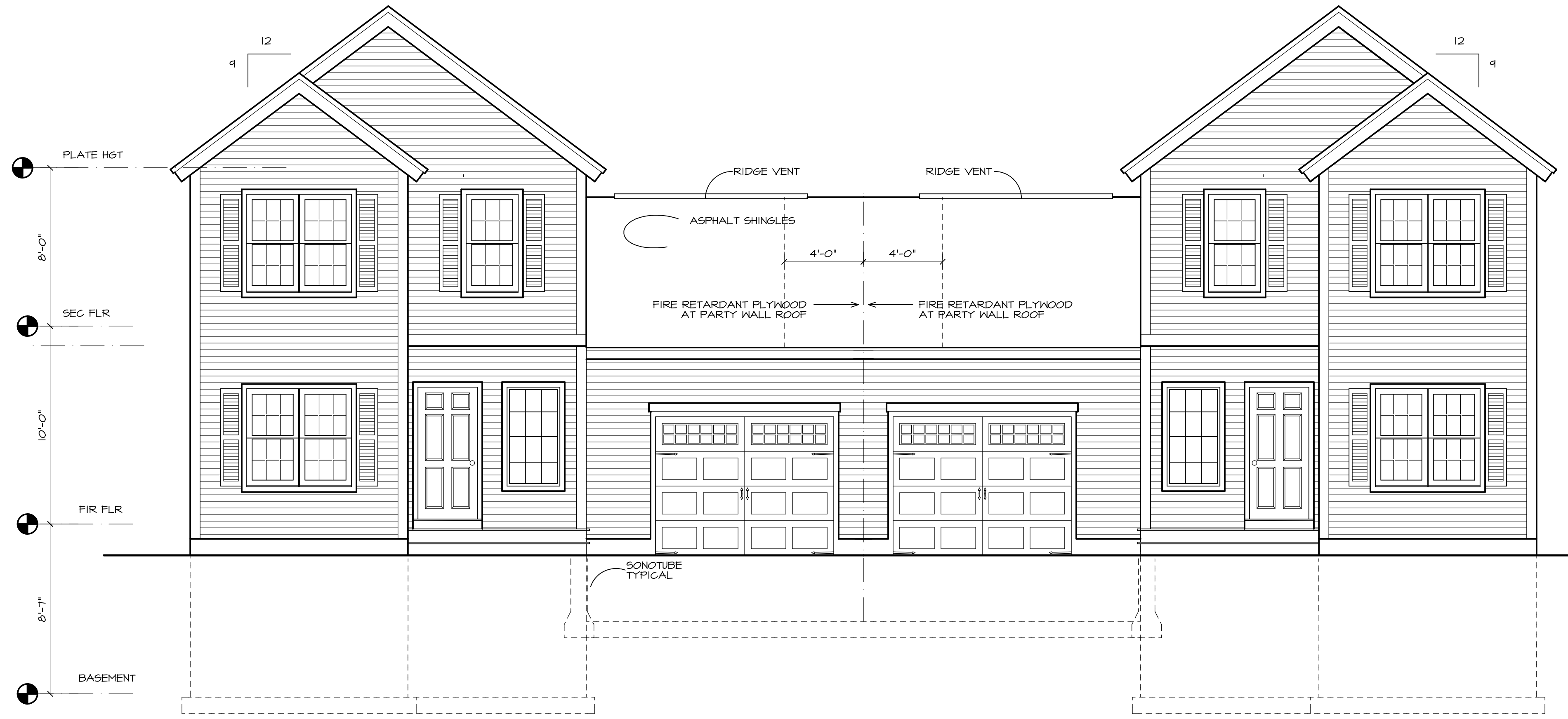
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	"BEAVER MEADOWS" 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

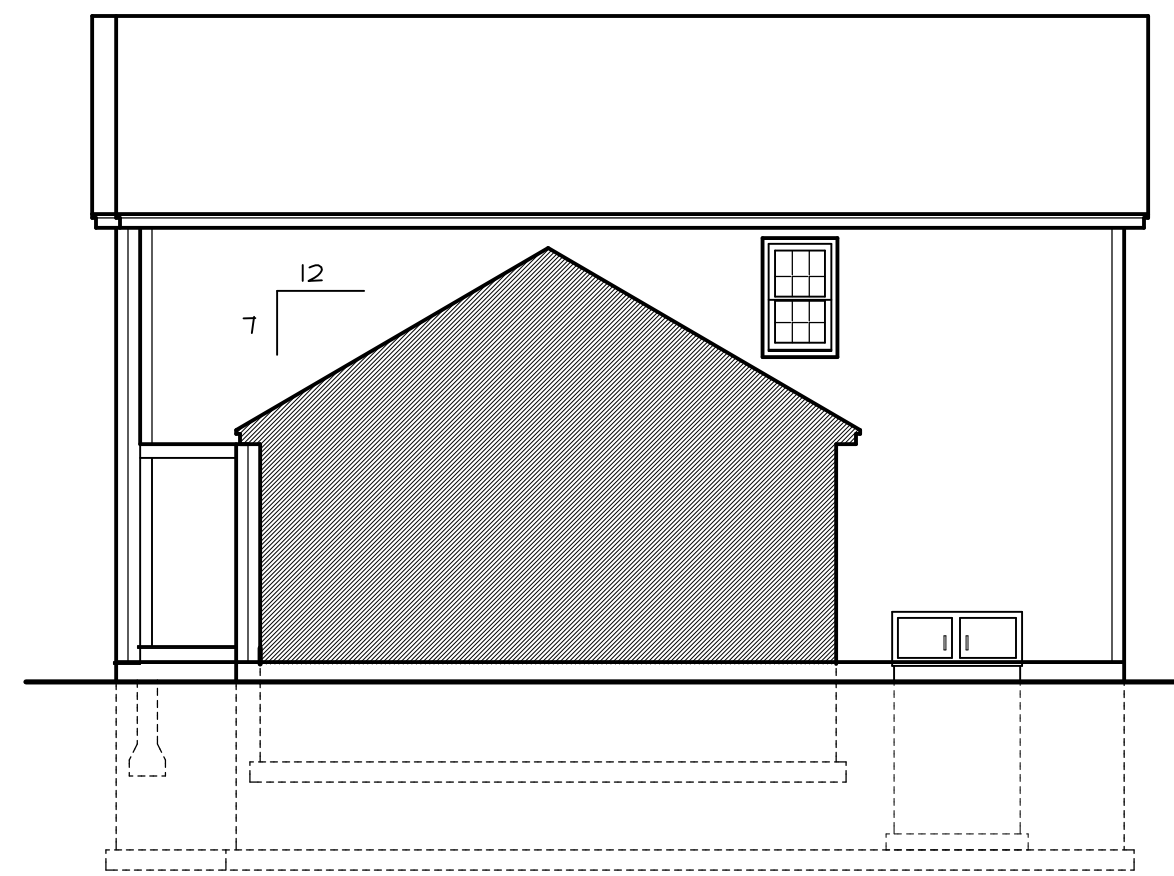
DRAWING No.

D3

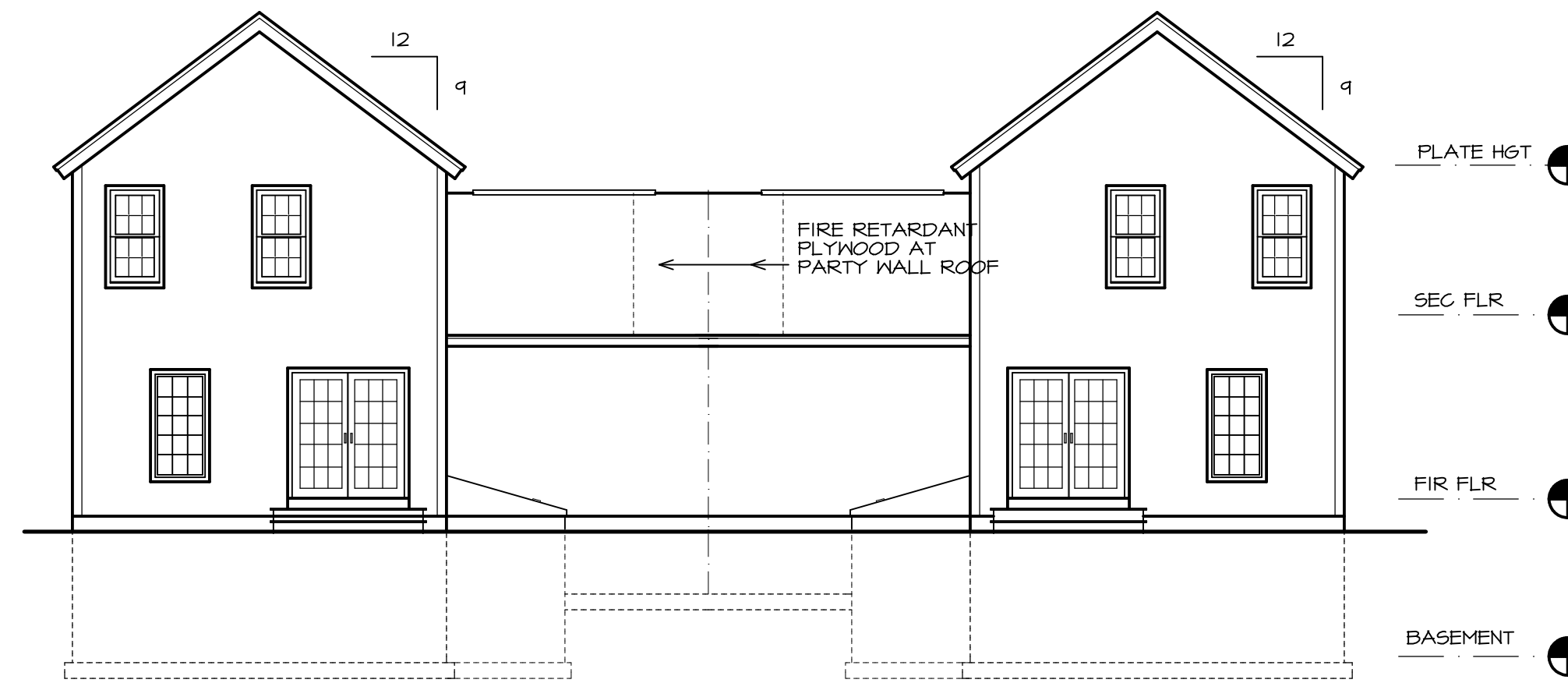
SHEET 22 OF 23
JBE PROJECT NO. 22201



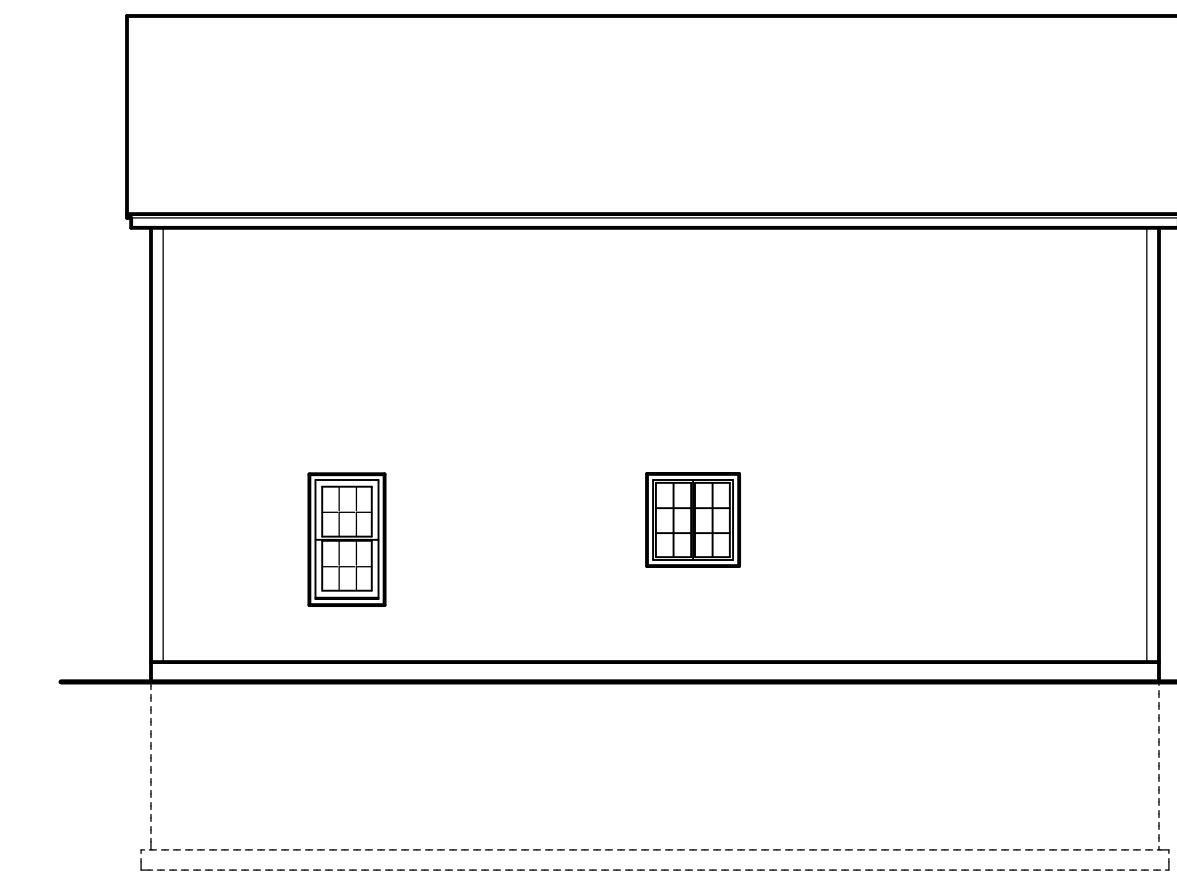
1 FRONT ELEVATION
AI SCALE: 1/4" = 1'-0"



2 TYP. INTERIOR SIDE ELEVATION
AI SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
AI SCALE: 1/8" = 1'-0"



4 TYPICAL SIDE ELEVATION
AI SCALE: 1/8" = 1'-0"

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PER UNIT CALCULATIONS:

FIRST FLOOR	795 S.F.
SECOND FLOOR	830 S.F.
TOTAL	1625 S.F.

2018 INTERNATIONAL RESIDENTIAL CODE



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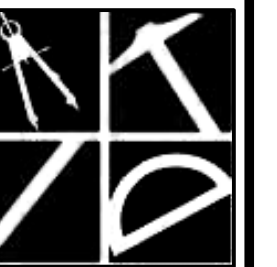
BOB CARR
NEW DUPLEX TO BE BUILT IN CANDIA, NH

Contractor to check & verify all dimensions and structural members before construction.
All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

REVISIONS

23-282
AUG 2023
SHEET 1 OF 7

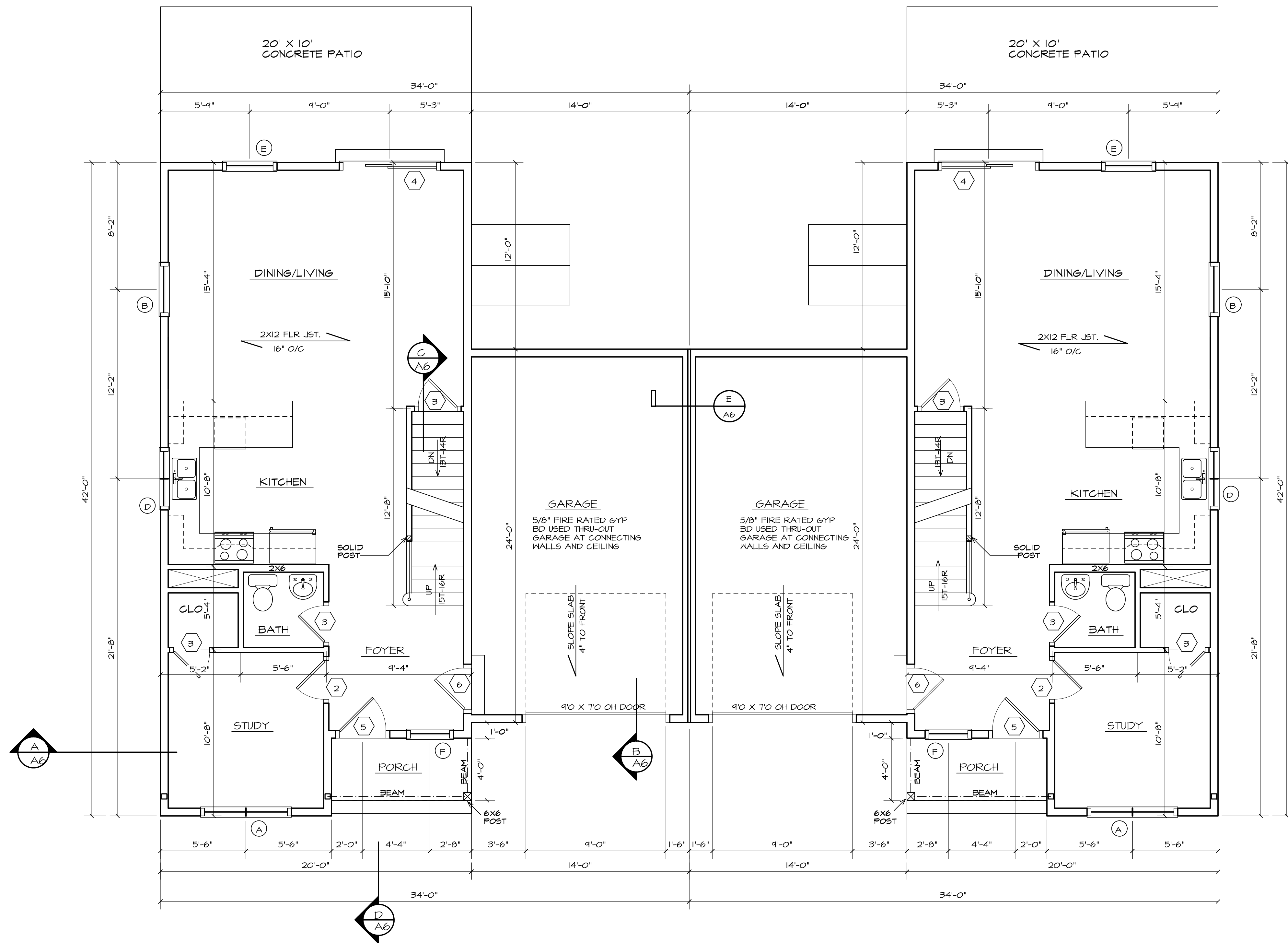
A1



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2 FIRST FLOOR PLAN (STANDARD)
A4 SCALE: 1/4" = 1'-0"

NOTE:
1. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2

Contractor to check & verify all dimensions & structural members before construction.
All construction shall be in strict accordance with applicable local, state, federal, and international building codes, whichever applicable.

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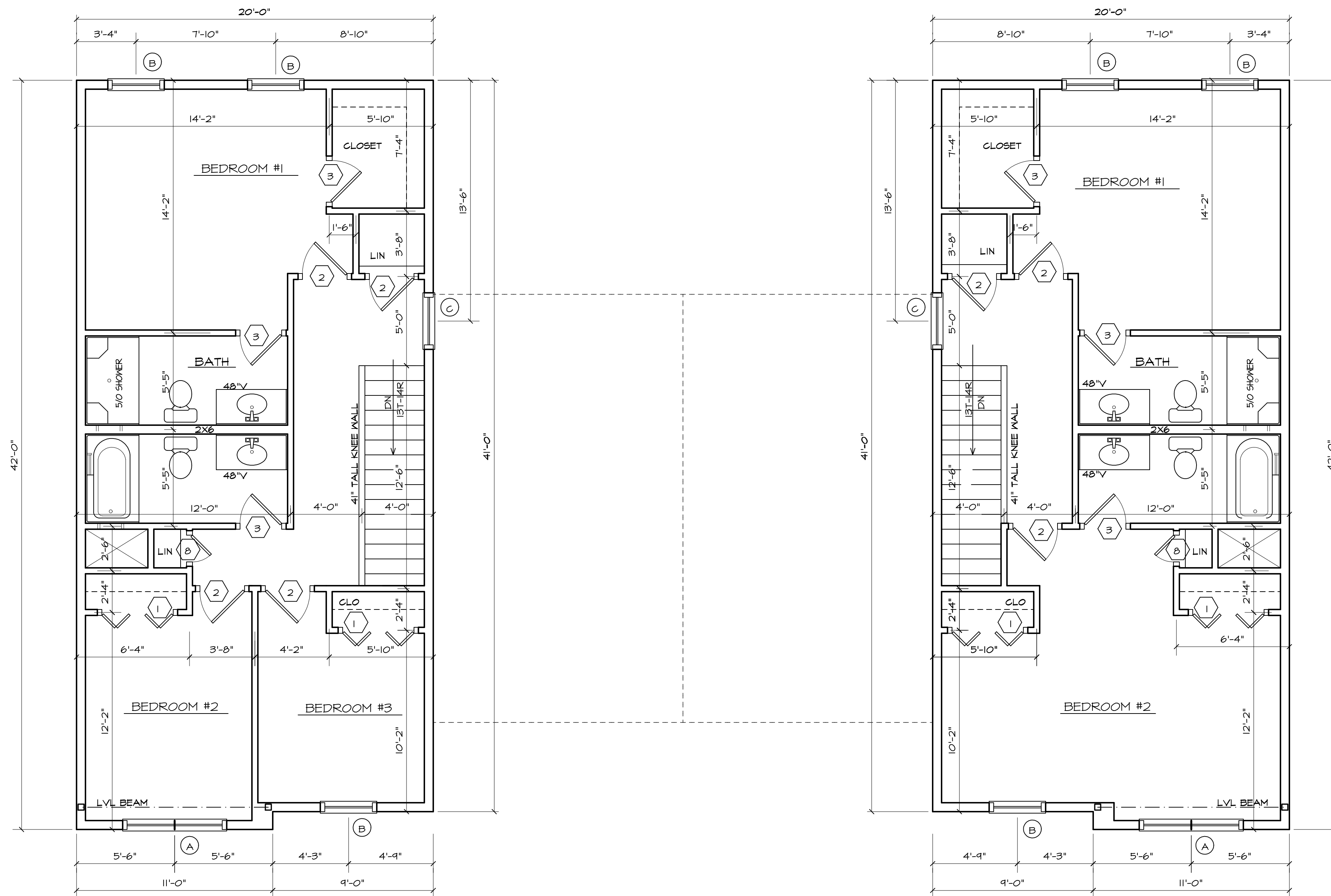
A3



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1 SECOND FLOOR PLAN
A4 SCALE: 1/4" = 1'-0"

NOTE:
1. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2

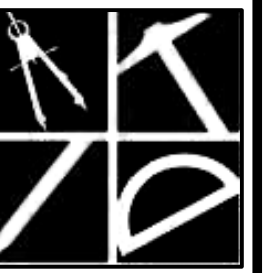
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Contractor to check & verify all dimensions & structural members before construction.
All construction shall be in strict accordance with the code of New Hampshire or Massachusetts Building Codes, whichever applicable.

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SHEET 4 OF 7

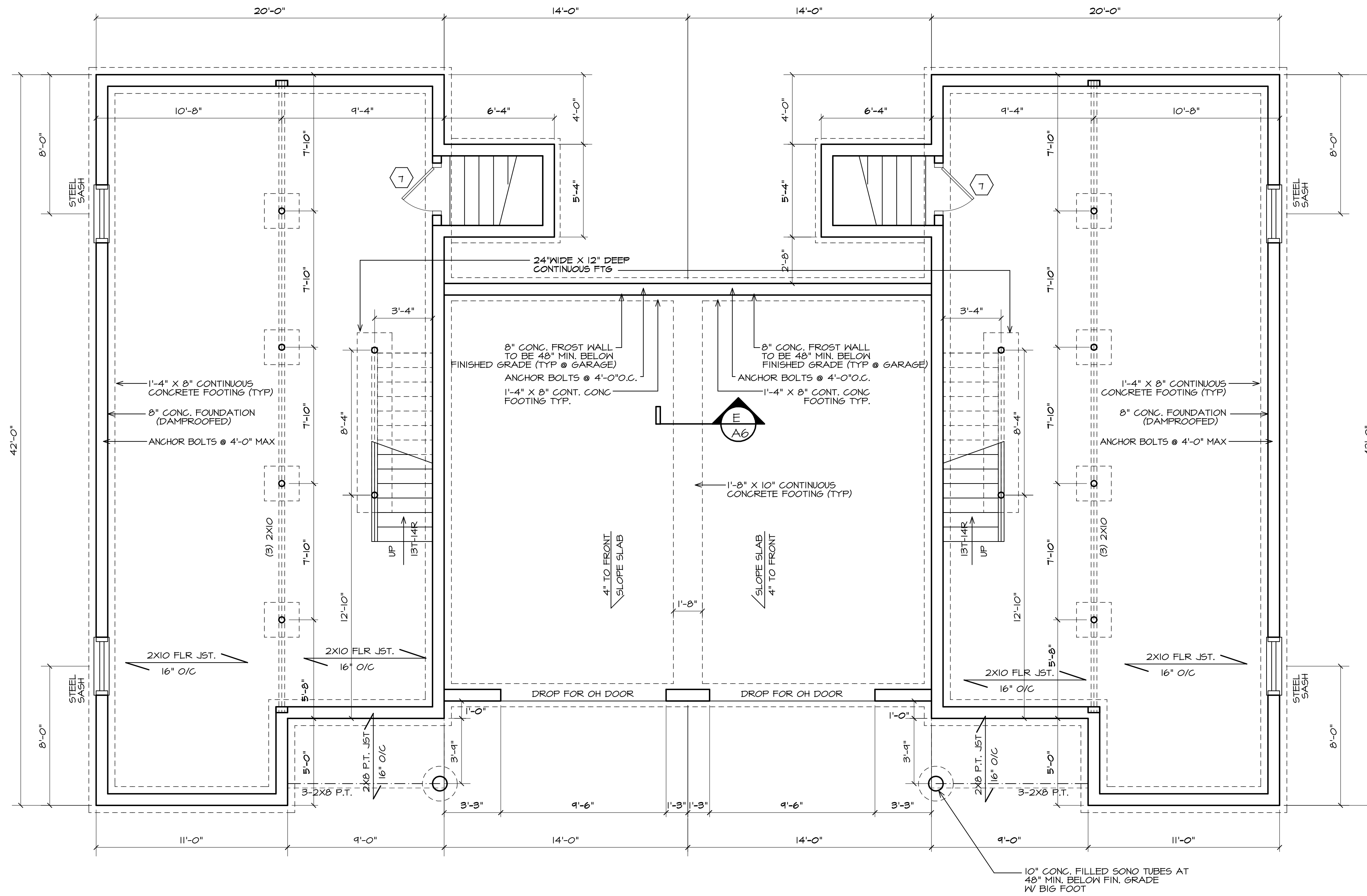
A4



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1 FOUNDATION PLAN
A5 SCALE: 1/4" = 1'-0"

NOTE: SEE DRAWING A2 FOR CONCRETE NOTES AND ADDITIONAL INFORMATION

Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with the State of New Hampshire Building Code, wherever applicable.

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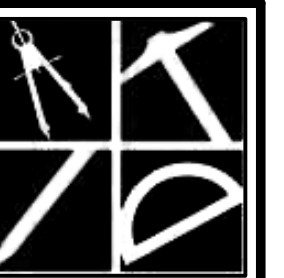
GENERAL NOTES

CONC. BULKHEAD SIZE AND LOCATION TO BE DETERMINED BY SITE CONDITIONS AND/OR CONTRACTOR

MALKOUTS AS PER SITE CONDITIONS AND CONTRACTOR

STEEL SASH WINDOW SIZES AND LOCATIONS TO BE DETERMINED BY CONTRACTOR

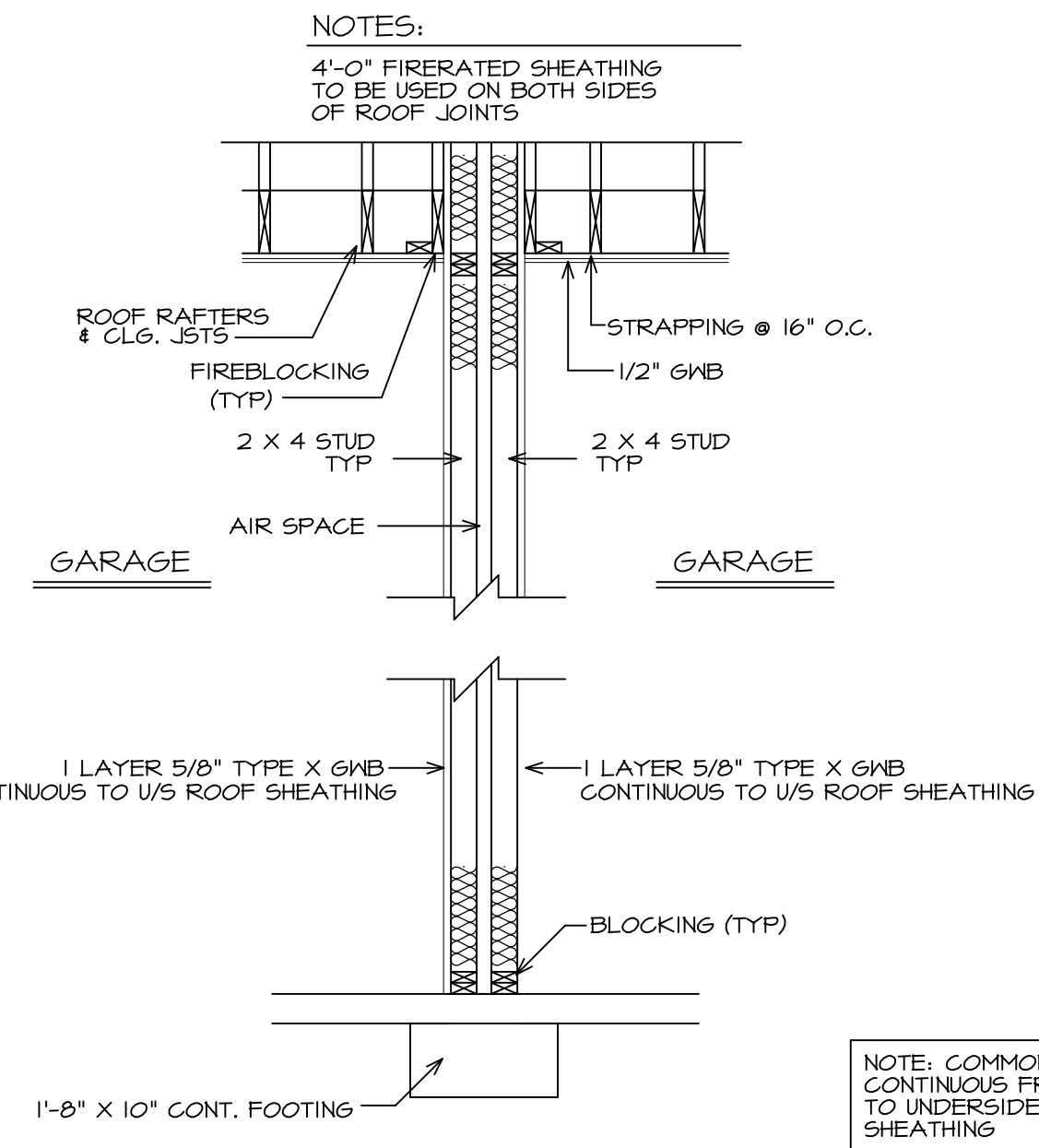
A5



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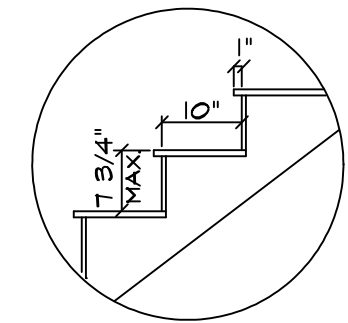
E PARTY WALL DET.
SCALE: 1/4" = 1'-0"

NOTE: COMMON WALL TO BE CONTINUOUS FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING

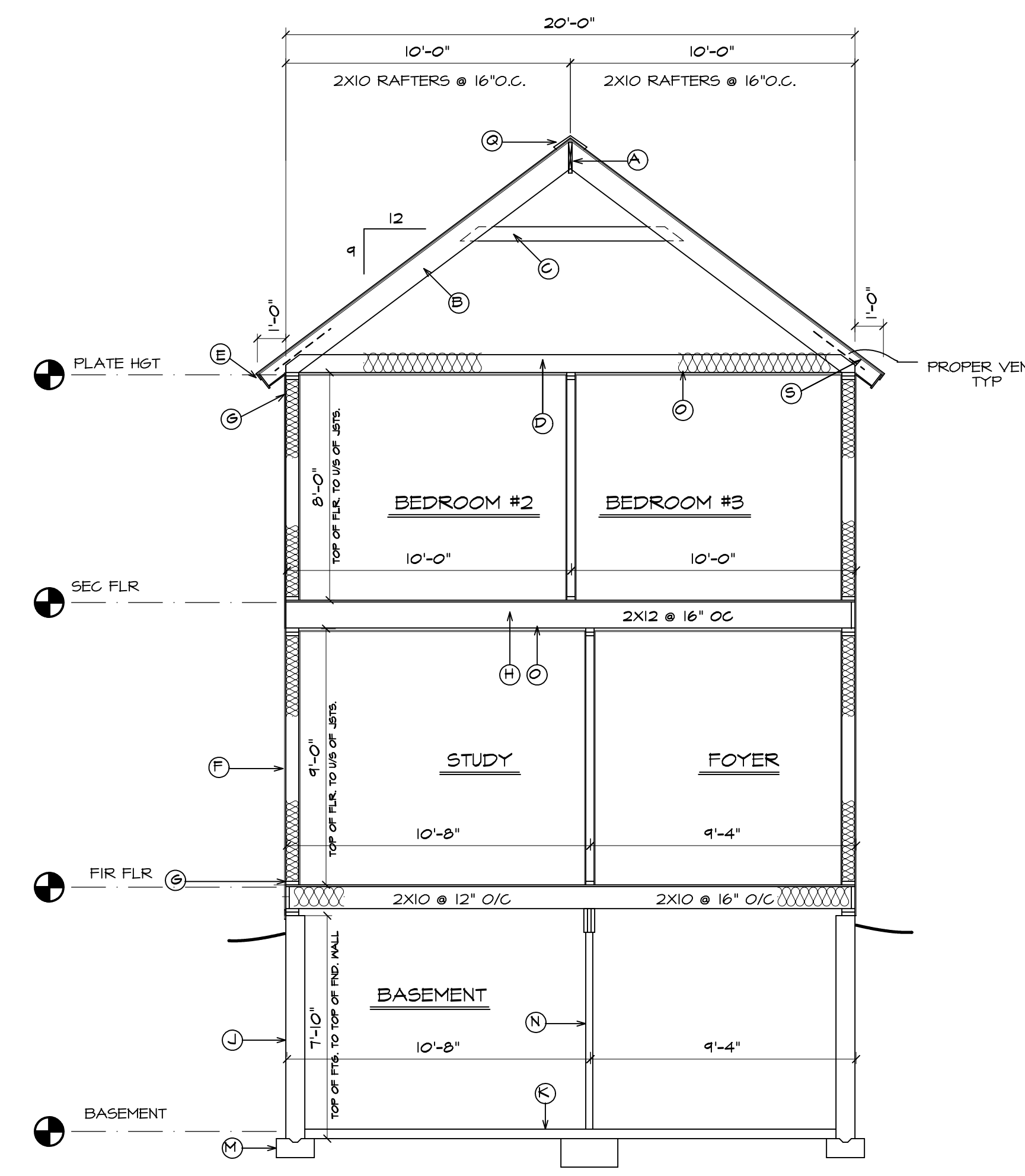
PARTY WALL SPECIFICATIONS

FIRE RATED - 1 HR
UL DESIGN U376
CONFIGURATION C

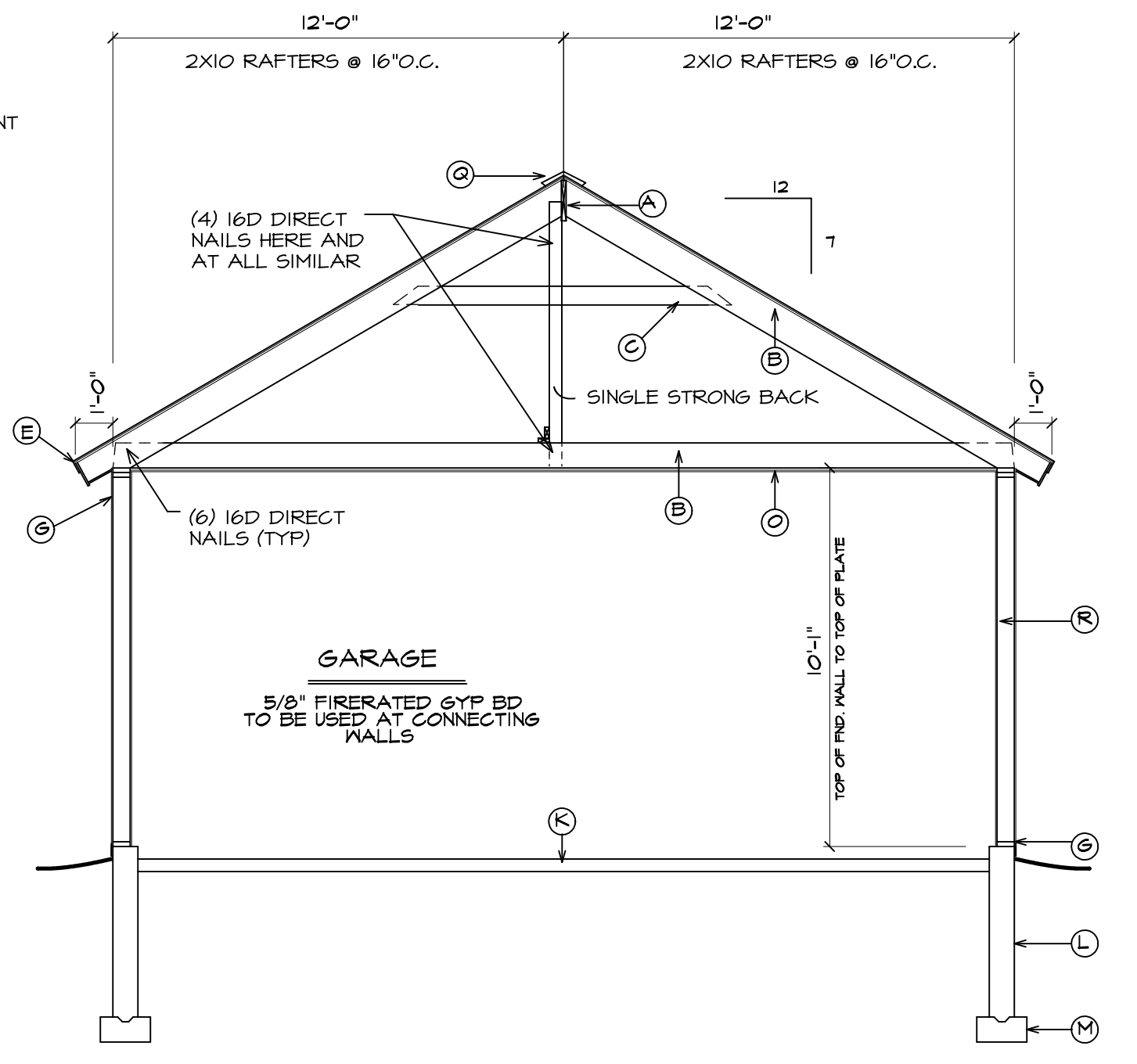
- GENERAL NOTES**
- A. 2X12 RIDGE BOARD
 - B. 2X10 RAFTERS 16" O/C (UNLESS OTHERWISE NOTED) PLYWOOD SHEATHING, 15# BUILDING PAPER, & 235# ASPHALT SHINGLES W/ ICE SHIELD AT RAFTER TAILS AND VALLEYS.
 - C. 2X6 COLLAR TIES AT 32" O/C (TYPICAL)
 - D. 2X8 CEILING JOISTS AT 16" O/C WITH R-49 FIBERGLASS BATT INSULATION (TYPICAL)
 - E. METAL DRIP EDGE, 1X4 PINE BLOCKING (SUB-FASCIA) 1X8 PINE BOARD FASCIA, & 3/8" EXTERIOR AC PLYWOOD SOFFIT WITH 2" CONTINUOUS LOWERED VENTS (TYPICAL)
 - F. 2X6 STUDS 16" O/C, R-21 FIBERGLASS BATT INSULATION IN BETWEEN, 1/2" PLYWOOD SHEATHING & EXTERIOR SIDING W/ "TYVEK" OR EQUAL (OPTIONAL) AND 1/2" GYP. BD. ON THE INTERIOR.
 - G. 2-2X6 TOP PLATES AND 1-2X6 SHOE (BOTTOM PLATE)
 - H. 2X10/12 FLOOR JOISTS 16" O/C (UNLESS OTHERWISE NOTED) WITH 3/4" T&G SUBFLOOR (GLUED & NAILED) R-30 FIBERGLASS BATT INSULATION AT FIRST FLOOR ONLY.
 - I. 8" CONCRETE FOUNDATION WALL WITH 1-2X6 PRESSURE TREATED SILL PLATE W/ SILL SEALER; ANCHOR BOLTS @ 4'-0" O.C. (TYPICAL)
 - J. 4" CONCRETE SLAB FLOOR OVER (MIN. 6") COMPACTED GRAVEL
 - K. 8" CONCRETE FROST WALL TO BE 48" MIN. BELOW FINISHED GRADE WITH 1-2X6 PRESSURE TREATED SILL PLATE W/ SILL SEALER; ANCHOR BOLTS @ 4'-0" O.C. (TYPICAL)
 - L. 1'-4" X 8" CONTINUOUS CONCRETE FOOTING (TYPICAL)
 - M. 3-2X10 BUILT-UP BEAM OVER 3 1/2" DIAM. STEEL LALLY COLUMN WITH TOP AND BOTTOM END PLATES, OVER 24"X24"X12" CONCRETE FOOTINGS.
 - N. 1X3 STRAPPINGS AT 16" O/C & 1/2" GYP. BD. (TYPICAL)
 - O. 2X12 STAIR STRINGERS
 - P. CONTINUOUS RIDGE VENT
 - Q. 2X6 STUD WALL @ 16" O.C.
 - R. HURRICANE CLIPS AND FRAMING ANCHORS AS REQD.
 - S. 2" RIGID INSULATION INSIDE FACE OF CONCRETE WALL TO TOP OF SLAB



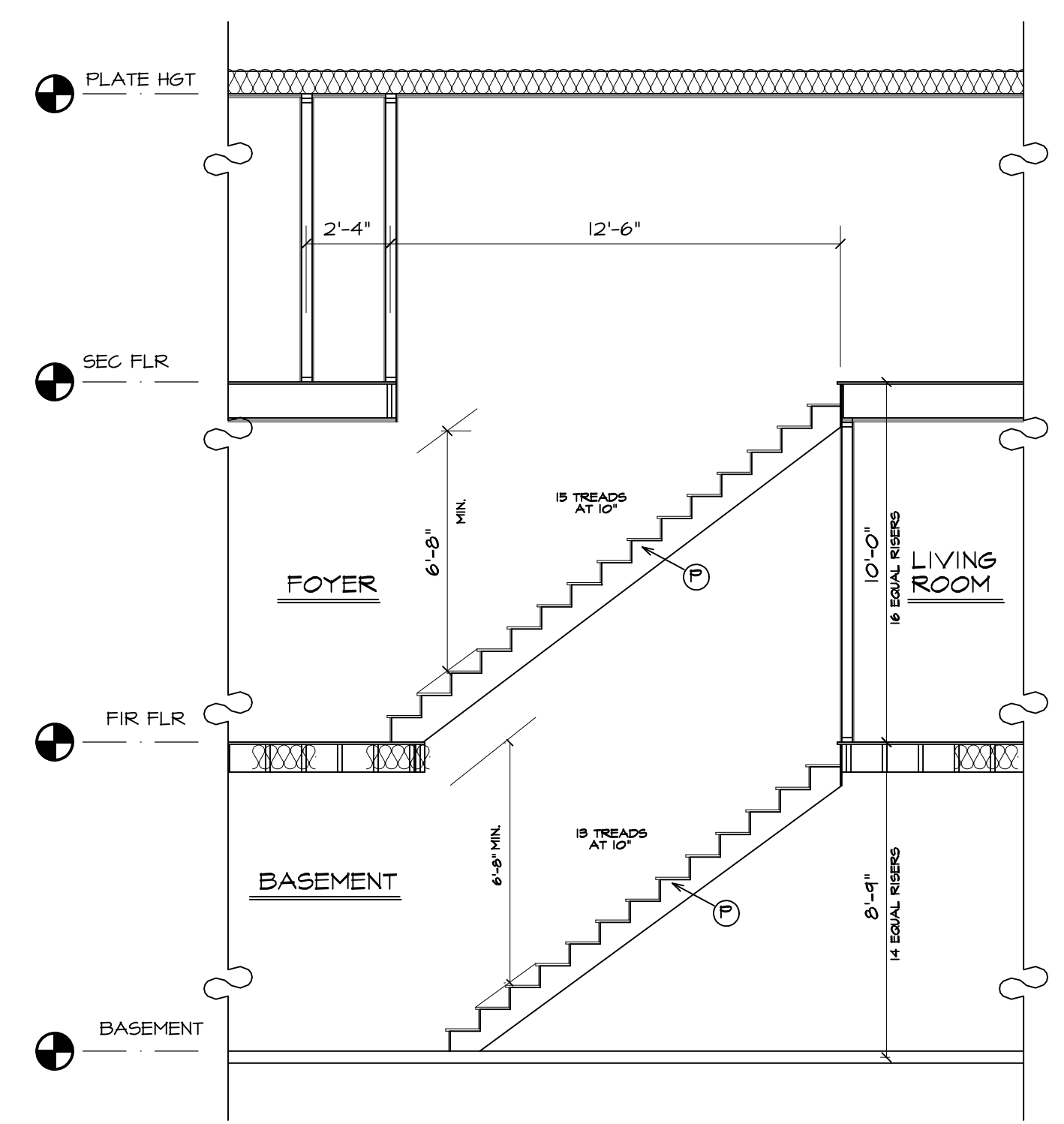
STAIR CODE
NOT TO SCALE



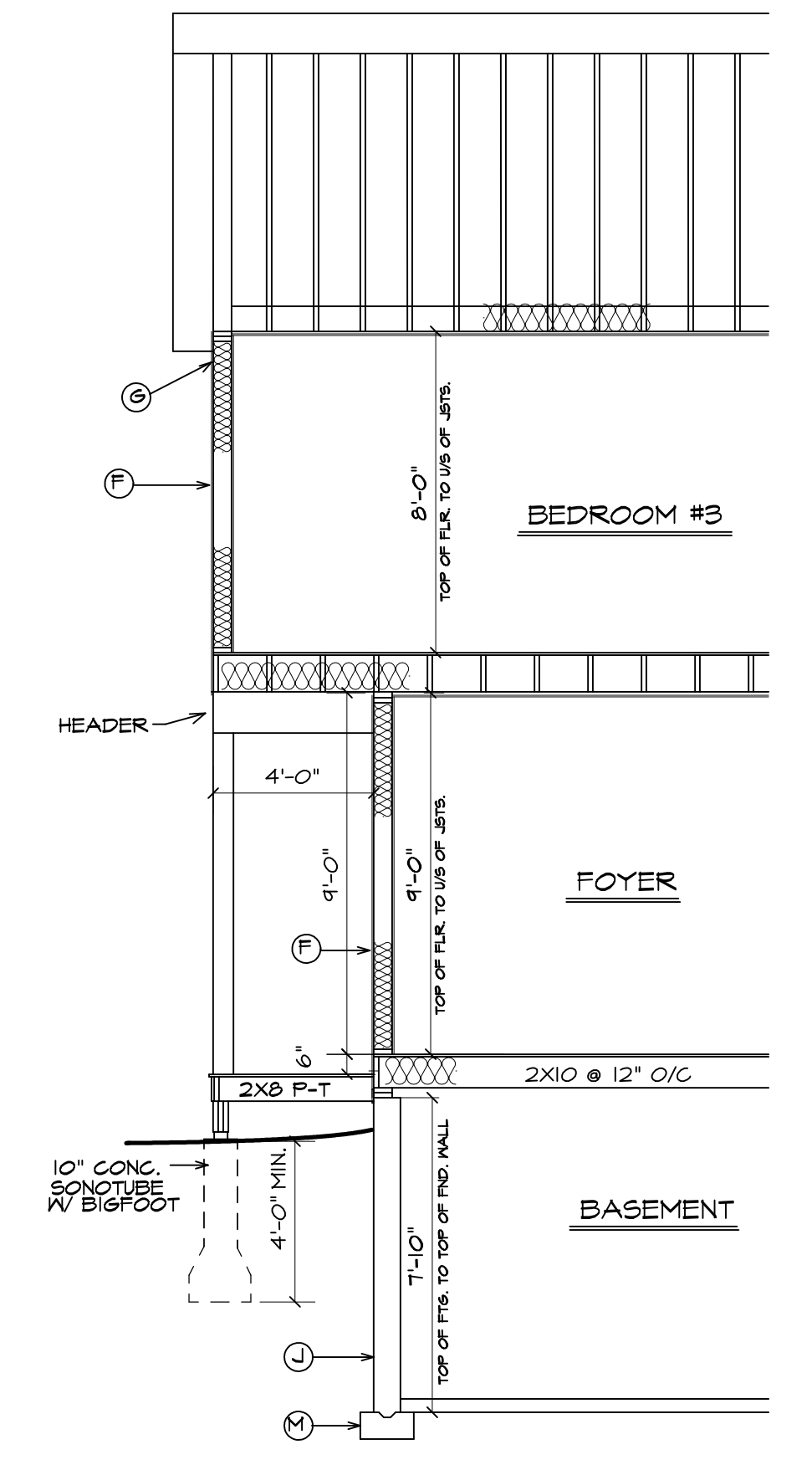
A TYPICAL SECTION
SCALE: 1/4" = 1'-0"



B SECTION @ GARAGE
SCALE: 1/4" = 1'-0"



C SECTION @ STAIRS
SCALE: 1/4" = 1'-0"



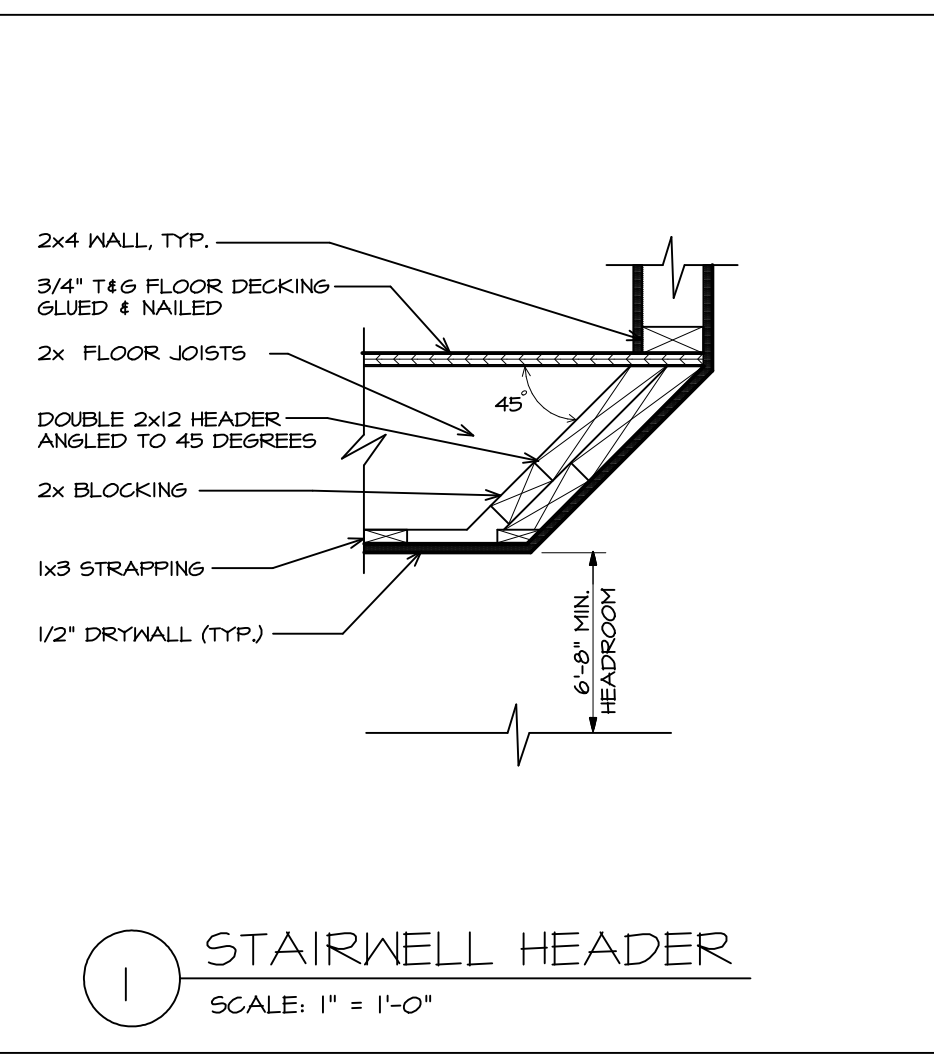
D TYPICAL SECTION
SCALE: 1/4" = 1'-0"

Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

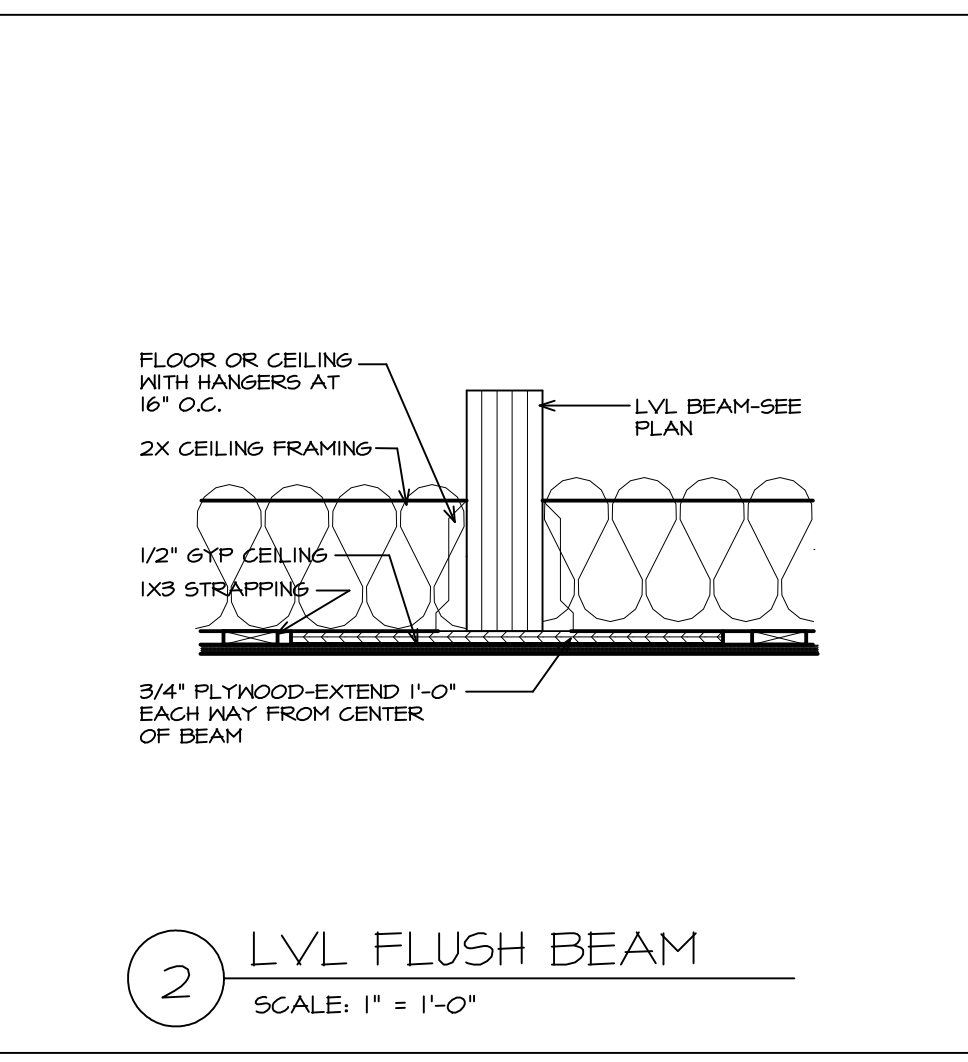
NO.	REVISIONS

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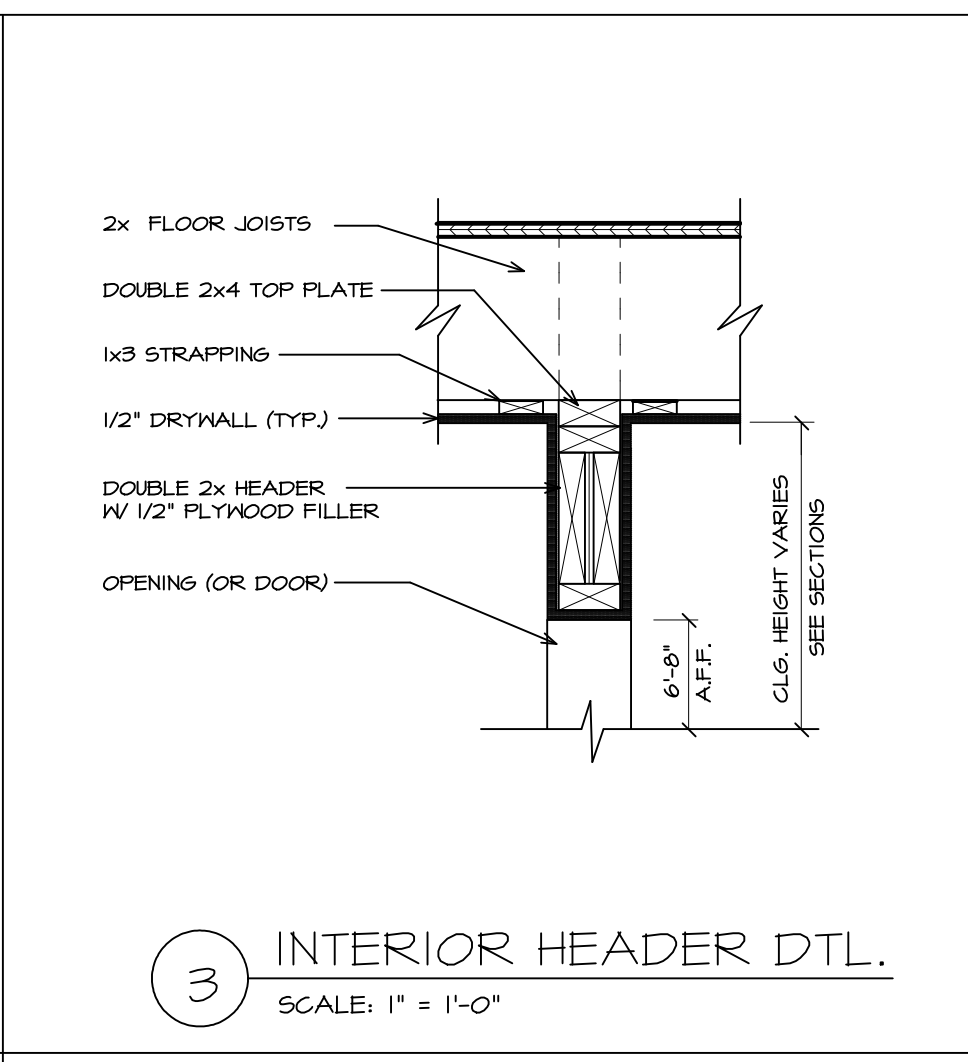
A6



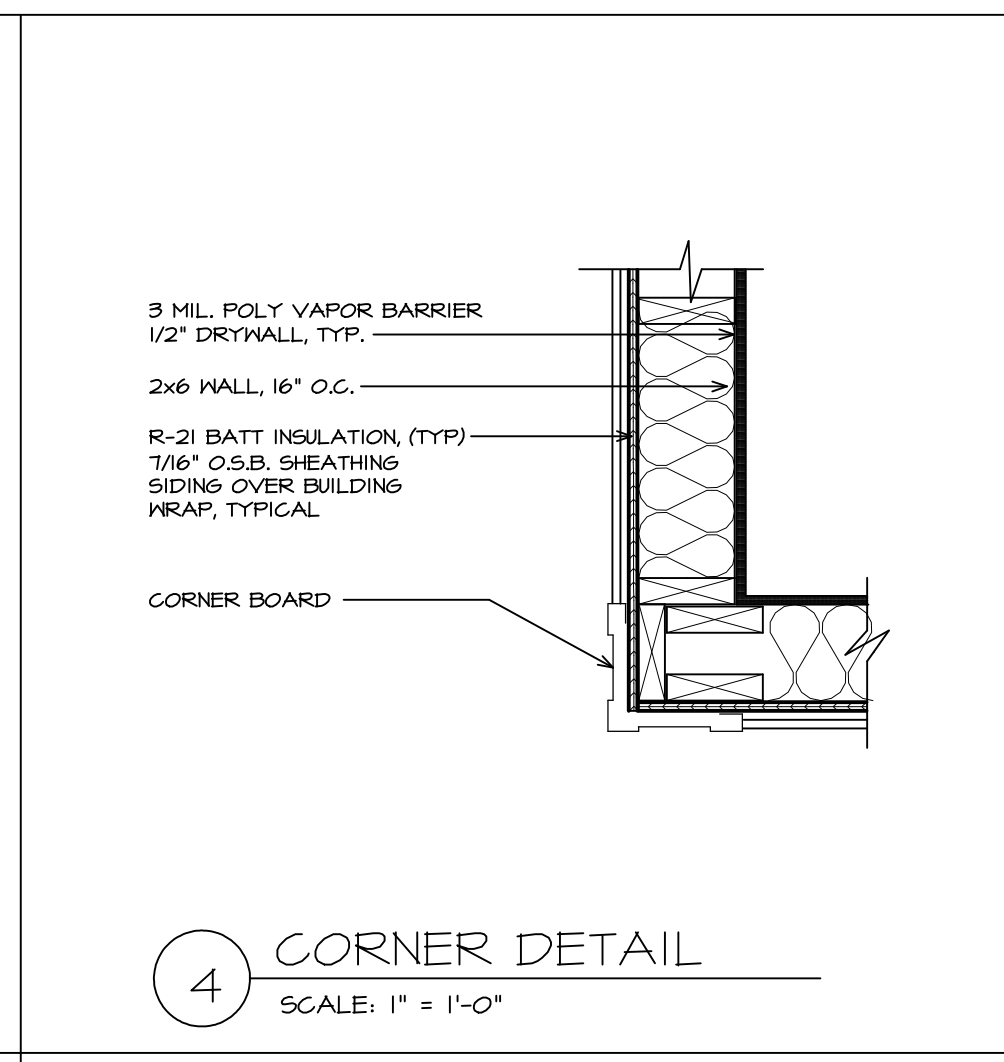
1 STAIRWELL HEADER
SCALE: 1" = 1'-0"



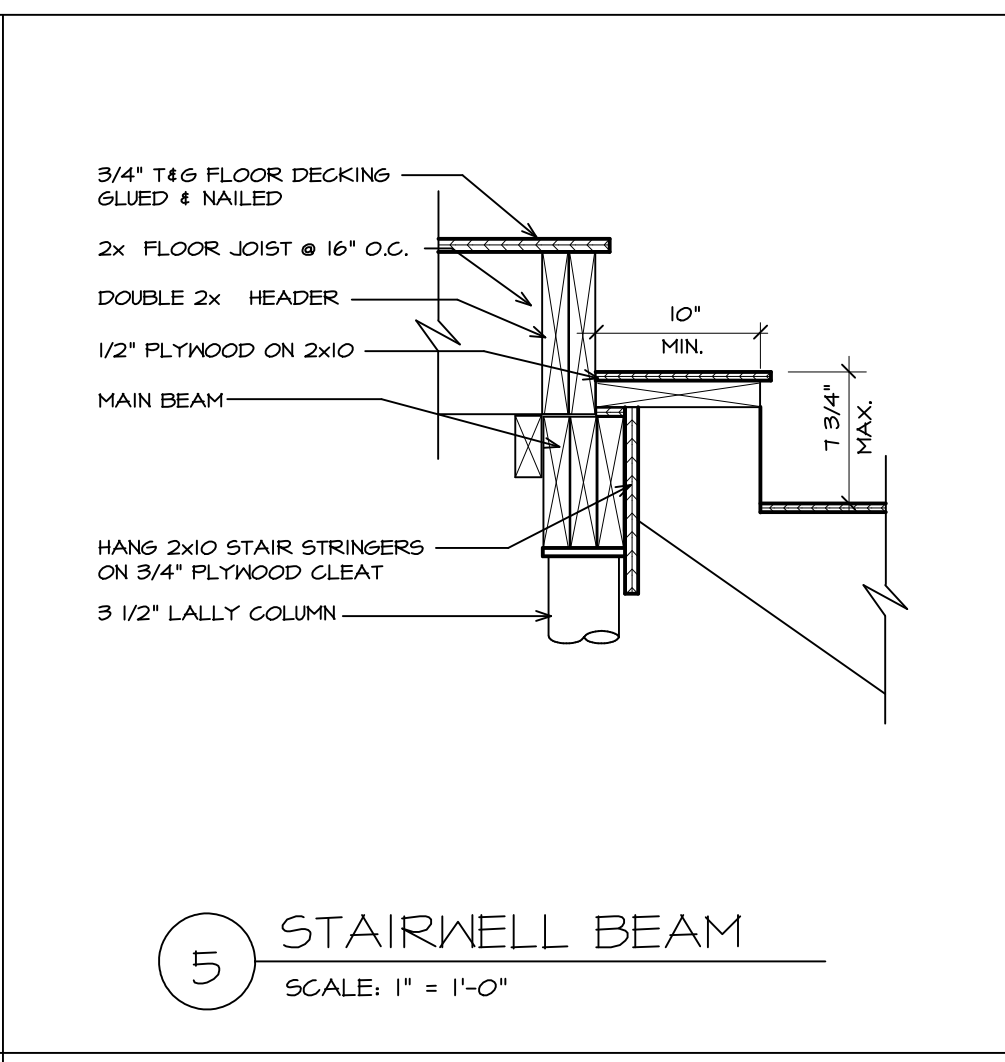
2 LVL FLUSH BEAM
SCALE: 1" = 1'-0"



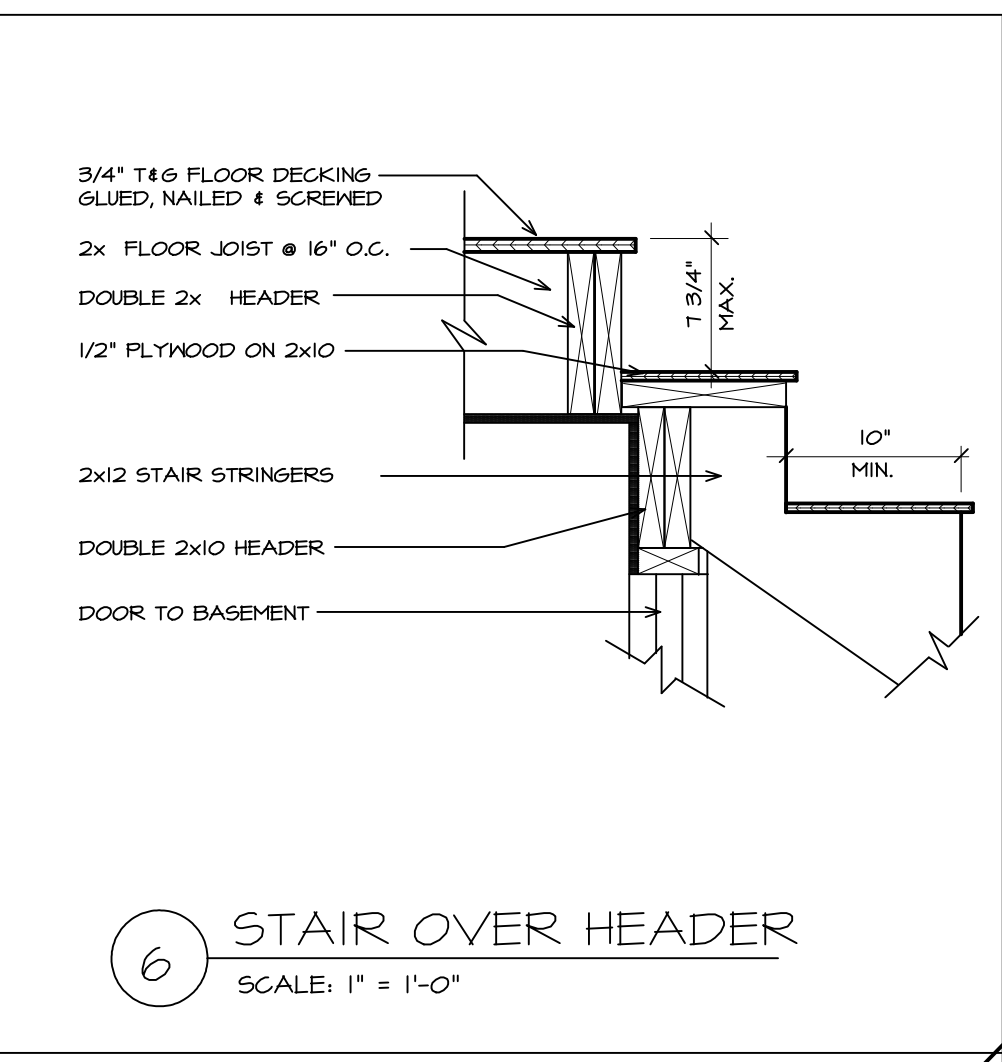
3 INTERIOR HEADER DTL.
SCALE: 1" = 1'-0"



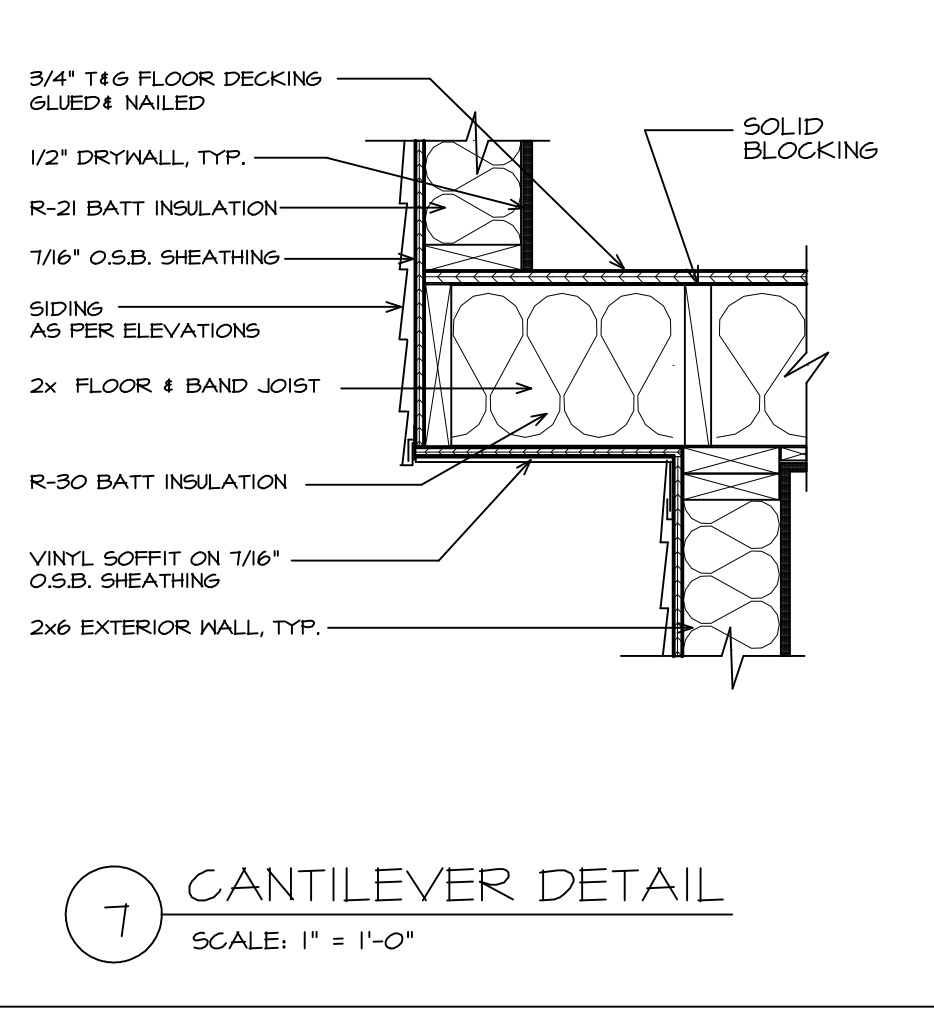
4 CORNER DETAIL
SCALE: 1" = 1'-0"



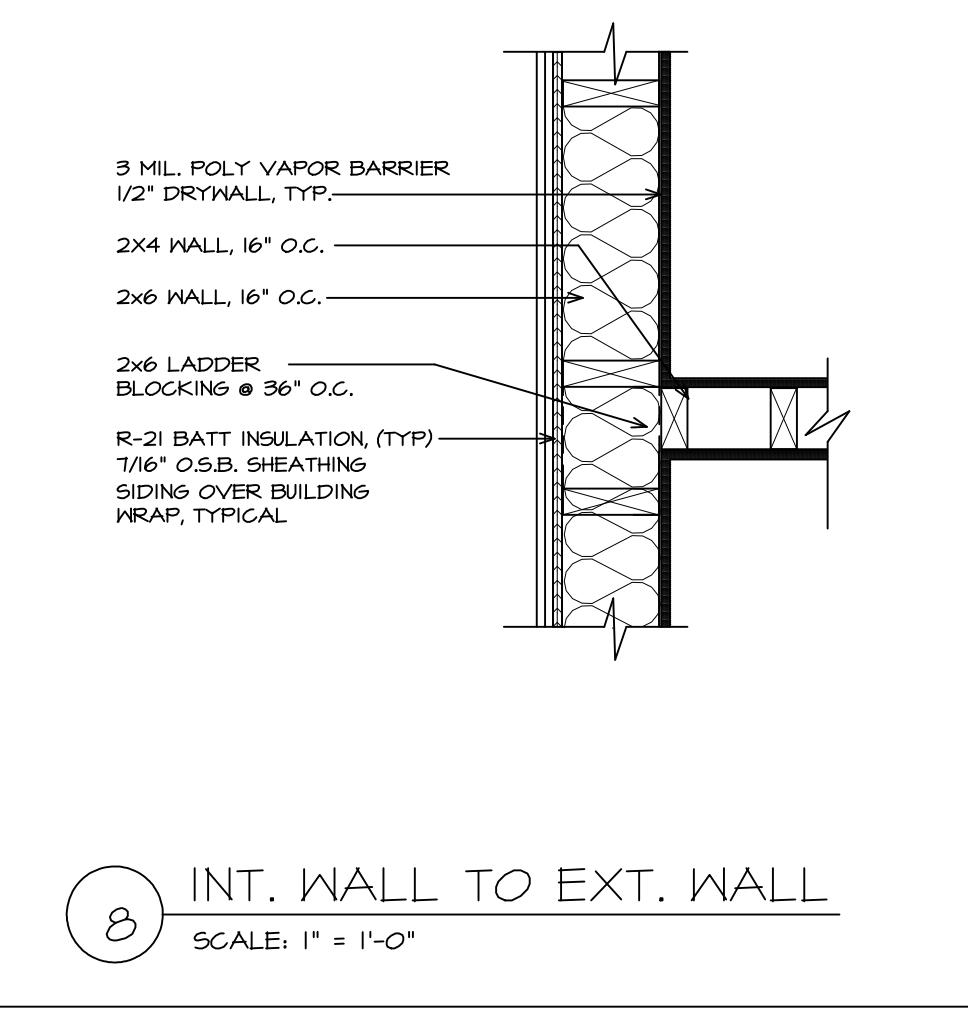
5 STAIRWELL BEAM
SCALE: 1" = 1'-0"



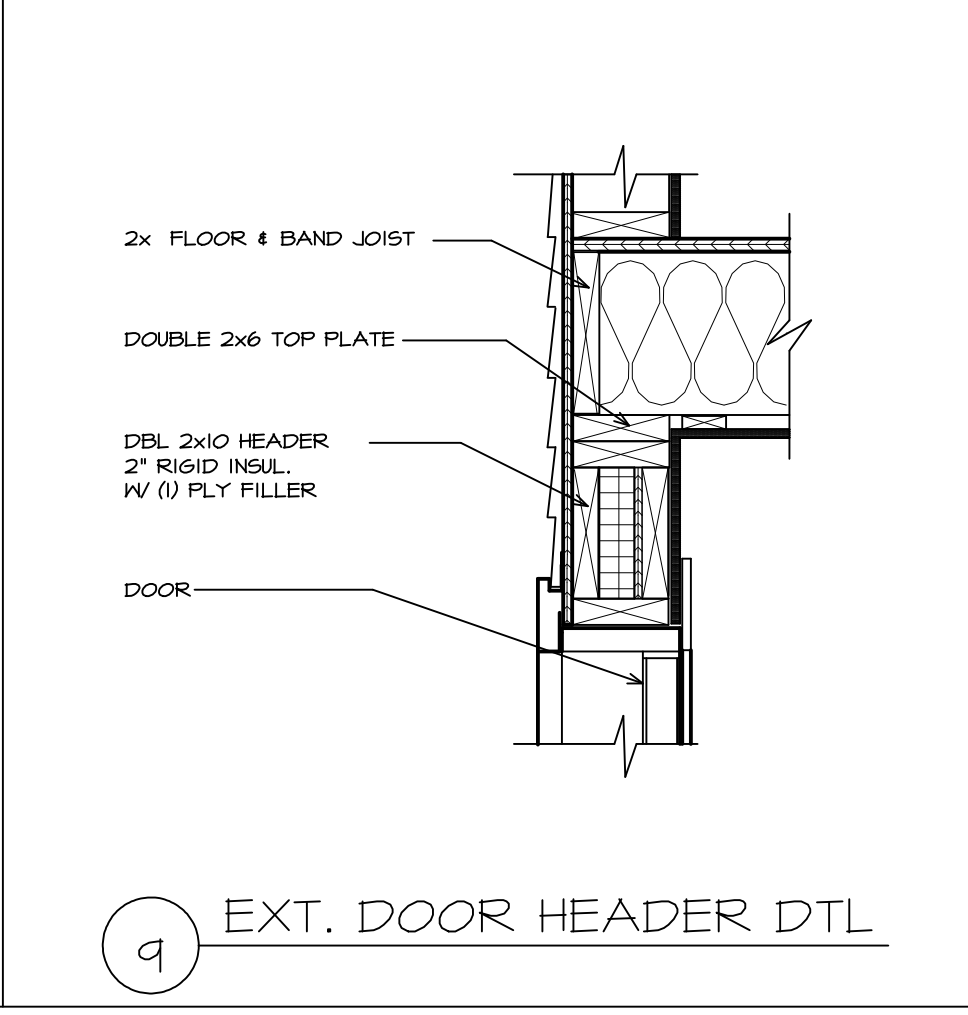
6 STAIR OVER HEADER
SCALE: 1" = 1'-0"



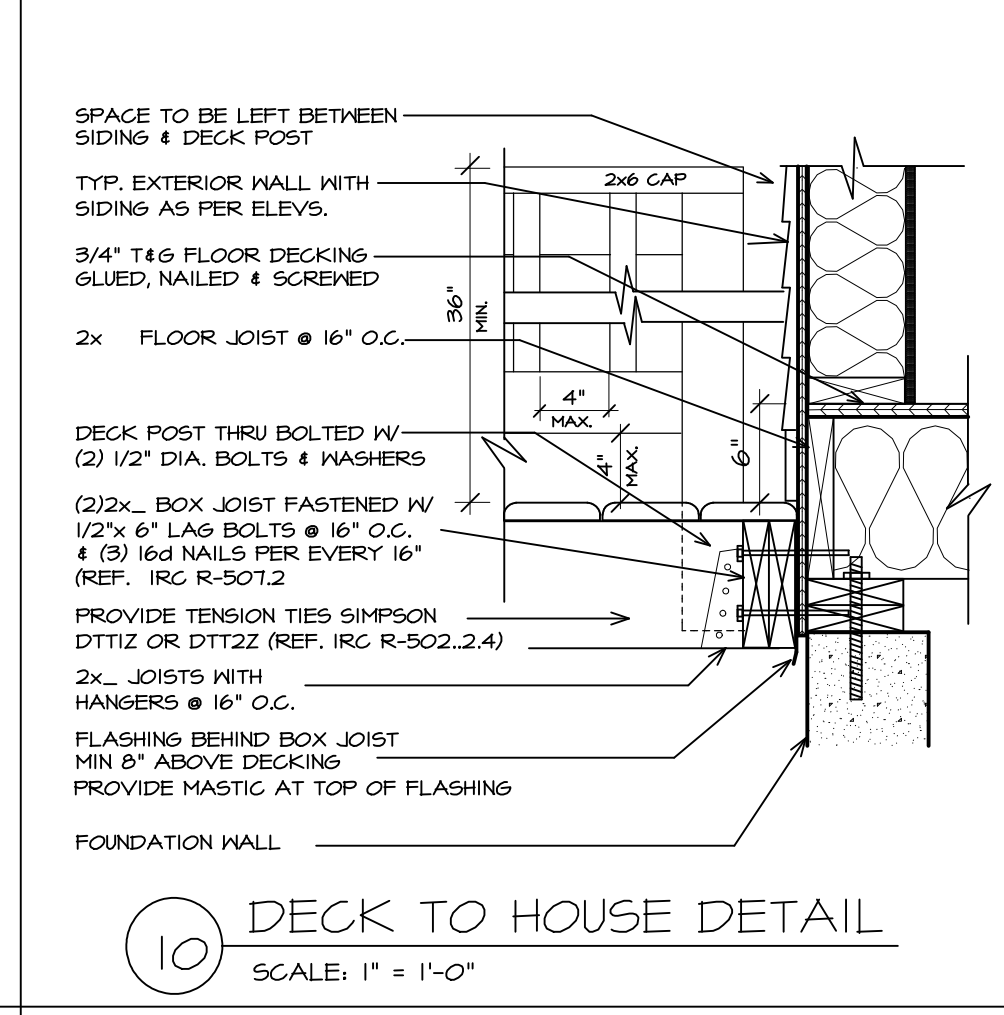
7 CANTILEVER DETAIL
SCALE: 1" = 1'-0"



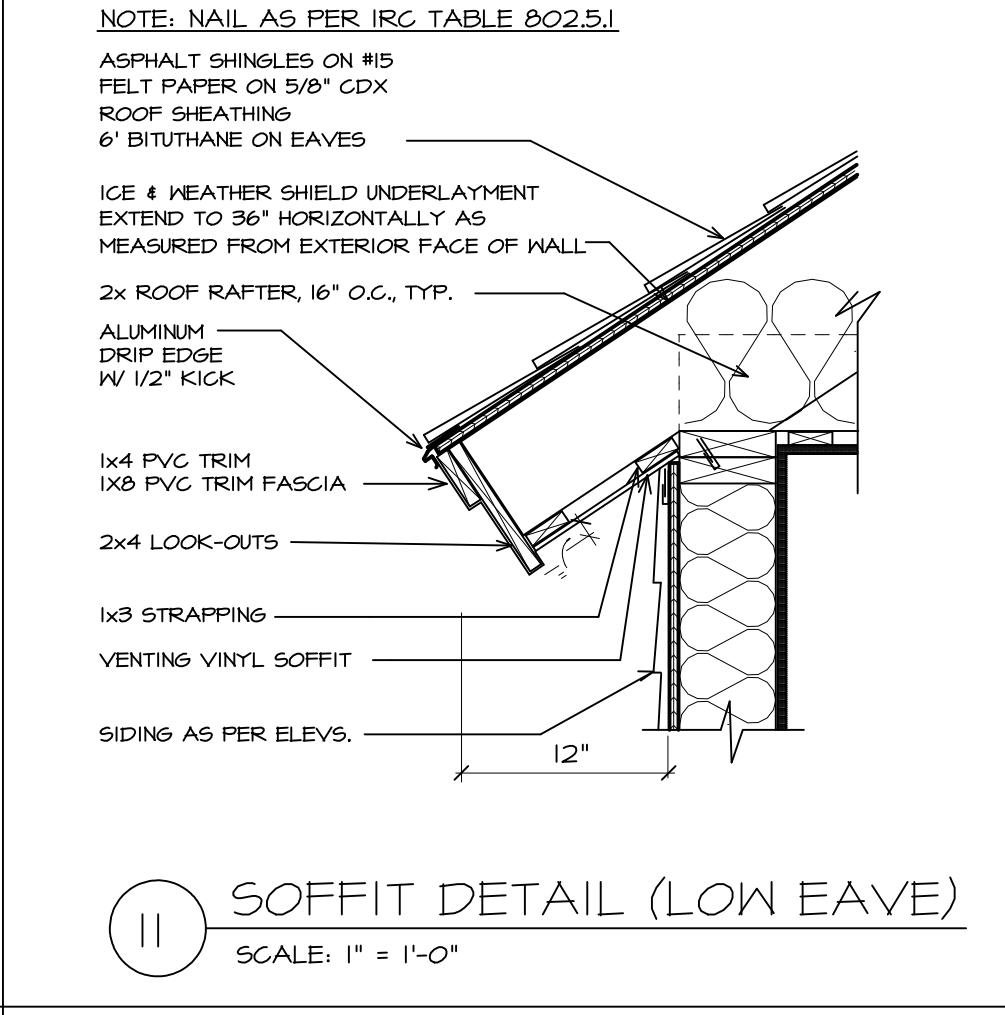
8 INT. WALL TO EXT. WALL
SCALE: 1" = 1'-0"



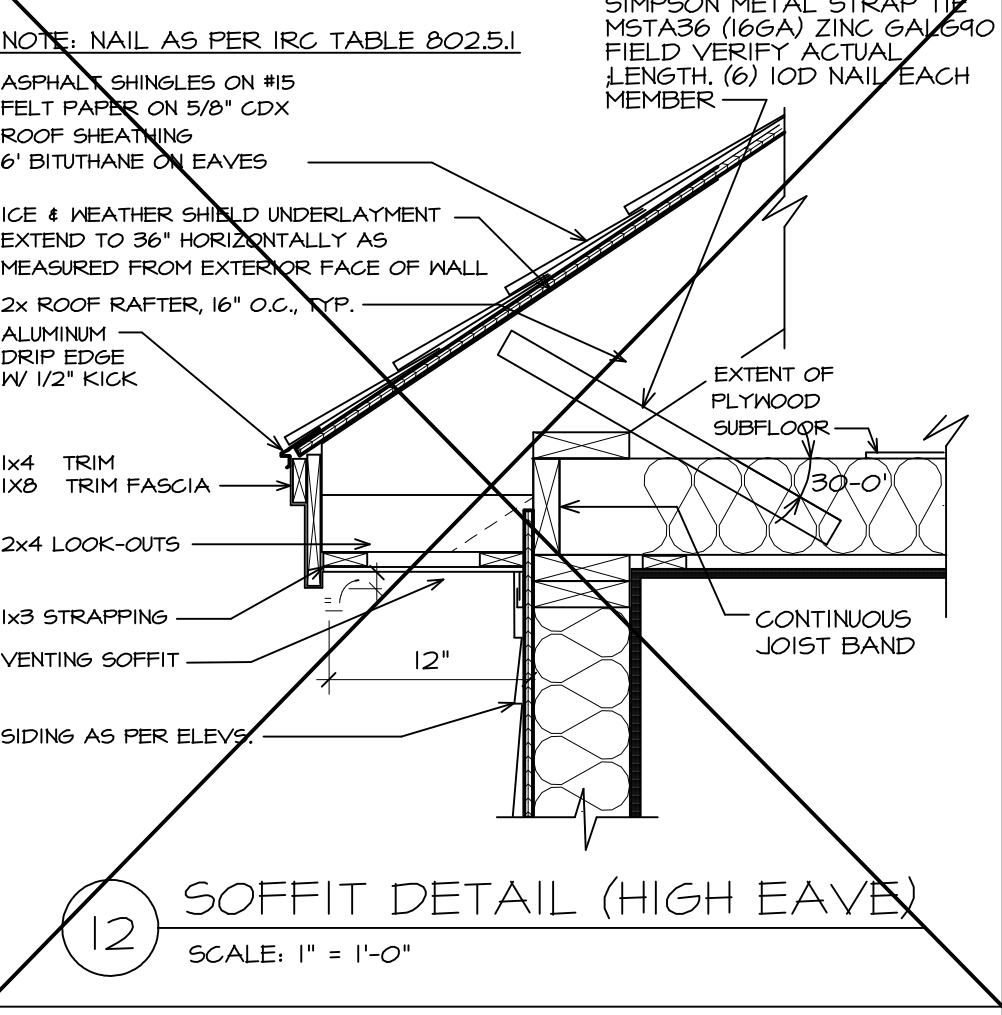
9 EXT. DOOR HEADER DTL.
SCALE: 1" = 1'-0"



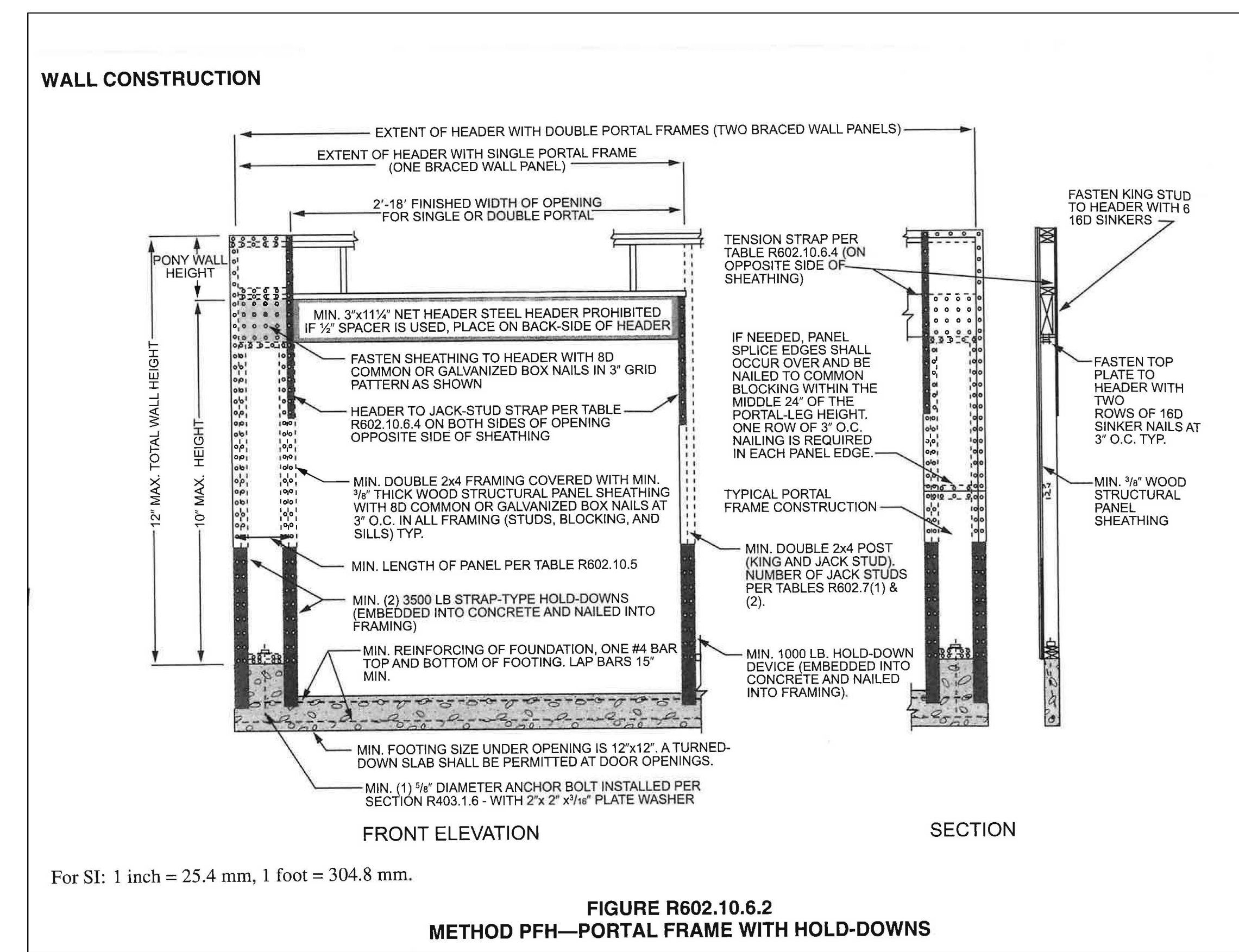
10 DECK TO HOUSE DETAIL
SCALE: 1" = 1'-0"



11 SOFFIT DETAIL (LOW EAVE)
SCALE: 1" = 1'-0"



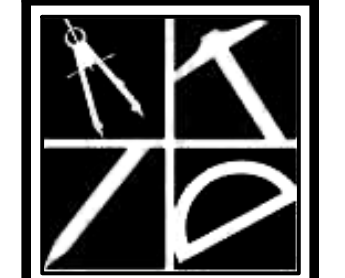
12 SOFFIT DETAIL (HIGH EAVE)
SCALE: 1" = 1'-0"



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R602.10.6.2
METHOD PFH—PORTAL FRAME WITH HOLD-DOWNS

13 METHOD PFH - PORTAL FRAME WITH HOLD-DOWNS
REF. (FIGURE R602.10.6.2)



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A7

