

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885 603.772.4746 - JonesandBeach.com

January 10, 2024

Candia Planning Board Attn. Rudy Cartier 74 High Street Candia, NH 03034

RE: Major Site Plan Application 669 High Street Candia, NH Map 405, Lot 48 JBE Project No. 22201

Dear Mr. Cartier:

Jones & Beach Engineers, Inc. respectfully submits a Major Site Plan Application for the abovereferenced parcel on behalf of our client & Applicant, Bob Carr, Claudia Patricia Carr Rev Trust. The intent of this application is to remove the existing house that is on the property and construct three duplexes and a barn out back. The units are planned to be rental units and ownership will be retained. The application is for a site plan since the property is not being subdivided. As you may recall, this site previously had some conceptual hearings and a variance granted for this proposal.

The driveway location will be in the same place as the existing driveway and will be widened and paved for access to the 6 new units. The driveway is not proposed as a Town road and not designed as one since it only accesses these proposed buildings. The driveway is aligned with Donovan Road across from the site.

We are proposing 3 septic systems, one per building and one well to serve all 6 units. We are requesting waivers for not providing boundary, topography, or wetland delineation on the entire parcel since is approximately 87.8 acres and we are only working on the front portion. We have also requested a waiver from providing a drainage design, once again as we are adding minimal impervious coverage and have agreed that no further development of the back land will occur. We feel this is a sensible trade off since much of the property will not be developed and the site slopes away from Route 27 into a largely forested area of Town and we have a large beaver pond out back.

Attachment from Candia Planning Board Meeting on 3/6/2024

The following items are provided in support of this Major Site Plan Application:

- 1. Major Site Plan Application with Checklist.
- 2. ZBA Approval.
- 3. Waiver Requests.
- 4. Letters of Authorization.
- 5. Deeds.
- 6. Fee Check.
- 7. Test Pits.
- 8. Abutters List with Mailing Labels (3 Sets)
- 9. Tax Map.
- 10. Three (3) Full Size Plan Sets.
- 11. 11x17 Architectural Plans.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours, JONES & BEACH ENGINEERS, INC. Joseph Coronati Vide President

cc: Bob Carr (via email) Jason A. Bielagus, Esq. (via email)



9.

CANDIA PLANNING BOARD

7. Name and street addresses of abutters: Complete attached Schedule A (abutters must also be identified on the plat)

8. Statement of Authorization: If the applicant is not the owner of the site, a notarized statement giving authority to the applicant to make a site plan review application must be submitted. This statement must include any conditions or restrictions set forth by the owner and an expiration date, if any.

. Pa	yment of the following fees:	
	A. Application Fee of Site Plan	\$200.00
	B. Engineer Review Fee	\$ at cost
	C. Compliance Inspection Fee	\$ at cost
	D. Legal Notice Fee (Per Hearing)	\$150.00 Current Abutter Fee - \$10.53
	E. Abutters' Notices	\$8.33 (per abutter) * or current postal rate plus \$1 26
	F. Fire Department Review	\$ at cost abutters
	G. Recording Fees:	
	Mylars	\$26.00 per sheet
	L-Chip Fee	\$25.00
	Delivery to Registry	\$20.00
	H. Fire Department Inspection	\$ at cost
	I. Gravel Pit Permit	\$ at cost
		TOTAL = \$623.78

II. EXISTING DATA AND INFORMATION

6. North arrow

8. Date of plan

b. slope

e. utility

ITEM 1. Location of site shown 1. 2. 2. Names and street addresses of Owner's of record 3. 3. Names and street addresses of abutters 4. Name & address of firm preparing the plan 4. 5. Scale of plan (1" = 20' minimum)5. a. entire site area shown on one sheet with index on sheets 6. 7. Plan prepared by a P.E. or R.L.S. with seal. All plans must also be submitted electronically via 7. e-mail or approved storage media in the portable document format (PDF) with a maximum file storage size of 10 M.B. 8. 9. Name and address of person or firm preparing other data if different from preparer of plan 9. 10. Boundary lines of site shown 10. 11. Bearings and distances shown 11. 12. Total lot area shown 12. 13. Plan drawn in ink on transparent mylar 13. 14. 14. Existing grades shown 15. Existing drainage systems and structures shown 15. 16. Existing easements; locations and dimensions: 16. a. drainage c. detention ponds d. temporary (cul-de-sac, other) f. rights-of-way 17. Use of all abutting properties shown with all structures thereon and access roads within 500' 17. of the parcel. 18. Vicinity sketch (locus map): 18. a. location of site shown b. zoning within 1000' of site shown c. 100-year flood plain, if applicable

- d. scale shown
- 19. Topographic map of site with:
 - a. Benchmark established by Applicant or USGS
 - b. 2' contours with spot elevations
 - c. existing contours dashed
- 20. Special features, natural and man made, affecting site or giving it character such as: 20. a. bodies of water
 - b. streams or water courses
 - c. swamps, marshes or wetlands
 - d. wooded areas
 - e. large (in excess of 24" DBH) trees or boulders
 - f. other significant features
- 21. Location of all existing monuments 22. Statement describing purpose of the plan 23. Tax Map and Lot number
- 24. Existing zoning variances or special exceptions, with applicable references

III. PROPOSED PLAN AND INFORMATION

- 1. Plans: a. Area to be disturbed for streets, drainage, structures (100,000+ SF) require DES а. site specific approval b. b. Sewer, water, gas and electric lines C. c. Erosion and sedimentation control plan d. d. Finished contour lines e. e. Existing tree lines and proposed plantings f. f. Paved areas g. g. Percentage of site finished with impervious cover h. h. Location and size of structures i.
 - i. Scale 1" = 50', or as approved by the Broad

CHECKED

19.

21. 22.

23.

24.

Attachment from Candia Planning Board Meeting on 3/6/2024

	j. Details as required:	j.
	1. construction details	•
	2. grading details	
	3. drainage and erosion control	
	4. utility details	
	k. USGS or assumed datum	k.
1	2. Proposed streets, including names	2.
*	3. Proposed drives, parking spaces and sidewalks	3.
	4. Radii of all curves shown	4.
	Widths of streets, drives and sidewalks shown	5.
(Parking required by Zoning Ordinance spaces	6.
	Parking provided by proposed site plan spaces	
	Size of parking spaces:X	
•	Size and location of all proposed and public utilities	7.
ł	Proposed landscaping and screening	8.
	a. location	a.
	b. type	b.
	c. size	C.
	d. planting schedule	d.
	9. Lighting and signage plan	9.
	10. Drainage Calculations/Report	0.
	a. System sizing	a.
	 b. detention, retention provided as necessary 	b.
	c. end treatments for all culverts	C.
	 d. pipes adequate for the designated design storm 	d.
	11. Circulation plan provided	11.
	a. pedestrian and vehicular traffic	a.
	b. checked turning radii for fire equipment	b.
	c. checked for access to fire hydrant(s)	C.
	12. Construction drawings and details provided:	12.
	a. pavement and road profiles	a.
	b. walks and steps	b.
	c. curbing	C.
	d. drainage structures	d.
	e. other details as required	e.
	13. Architectural Renderings	13.
	14. Solid Waste Disposal Plan	14.
	15. Timetable for construction and completion of buildings, improvements and landscaping	15.
	16. Snow storage areas	16. 17.
	17. Location of any fire suppression system as required by the Fire Department	
	18. Signature block for signing by seven members of the Planning Board	18. 19.
	19. All required State, Federal and Local permits and permit numbers	20.
1	20. All proposed waivers of Town of Candia regulations 21. A table summary of the area or impervious cover, greenspace, landscaping and building area	20.
		22.
	22. SWPPP	23.
	 Sight Distance Plan A list of all granted variances, special exceptions and waivers granted. 	23. 24.
1	24. A list of all granted variances, special exceptions and waivers granted.	24.
n.		
	ADDITIONAL INFORMATION AS REQUIRED	1.
	1. Abutters list provided	2.
	2. Permits secured or applications submitted and copies provided	2. 3.
	3. Review letter by Fire Department	4.
	4. Review letter by Police Department	5.
	5. Review letter by Building Inspector	6.
	 Other (Zoning Board of Adjustment, for example) Drainage calculations and report 	7.
	CONTRACTOR CONCLUSIONS STOLLARDED	

7. Drainage calculations and report

V. DESIGN AND CONSTRUCTION REQUIREMENTS

See Section III: Standards and requirements for Site Development

*All newly proposed driveways and points of access must be approved by either the local Road Agent or by the NH Department of Transportation for curb cut locations.

Attachment from Candia Planning Board Meeting on 3/6/2024

VI.	ENGINEERING REVIEW			
	Consolidation or subdivision required	1,		
	a. plan submitted	а.		
	b. plan per regulation (see major subdivision checklist)	b.		
2.	Zoning Issues	2.		
	a. zoning district shown	a.		
	b. zoning district for adjacent properties within 1000' shown	b.		
	c. wetlands involvement (see Article X, Candia Zoning Ordinance for definition of wetlands)	C.		
	d. wetlands exception obtained from ZBA	d.		
	e. site per zoning ordinance:	e.		
	1. frontage required frontage proposed			
	frontage proposed			
	2. area required			
	area proposed			
	3. usages permitted			
	 area required	VEO	NO	
	proposed usages permitted by special exception	YES	<u>NO</u>	UNKNOWN
	f. date project scheduled with ZBA	T.		
	g. ZBA stipulation recorded and complied with	g.		
	h. buffers provided per regulations	h.		
	i. parking adequate per regulations	i.		
	j. setbacks:	j. 1.		
	1. shown per regulations	1. 2.		
	2. distances correct	∠. 3.		
	3. front yards per regulations	3. 4.		
	rear and side yards per regulations	4. k.		
	k. building height conforming	к. З.		
3.	Plan elements submitted:			
	a. subdivision or lot line adjustment plan	a. b.		
	b. site plan	D. C.		
	c. landscaping, signage and lighting plan	d.		
	d. drainage and utility plan	а. е.		
	e. drainage profiles	6. f.		
	f. drainage calculations			
	g. test pit data	g. h.		
	h. soils map and or wetlands map	1.		
	1. SCS	2.		
	2. HISS	3.		
	3. Legend for soil types	i.		
	i. sedimentation and temporary erosion control plan	4		
4.	Construction cost estimates and completion schedule			

* Also required is an approved local or state driveway permit for all new access ways

APPLICATION FOR SITE PLAN REVIEW CANDIA, NEW HAMPSHIRE

ABUTTER'S LIST (attach typed address labels -3 across)

* Include property owner(s), abutters (within 200 feet), agent and surveyor/engineer on the abutters list*

Fees: \$ _____ x <u>26</u> = \$ _____

Applicant/Subdivider Bob Carr, Claudia Patricia Carr Rev Trust

Property Owner Same as Applicant

Property Tax Map and Lot No. ____405 / 48

ABUTTER NAME AND STREET ADDRESS MAP/LOT#

1.	SEE ATTACHED LIST
	Δ

All the above names and addresses must be shown on the site plan. A fee of \$8.33* per abutter is required at the time of application *(rates subject to change per US Post Office). Applicant bears full responsibility that all required notices were given. Board reserves the right to continue the hearing if proper notice was not given.

Applicant's signature

Date



85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885 603.772.4746 - JonesandBeach.com

January 10, 2024

Candia Planning Board Attn. Rudy Cartier 74 High Street Candia, NH 03034

RE: Waiver Requests 669 High Street Candia, NH Map 405, Lot 48 JBE Project No. 22201

Dear Mr. Cartier:

Jones & Beach Engineers, Inc. respectfully submits a waiver request for the above-referenced parcel on behalf of our client & owner, Bob Carr, Claudia Patricia Carr Rev Trust. Since this property has some unique qualities, we are requesting waivers from various parts of the Site Plan Regulations.

Candia Major Site Plan Regulations – Section II, Article 4.03.E – The scale of the plan shall be at a minimum of one-inch equals twenty feet (1" = 20'), and the plan shall include a north arrow and the date.

We are asking for a waiver from this requirement because this site is 88 acres and most of that property is not being developed. Typically housing developments would be at a larger scale than 1"=20'. Since we are required to apply under the site plan regulations, those are more geared towards commercial sites and additions, which makes more sense for a more detailed site plan. Our plans are at 1"=50' and provide adequate detail for this spread out housing design.

Candia Major Site Plan Regulations – Section II, Article 4.03.F - A survey of the perimeter boundaries of the proposed use subject to site plan review, including compass bearings, distances, and area in acres.

We are asking for a waiver from this requirement because the site is 88 acres and mostly undeveloped backland. The client also agreed to no further development as part of the ZBA approval to allow the multi-family housing development. The units are not being sold off individually and therefore we are not required to survey the entire lot per the condominium law. We have surveyed approximately 17.6 acres of boundary which is well past the proposed barn in the rear of the parcel and enough to prove out density. Because of these reasons, we feel that this is a reasonable request given the small size of this developed compared to overall parcel size.

Candia Major Site Plan Regulations – Section II, Article 4.03.G – Existing and proposed topography showing surface contours at intervals not in excess of 2-feet.

We are asking for a waiver from this requirement because the site is 88 acres and mostly undeveloped backland. The client also agreed to no further development as part of the ZBA approval to allow the multi-family housing development. We have provided detailed topography on the front 15 acres, which is well more than the area needed for this small development. Because of these reasons, we feel that this is a reasonable request given the small size of this developed compared to overall parcel size.

Candia Major Site Plan Regulations – Section II, Article 4.03.I – The location of natural features such as rivers, streams, marshes, wetlands, and any man-made feature such as existing dams, roads, stone walls, and structures. The plan shall indicate those natural and man-made features which are to be removed, retained, or altered.

We are asking for a waiver from this requirement because the site is 88 acres and mostly undeveloped backland. The client also agreed to no further development as part of the ZBA approval to allow the multi-family housing development. We have provided detailed existing features for the front 15 acres, which is well more than the area needed for this small development. Because of these reasons, we feel that this is a reasonable request given the small size of this developed compared to overall parcel size.

Candia Major Site Plan Regulations – Section II, Article 4.05.B –A drainage analysis and report, stamped by a professional Engineer licensed in the State of New Hampshire, with supporting drainage calculations that include the following:

a. Pre and post development drainage calculations for the specified storm events. b. A narrative of the project with a summary table for all required storm events of the peak discharge rate for the off-site discharge points.

c. Test pit data where detention basin or storm water systems are proposed.

d. Riprap apron or other scour protection dissipation or stability calculations.

e. NHDES BMP worksheets when drainage and infiltration systems are utilized.

f. A SWPP Plan.

We are asking for a waiver from this requirement because the large size of this parcel and the small amount of impervious surface being added. The sealed surface is 0.8% of the parcel, which is less than 1%. This same percentage when applied to a standard 3-acre lot would result in only 1,045 SF of impervious. Clearly a typical house lot has quite a bit more impervious surface than this percentage with their driveway and house. House lot development is not required to have detailed drainage studies when homes are built.

Most of the stormwater from this small site is being directed to the middle of the site where it flows across hundreds of feet of upland. This area consists of a mix of lawn areas and woods. After traveling that distance, it enters an onsite forested wetland area where it eventually makes it way to the rear of the property. All of the impervious area is downhill from Route 27 and therefore does not flow towards the roadway or affect the roadway in any way. The stormwater

2



receives treatment throughout that journey to the rear of the property and does not pose any more risk to water quality than a single-family house lot does.

We do have test pits on the property and one of them is in the middle of the cul-de-sac where we have a depression similar to a detention pond. We are providing temporary erosion control devices such as construction entrance, stone inlet protection, stone check dams, rip rap, erosion control matting and a plunge pool along with details. We will also provide a SWPPP Plan since the total area of disturbance is greater than an acre. That will be done after local approvals and prior to the start of construction once the contractor is determined.

Candia Major Site Plan Regulations – Section III, Article 8.06 – Storm Water Management:

We are asking for a waiver from this requirement because the large size of this parcel and the small amount of impervious surface being added. The sealed surface is 0.8% of the parcel, which is less than 1%. This same percentage when applied to a standard 3-acre lot would result in only 1,045 SF of impervious. Clearly a typical house lot has quite a bit more impervious surface than this percentage with their driveway and house. House lot development is not required to have detailed drainage studies when homes are built.

Most of the stormwater from this small site is being directed to the middle of the site where it flows across hundreds of feet of upland. This area consists of a mix of lawn areas and woods. After traveling that distance, it enters an onsite forested wetland area where it eventually makes it way to the rear of the property. All of the impervious area is downhill from Route 27 and therefore does not flow towards the roadway or affect the roadway in any way. The stormwater receives treatment throughout that journey to the rear of the property and does not pose any more risk to water quality than a single-family house lot does.

Thank you very much for your consideration. If you have any questions, or need further assistance, please contact our office.

Very truly yours, JONES & BEACH ENGINEERS, INC.

Joseph Coronati Vice President cc: Bob Carr (via email)



Letter of Authorization

I, Bob Carr, Claudia Patricia Carr Rev Trust Agrmt, 17 Vassar Street, Manchester, NH 038104, owner of property located in Candia, NH, known as Tax Map 405, Lot 48, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously mentioned property. The parcel is located on 669 High Street in Candia, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

itness

Bob Carr

12-12-23

Claudia Patricia Carr Rev Trust Agrmt

Personally, appeared the above-named Bob Carr, known to me or satisfactorily proven to be the person whose signature appears on this letter of authorization and acknowledged that the facts contained in the letter of authorization are true based upon their knowledge, information, and belief. Before me,

Notary Public/Justice of the Peace:

My commission expires:

BETTY E. RYDER Notary Public - New Hampshire My Commission Expires January 22, 2025





Town of Candia LAND USE OFFICE 74 High Street Candia, New Hampshire 03034 (603) 483-8588

ZONING BOARD OF ADJUSTMENT OFFICIAL NOTICE OF DECISION

The **ZONING BOARD OF ADJUSTMENT** at its April 25, 2023, meeting made the following decision regarding a request for a variance to waive terms as stated in, Article II, Section 2.05 to build multiple dwellings on one lot at 669 High Street: Zoning Board Case #23-001.

APPLICANT: Bob & Claudia Carr – 17 Vassar Street, Manchester, NH 03104

PROPERTY OWNER(S): Bob & Claudia Carr - 17 Vassar Street, Manchester, NH 03104

PROJECT LOCATION: 669 High Street, Candia, NH 03034

TAX MAP: Map 405 LOT NUMBER 48

TITLE ON PLAN: Conceptual Site Plan

PLAN PREPARED BY: Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH 03885 603-772-4746

DECISION: Approved with the following conditions:

CONDITIONS:

Declarant hereby makes the following covenants and places the following restrictions on the Premises:

1. There shall be no further subdivision of the Premises for any additional development.

The covenants and restrictions above are subject to the following exceptions:

- a. The owner of the Premises may construct three two-family buildings (or duplexes) on the Premises, as approved by the ZBA on March 28, 2023, in Case No. 23-001;
- b. The owner of the Premises may construct a barn on the Premises, for non-commercial use, as shown on the Plans; and
- c. Declarant reserves the following rights, for non-commercial use, subject to satisfying all Town of Candia Land Use Regulations:

To construct a barn or similar building for storing equipment and tools, and recreational equipment and vehicles, on the Premises;

To construct buildings for agricultural purposes on the Premises;

To construct and maintain trails on the Premises;

To convey a conservation easement, or easements, that could burden the Premises;

To construct and maintain any system on the Premises for producing electricity or power from solar, wind, water, wood, biomass, or geothermal systems.

To use the Premises for all lawful purposes, including but not limited to, recreation, agriculture, farming, livestock, forestry, tree farming, solar energy, wind energy, and all other uses consistent with the above.

These covenants and restrictions are appurtenant to the Premises, and shall run with the land, and shall bind and benefit Declarant's successors and assigns, in perpetuity. The Declarant, its successors, or assigns, shall not be authorized to waive these provisions, unless the Candia Zoning Board of Adjustment has first approved any proposed waiver. The terms and conditions of this Covenant may be enforced by the Town of Candia.

For further information regarding this decision, contact Town of Candia Land Use Office (603) 483-8588.

Judith Szot, Chairman Candia Planning Board

april 27, 2023

Date

ZONING BOARD OF ADJUSTMENT ACCEPTANCE OF NOTICE OF DECISION

Please endorse this document and return it to the Planning Board within 30 days.

I/We

as owner(s)

of the property referenced in the application for a variance granted for one year, to permit the building of three duplexes on one lot. I do hereby acknowledge and accept the terms and conditions of the enclosed "Official Notice of Decision" and that I/We further understand that all representations and/or materials submitted to the Zoning Board at the public hearing for said application and shown on the plat referenced in said "Official Notice of Decision" shall be deemed conditions of approval.

Signed:

Bob and Claudia Carr

Date:

Please Note: Failure to return this document within thirty (30) days could cause the approval to lapse.

Book:6150 Page:2657

E # 20040805 08/12/2020 11:27:32 AM Book 6150 Page 2657 Page 1 of 3 Register of Deeds, Rockingham County

Careny ann Staces

LCHIP ROA509173 25.00 RECORDING 18.00 SURCHARGE 2.00

Return to: Claudia P. Carr 17 Vassar Street Manchester NH 03104

QUITCLAIM DEED

Claudia P. Carr, married, of 17 Vassar Street, Manchester NH 03104

For Consideration Paid

Grants to Claudia Carr, Trustee of The Claudia Patricia Carr Revocable Trust Agreement. with an address of 17 Vassar Street, Manchester NH 03104

with QUITCLAIM COVENANTS, a certain tract of land with the buildings and improvements thereon, situate in Candia, County of Rockingham, State of New Hampshire, on the northerly side of High Street, containing about 204 acres, more or less, and bounded and described as follows:

Beginning at the southeasterly corner of said tract of said highway and at the southwesterly corner of land of one Alice Brown;

- Northerly by said Alice Brown land by a stone wall to a point in said stone wall at the southwesterly corner of a 5 acre tract of land conveyed by James H. Brown to George H. Brown, by deed recorded in the Rockingham County Registry of Deeds at Book 482, Page 228;
- 2. Easterly still by land of the said Alice Brown to a stake and stones;
- 3. Northerly to a stake and stones on the range road, so called;
- 4. Westerly by said range road to a post in the wall at the northwest corner of land conveyed by Abel B. Parker to George H. Brown, by Deed dated January 18, 1881, and recorded in said Registry of Deeds at Book 482, Page 227;
- 5. Southerly as the fence now stands to a spotted tree in the corner of the fence;
- 6. Easterly by a wire fence to a post in a stone wall;
- 7. Southerly by a stone wall to said High Street;
- 8. Easterly by said High Street to the point of beginning.

Excepting and reserving from said described premises the following described tract?

Book: 6150 Page: 2658

- 2 -

A certain tract of land with the buildings thereon, situate in Candia, County of Rockingham, State of New Hampshire, on the northerly side of High Street, bounded and described as follows:

Beginning on the southeasterly corner of said tract on said highway, and at the southwesterly corner of one Alice Brown, and running parallel with High Street in a westerly direction a distance of 200'.

- 1. In a northerly direction parallel with wall on the westerly side of Alice Brown, a distance of 500', more or less, to stone wall running parallel with High Street.
- 2. 200' in an easterly direction parallel with High Street to the Stone Wall of Alice Brown;
- 3. 500' in a southerly direction along said Alice Brown wall to the point of beginning of High Street.

Containing 100,000 square feet, more or less.

Said conveyance also includes any and all rights quitelaimed to the said Proctor M. Hammond by Deed of Rose A. Royer dated October 23, 1947, recorded in the Rockingham County Registry of Deeds at Volume 1085, Page 94.

Said conveyance is subject to a right of way sold to Socony Vacuum Oil Company and recorded in said Registry.

For title reference see Warranty Deed from Noel H. B. Desilets and Helen V. Desilets to Claudia P. Carr. dated July 1, 2005, recorded in the Rockingham County Registry of Deeds at Book 4507, Page 1774.

This is a non-contractual transfer therefore no transfer stamps are due.

This is not homestead property.

The within was prepared without the benefit of a title search.

- 3 -

Executed this 114 day of August 2020 laudia P. Carr

STATE OF NEW HAMPSHIRE

COUNTY OF HUISbarrough

The foregoing Quitclaim Deed was acknowledged before me on this (1^{++}) day of August, 2020, by Claudia P. Carr.

Notary Public/Justice of the Peace My commission expires:

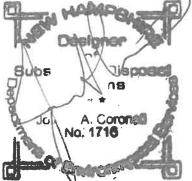


TEST PITS FOR 669 High Street Candia September 14, 2023 JBE Project No. 22201

Performed by: Joseph Coronati, Jones & Beach Engineers, Inc., SSD #1716

Test Pit #1		
0"-6"		topsoil
6"- 20"	10YR 4/4	dark yellowish brown fine sandy loam rocky, friable
20"- 60"	10YR 6/4	light yellowish brown sandy clay firm, saturated
SHWT = 20" Roots to 20" H₂O @ 36" No Refusal observed Perc Rate = 20 min/inch		
T<u>est Pit #2</u> o"- 6"		topsoil
6"- 18"	10YR 3/4	dark yellowish brown fine sandy loam friable
18"	10Y 4/4	dark yellowish brown silty sand friable, saturated
SHWT = 18" Roots to 18" H ₂ O @ 23"		- women

Roots to 18" H₂O @ 23" No Refusal observed Perc Rate = 20 min/inch



<u>Test Pit #3</u> 0"- 10"		topsoil
10"- 22"	10YR 3/4	dark yellowish brown fine sandy loam friable
22"- 60"	10YR 4/4	dark yellowish brown Ioamy sand friable many mottles
SHWT = 22" Roots to 18" NO H₂O No Refusal observed Perc Rate = 16 min/inch		
Test Pit #4 0"- 16"		topsoil
16"- 60"	10YR 4/4	dark yellowish brown Ioamy sand, wet Ioose, friable
SHWT = 16" Roots to 16" H ₂ O @ 16" No Refusal observed Perc Rate = 14 min/inch		
Test Pit <u>#5</u> 0"- 10"		topsoil
10"- 20"	10YR 3/4	dark yellowish brown fine sandy loam friable
20"- 60"	10Y 4/4	dark yellowish brown loamy sand firm, mottles
SHWT = 20" Roots to 20" NO H ₂ O observed No Refusal observed Perc Rate = 14 min/inch		

Perc Rate = 14 min/inch

T est Pit <u>#6</u> 0"- 8"		topsoil
8"- 24"	10YR 3/4	dark yellowish brown fine sandy loam friable
24"- 60"	10Y 4/4	dark yellowish brown loamy sand firm, moist
SHWT = 24" Roots to 24" NO H₂O observed No Refusal observed Perc Rate = 14 min/inch		
<u>Test Pit #7</u> o''- 6''		topsoil
6"- 24"	10YR 4/4	dark yellowish brown Ioamy sand friable, dry
24"- 54"	10YR 4/4	dark yellowish brown Ioamy sand firm, cobbles, mottles
SHWT = 24" Roots to 24"		

Roots to 24" NO H₂O observed No Refusal observed Perc Rate = 12 min/inch

ABUTTERS LIST (200 FT) AS OF DECEMBER 1, 2023 FOR 669 HIGH STREET, CANDIA, NH JBE PROJECT No. 22201

OWNER OF RECORD/APPLICANT:

TAX MAP 405/ LOT 48 CLAUDIA PATRICIA CARR REV TRUST AGRMT CLAUDIA CARR, TRUSTEE 17 VASSAR ST MANCHESTER, NH 03104 BK 6150/PG 2657 (08/12/20)

ABUTTERS:

402/7-5 DKAM CONTRACTING LLC 81 HALLS MILL ROAD CANDIA, NH 03034 4618/0193 (02/13/06)

402/12 MARIA MURBER 616 NORTH ROAD CANDIA, NH 03034 6340/1007 (10/13/21)

402/13 HARRY & HOLLY RUTH WALKER, JR 628 NORTH ROAD CANDIA, NH 03034 6486/370 (06/01/23)

402/15 LYNN DELLA & EDWARD C ACEVEDO 640 NORTH ROAD CANDIA, NH 03034 6446/1242 (10/17/22) 402/16 JOHN R & AUDREY A ADKINS TRUSTEES ADKINS FAMILY REV TRUST OF 2018 642 NORTH ROAD CANDIA, NH 03034 5918/2691 (05/30/18)

402/17

RICHARD L & CASSANDRA S ABOOD 654 NORTH ROAD CANDIA, NH 03034 2977/1709 (04/16/93)

402/18

TODD S GOODMAN MUN BOKYOUNG 656 NORTH ROAD CANDIA, NH 03034 6143/1742 (07/27/20)

402/27-16 DEBORAH T MARTEL TRUSTEE

DEBORAH MARTEL LIVING TRUST 151 HORIZON LANE CANDIA, NH 03034 5485/0853 (10/07/13)

402/27-17 DANIEL J & JOAN M ROHN 159 HORIZON LANE CANDIA, NH 03034

402/27-18 ERIC E. & DIANE P. RAND 167 HORIZON LANE CANDIA, NH 03034 3406/0910 (07/08/99)

402/27-22 BRANDON & ELIZABETH POPE 176 HORIZON LANE CANDIA, NH 03034 6120/0998 (05/29/20)

404/28

DANA S MAZZARELLI MICHELLE GOULET 9 DONOVAN ROAD CANDIA, NH 03034 5867/2407 (10/31/17)

404/29

NATHAN DEMERS 686 HIGH STREET CANDIA, NH 03034 5719/0742 (05/31/16)

404/30-6

ANTHONY & PAULINE A. STEINMETZ 700 HIGH ST CANDIA, NH 03034 3009/2477 (09/30/93)

404/97-1

MARC D & LISA T SOUSA 105 MERRILL ROAD CANDIA, NH 03034 6312/1822 (08/05/21)

404/111

ALFRED J. & IRENE GUILLETTE 703 HIGH ST CANDIA, NH 03034 2801/1266 (07/21/89)

404/112

ROBERT W & MARILYN H BERGEVIN 687 HIGH STREET CANDIA, NH 03034 3269/0828 (02/18/98)

404/112-1 405/49 & 50

STEVEN W WEEKS 651 HIGH STREET CANDIA, NH 03034 6149/2698 (08/10/20) – LOT 112-1 6149/2701 (07/31/20) – LOTS 49 & 50 405/46 FLB ASSOCIATES, LLC 650 HIGH ST CANDIA, NH 03034 4390/1016 (10/27/04)

405/47 PAMPERED PUP LLC 12 DONOVAN STREET CANDIA, NH 03034

6432/535 (08/17/22)

405/51 COLLEEN A & DAVID C GOYETTE 643 HIGH ST CANDIA, NH 03034 5836/2264 (07/19/17)

405/52 DANA C YATES 635 HIGH STREET CANDIA, NH 03034 2381/0566 (12/23/80)

405/54 ROBERT W & LISA H TRUSTEES MARTEL FAMILY TRUST DECEMBER 2019 621 HIGH STREET CANDIA, NH 03034 5973/1918 (12/19/18)

ENGINEERS/SURVEYORS:

JONES & BEACH ENGINEERS, INC. ATTN: JOSEPH CORONATI PO BOX 219 STRATHAM, NH 03885

WETLAND SCIENTIST:

GOVE ENVIRONMENTAL SERVICES ATTN. JAMES GOVE 8 CONTINENTAL DRIVE, UNIT H EXETER, NH 03833 Ddf2 vrevA thedsD et sezilitU affron/Gandia-Pla

CLAUDIA PATRICIA CARR REV TRUST AGRMT CLAUDIA CARR, TRUSTEE 17 VASSAR ST MANCHESTER, NH 03104

> DKAM CONTRACTING LLC 81 HALLS MILL ROAD CANDIA, NH 03034

> > MARIA MURBER 616 NORTH ROAD CANDIA, NH 03034

DKAM CONTRACTING LLC 81 HALLS MILL ROAD CANDIA, NH 03034

> MARIA MURBER 616 NORTH ROAD CANDIA, NH 03034

HARRY & HOLLY RUTH WALKER, JR

628 NORTH ROAD

CANDIA, NH 03034

HARRY & HOLLY RUTH WALKER, JR 628 NORTH ROAD CANDIA, NH 03034

LYNN DELLA & EDWARD C ACEVEDO 640 NORTH ROAD CANDIA, NH 03034

LYNN DELLA & EDWARD C ACEVEDO 640 NORTH ROAD CANDIA, NH 03034

JOHN R & AUDREY A ADKINS TRUSTEES

ADKINS FAMILY REV TRUST OF 2018

642 NORTH ROAD

CANDIA, NH 03034

CANDIA, NH 03034

JOHN R & AUDREY A ADKINS TRUSTEES ADKINS FAMILY REV TRUST OF 2018 642 NORTH ROAD CANDIA, NH 03034

RICHARD L & CASSANDRA S ABOOD 654 NORTH ROAD

RICHARD L & CASSANDRA S ABOOD 654 NORTH ROAD CANDIA, NH 03034

TODD S GOODMAN MUN BOKYOUNG 656 NORTH ROAD CANDIA, NH 03034

CANDIA, NH 03034

DEBORAH T MARTEL TRUSTEE DEBORAH MARTEL LIVING TRUST 151 HORIZON LANE CANDIA, NH 03034

> DANIEL J & JOAN M ROHN **159 HORIZON LANE** CANDIA, NH 03034

DEBORAH T MARTEL TRUSTEE

TODD S GOODMAN

MUN BOKYOUNG

656 NORTH ROAD

CANDIA, NH 03034

DEBORAH MARTEL LIVING TRUST 151 HORIZON LANE CANDIA, NH 03034

> DANIEL J & JOAN M ROHN 159 HORIZON LANE CANDIA, NH 03034

HARRY & HOLLY RUTH WALKER, JR 628 NORTH ROAD CANDIA, NH 03034

LYNN DELLA & EDWARD C ACEVEDO 640 NORTH ROAD

JOHN R & AUDREY A ADKINS TRUSTEES ADKINS FAMILY REV TRUST OF 2018 642 NORTH ROAD CANDIA, NH 03034

RICHARD L & CASSANDRA S ABOOD 654 NORTH ROAD CANDIA, NH 03034

> TODD S GOODMAN MUN BOKYOUNG 656 NORTH ROAD CANDIA, NH 03034

DEBORAH T MARTEL TRUSTEE DEBORAH MARTEL LIVING TRUST 151 HORIZON LANE CANDIA, NH 03034

> DANIEL J & JOAN M ROHN **159 HORIZON LANE** CANDIA, NH 03034

Bend along line to expose Pop-up Edge Easy Peel Address Labels



CLAUDIA PATRICIA CARR REV TRUST AGRMT CLAUDIA CARR, TRUSTEE 17-VASSAR ST MANCHESTER, NH 03104

qu-qof broder el relevér eb nils erurbert el s sellqoß

Etiquettes d'adresse Easteupita

CLAUDIA PATRICIA CARR REV TRUST AGRMT CLAUDIA CARR, TRUSTEE 17 VASSAR ST MANCHESTER, NH 03104

> DKAM CONTRACTING LLC 81 HALLS MILL ROAD CANDIA, NH 03034

> > MARIA MURBER 616 NORTH ROAD CANDIA, NH 03034

Repliez à la hachure afin de révéler le rebord Po Etidnettes q'adresse E82029/

ERIC E. & DIANE P. RAND

167 HORIZON LANE CANDIA, NH 03034

ERIC E. & DIANE P. RAND 167 HORIZON LANE CANDIA, NH 03034

BRANDON & ELIZABETH POPE 176 HORIZON LANE CANDIA, NH 03034

> DANA S MAZZARELLI MICHELLE GOULET 9 DONOVAN ROAD CANDIA, NH 03034

NATHAN DEMERS 686 HIGH STREET CANDIA, NH 03034

ANTHONY & PAULINE A. STEINMETZ 700 HIGH ST CANDIA, NH 03034

> MARC D & LISA T SOUSA 105 MERRILL ROAD CANDIA, NH 03034

ALFRED J. & IRENE GUILLETTE

703 HIGH ST CANDIA, NH 03034

ROBERT W & MARILYN H BERGEVIN 687 HIGH STREET CANDIA, NH 03034

> STEVEN W WEEKS 651 HIGH STREET CANDIA, NH 03034

FLB ASSOCIATES, LLC 650 HIGH ST CANDIA, NH 03034

FLB ASSOCIATES, LLC 650 HIGH ST CANDIA, NH 03034

Use Avery Template 5160 Go to avery.com/templates **BRANDON & ELIZABETH POPE** 176 HORIZON LANE CANDIA, NH 03034

> DANA S MAZZARELLI MICHELLE GOULET 9 DONOVAN ROAD CANDIA, NH 03034

NATHAN DEMERS 686 HIGH STREET CANDIA, NH 03034

ANTHONY & PAULINE A. STEINMETZ 700 HIGH ST

ANTHONY & PAULINE A. STEINMETZ 700 HIGH ST CANDIA, NH 03034

MARC D & LISA T SOUSA

105 MERRILL ROAD

CANDIA, NH 03034

MARC D & LISA T SOUSA 105 MERRILL ROAD CANDIA, NH 03034

ALFRED J. & IRENE GUILLETTE

703 HIGH ST

CANDIA, NH 03034

ROBERT W & MARILYN H BERGEVIN

687 HIGH STREET

CANDIA, NH 03034

STEVEN W WEEKS

651 HIGH STREET

CANDIA, NH 03034

ALFRED J. & IRENE GUILLETTE

703 HIGH ST CANDIA, NH 03034

ROBERT W & MARILYN H BERGEVIN 687 HIGH STREET CANDIA, NH 03034

> STEVEN W WEEKS 651 HIGH STREET CANDIA, NH 03034

FLB ASSOCIATES, LLC 650 HIGH ST CANDIA, NH 03034

Bend along line to expose Pop-up Edge Easy Peel' Address Labels

..0978



ERIC E. & DIANE P. RAND 167 HORIZON LANE CANDIA, NH 03034

Patravery.com/patents

BRANDON & ELIZABETH POPE 176 HORIZON LANE CANDIA, NH 03034

> DANA S MAZZARELLI MICHELLE GOULET 9 DONOVAN ROAD CANDIA, NH 03034

NATHAN DEMERS

686 HIGH STREET

CANDIA, NH 03034

CANDIA, NH 03034

DBIG viewa tineded el sesilitU smeat from / Jandtaz Plan -crof broden el refevel el profic enudaca el e señace? Etiquettes d'adresse Lasy0(89)

PAMPERED PUP LLC

12 DONOVAN STREET

CANDIA, NH 03034

PAMPERED PUP LLC **12 DONOVAN STREET** CANDIA, NH 03034

COLLEEN A & DAVID C GOYETTE 643 HIGH ST CANDIA, NH 03034

COLLEEN A & DAVID C GOYETTE 643 HIGH ST CANDIA, NH 03034

DANA C YATES **635 HIGH STREET** CANDIA, NH 03034

DANA C YATES 635 HIGH STREET CANDIA, NH 03034

ROBERT W & LISA H TRUSTEES

621 HIGH STREET

CANDIA, NH 03034

ROBERT W & LISA H TRUSTEES MARTEL FAMILY TRUST DECEMBER 2019 MARTEL FAMILY TRUST DECEMBER 2019 621 HIGH STREET CANDIA, NH 03034

JONES & BEACH ENGINEERS, INC. ATTN: JOSEPH CORONATI **PO BOX 219** STRATHAM, NH 03885

GOVE ENVIRONMENTAL SERVICES ATTN. JAMES GOVE 8 CONTINENTAL DRIVE, UNIT H EXETER, NH 03833

JONES & BEACH ENGINEERS, INC. ATTN: JOSEPH CORONATI PO BOX 219 STRATHAM, NH 03885

GOVE ENVIRONMENTAL SERVICES ATTN. JAMES GOVE 8 CONTINENTAL DRIVE, UNIT H EXETER, NH 03833

PAMPERED PUP LLC **12 DONOVAN STREET** CANDIA, NH 03034

Pat: avery com/ patents

COLLEEN A & DAVID C GOYETTE 643 HIGH ST CANDIA, NH 03034

> DANA C YATES 635 HIGH STREET CANDIA, NH 03034

ROBERT W & LISA H TRUSTEES MARTEL FAMILY TRUST DECEMBER 2019 621 HIGH STREET CANDIA, NH 03034

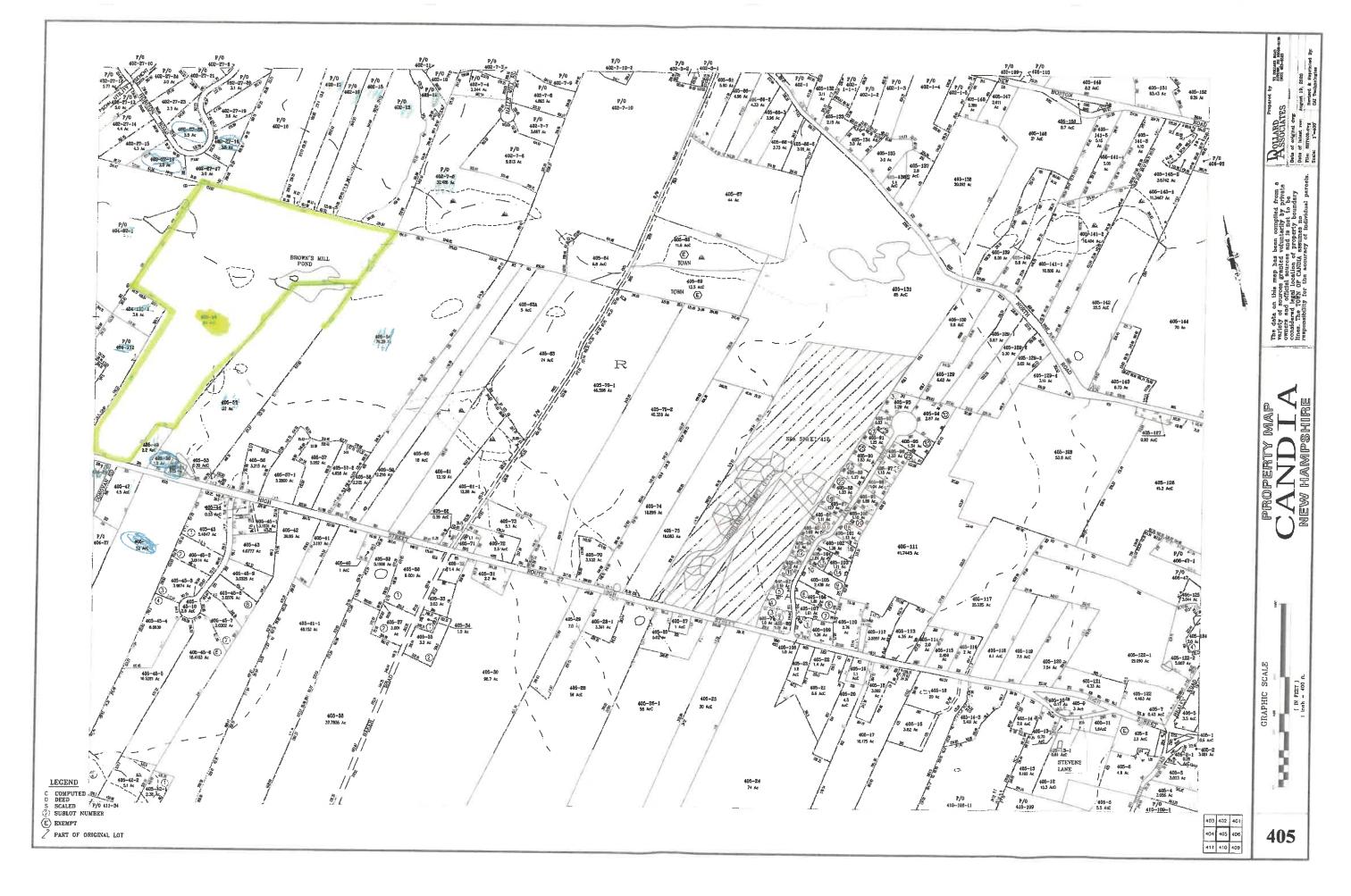
JONES & BEACH ENGINEERS, INC. ATTN: JOSEPH CORONATI PO BOX 219 STRATHAM, NH 03885

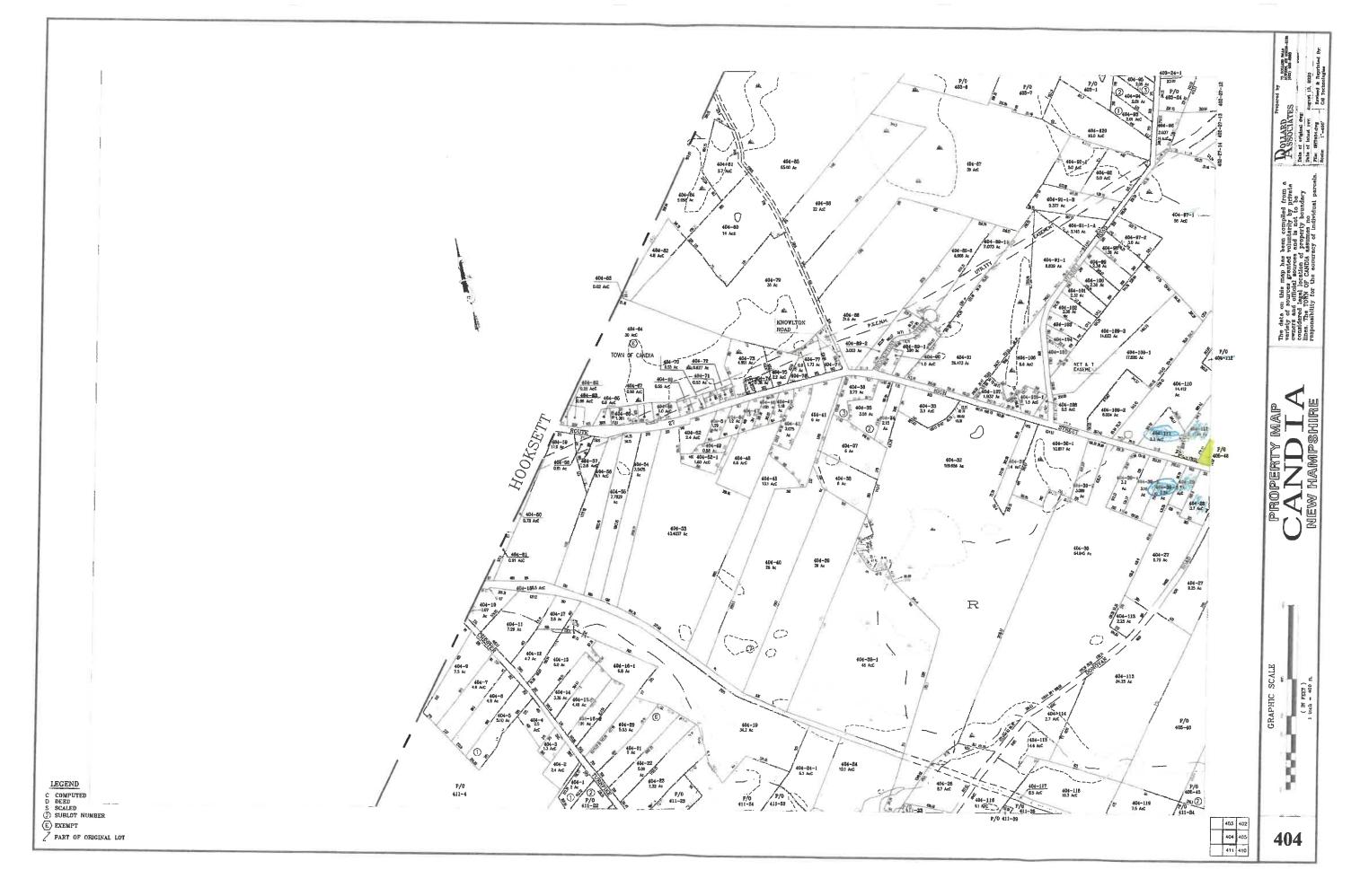
GOVE ENVIRONMENTAL SERVICES ATTN. JAMES GOVE 8 CONTINENTAL DRIVE, UNIT H EXETER, NH 03833

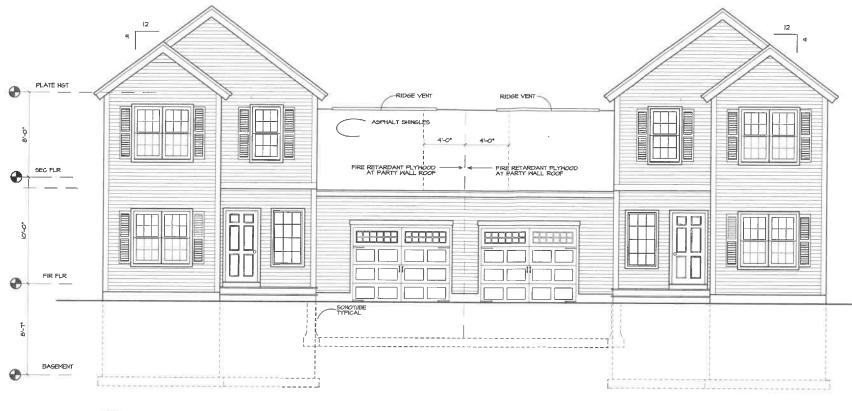
Use Avery lemplate 5160 Seto to avery.com/templates Bend along the to expose Pop-up Edge Easy Peel Address Labels

...0978

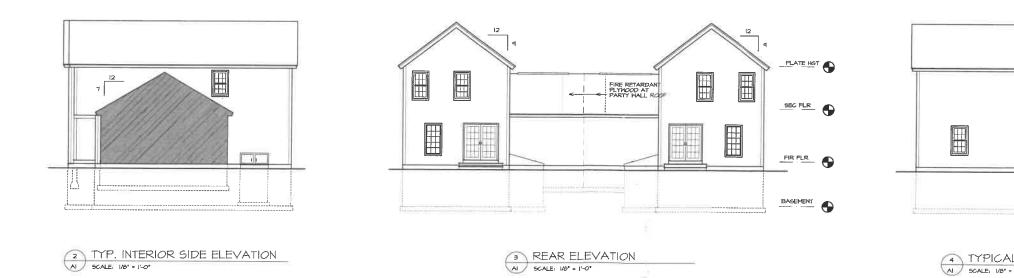












	PER UNIT CALCULAT	IONS:	
Alternative Designs Inc.	FIRST FLOOR SECOND FLOOR	795 S.F. 830 S.F.	NK
23-282	TOTAL	1625 S.F.	10
2018 INTER	NATIONAL RESID	ENTIAL CODE	Alternative Designs Inc.
			reekotternativedesignanet Residential/Commercial Design
			94 Old Granite Street Manchester, NH 03101 phone: (603) 645-4388
			fax: (603) 645-6010
			specification conveyed any proverty of gras Inc. oddettom of this sity provibite
			These draning, specifications, and the design canoning of an the activity canoning of a the activity of the Arg form of reproduction of these activities of this design is accreasing provibiled. AD1, © 2003
			, ₹
			IN CAN
			RR TO BE BUILT IN CANDIA, NH
			70 BE
			BOB CARR
			rrity all arbers a sirict hiseitts applicable.
			i check 4 ve uction wition m shall be 1 m shall be 1 th The State e or Mossoc
			Cottractor to shock 4 verily all preversions 4 structural methons between contractions All contractions and the heard compliance mit the state of Net Hardine or Measurabells Net Hardine or contractions Net Hardine or contractions
			352332 REVISIONS
L SIDE ELEVATION			
			23-262 AV6 2023
			SHEET I OF 7
			A1

CODE: ALL CONSTRUCTION SHALL FOLLOW LOCAL STATE BUILDING CODE, MANUFACTURES' SPECIFICATIONS, AND WELL KNOWN INZUSTRY STADDARDS. IF ANY GRESTIONS SHALL ARISE, THE DESIGER OF ENDINESE ON RECORD SHALL BE CONTACTED. NITERANTIONUL RESIDENTIAL CODE 2010 (INC 2010) AND THE REFERENCED STANDARDS INCLUED THEREIN, ANJ. A UNTORITY MAYING LIRISOLITION A. NIMBER OF WITTS (I OR 2) B. NIMBER OF STORIES (MAX.3) DESIGN LOADD INITIAN TO LIVE LOAD (NOTHEDROOM), A. NOMBER OF STORIES (MAX.3) DESIGN LOADD INITIANT ON LIVE LOAD (NOTHEDROOM), A. NOM BEDROOM 4075F B. BEDROOM	 5. SEISHIC A DESIGN CATESORY (AHJ) (A-E, R30(2.2), (C FOR MOST OF SOUTH AND CRITERL INI AND B FOR MA) 6. DAMAGE: A. MEATHERING: SEVERE (CONCRETE) (R30(2)) B. TERHTE INFESTATION PROBABILITY: SLIGHT MORTHERN INI), MODERATE (SOUTHERN INI), EANY MA) POSIAN PROST DEFTH OFIELED HIMPHED GRADE (4' IS TYPICAL; VERIPY AS MEDDED VITH AND J. DESIAN PROST DEFTH OFIELED HIMPHED GRADE (4' IS TYPICAL; VERIPY AS MEDDED VITH AND J. TOTAL NOTES I. TERHTE DESIGN TEMP; NHI: O DEG. F., MA ID DEG. F. (FER SOL2(3)) 3. TECO IMAGAE (ANJ), TOTAL NOTES I. TERESTEMATION OF CORPALID DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL DESIGN ARRANGEMENT AND METHODS OF ASSEMBLY TO THE VARIOUS COMPONENTS. THE DRAMINES DO NOT INDICATE EXTENSIVE DETAILS. THE CONTRACTOR GRALL HAVE REVENDED THESE ITS. SECT TROORT, AND BE CAPABLE OF EXECUTING THE DETAIL NORK: AS NECESSARY TO ACHIEVE THE INTERDED RESULT. IN A MAREE CONSTRUCTION INT WORKOWNER/IP WITHIN THE RESION. 2. ALL WORK: GRALL DE FERTORED TO NACCROPANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND THAVAM MS; 3. CONTRACTOR SHALL VERIEY LL CONDITIONS AND DIMENSIONS AT SITE BEFORE DEGINING CONSTRUCTION, AND DECREPANCIES SHALL BE REFORTED TO ALTERNATIVE DESIGNS INC, FOR JISTIFICATION AND OR CORRECTION BEFORE PROCEEDING WITH MORK.	 THE OWNER AND CONTRACTOR SHALL HOLD HARVLESS THE DESIGNER FROM AND ASAINST ALL CLAINS, DAMAGES, LOSSES AND EXPENSES (INCLIDING LEGAL FEES) ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE MORK BY THE CONTRACTOR. ALL DIPENSIONS SHOLD BE READ OR CALCULATED AND NEWER SCALED. ALL DIPENSIONS SHOLD BE READ OR CALCULATED AND NEWER SCALED. ALL DIPENSIONS SHOLD BE READ OR CALCULATED AND NEWER SCALED. ALL DIPENSIONS SHOLD BE READ OR CALCULATED AND NEWER SCALED. ALL DIPENSIONS SHOLD BE READ OR CALCULATED AND NEWER SCALED. ALL DIPENSIONS AND CONDITIONS MAT BE VERSIFIED IN THE HELD BY THE CONTRACTOR. ANY DISCEPTANCIES SHALL BE REAGENT TO THE ATTENTION OF THE DESIGNER OR STRUCTURAL DIMETER BEFORE PROCEEDING. IN THE ENERT HALL DE ROUTIFIED IMEDIATELY FOR CONSULTATION. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SPECIFICATIONS, AND DETAILS, THE DESIGNER OR STRUCTURAL DESIGNER SHALL BE ROUTIFIED IMEDIATELY FOR CONSULTATION. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOW, THE DESIGNER OR STRUCTURAL DISINFER SHALL BE NOTIFIED DETECTS IN THAN SHOW. THE DESIGNER OR NOT CONFORMACE INTIT THESE PLANS EXCEPT UPON THE WITTEN APPROVAL OF THE DESIGNER OR BIGHERE ON RECORD. ALTERNATIVE DESIGNE ASDIES NO LUBBILITY FOR NORK PERFORMED WITHOUT AN ACCEPTRALE PROGRAM OF TESTING AND INGERCTION AS APPROVED BY THE INSTITUT ANACCEPTRALE PROGRAM OF TESTING AND INGERCTION AS APPROVED BY THE DISINGER ON RECORD. DIRBERCONCTION OF DESIGNER PLANS AND STRUCTURAL DRAWINGS FOR SHOP DRAWINGS IS NOT PERMITED. B. SECTIONS, DETAILS, NOTES, HETHODS, OR MATERIALS SHOWN AND/OR NOTED ON ANY FLAN, SECTIONS, DETAILS, NOTES, HETHODS, OR MATERIALS SHOWN AND/OR NOTED ON ANY FLAN, SECTIONS, DETAILS, NOTES, HETHODS, OR MATERIALS SHOWN AND/OR NOTED ON ANY FLAN, SECTIONS, DETAILS, NOTES, HETHODS, OR MATERIALS SHOWN AND/OR NOTED ON ANY FLAN, SECTIONS, DETAILS, NOTES, HETHODS, OR MATERIALS SHOWN AND/OR NOTED ON ANY FLAN, SECT	SIZE NON-DRG 2 - 2 × 6 6 '-0' 2 - 2 × 8 8 '-0' 3 - 2 × 8 10'-0' 2 - 2 × 10 12'-0' 2 - 2 × 12 16'-0' PROVIDE DBL<
FORDATIONS. I. FORMATIONS CONSIST OF CONTINUOUS FOOTINGS ASSUMED TO BEAR ON COMPACTED STRUCTRAL, FLL PLACED ON UNDISTIRBED NATURAL SOIL HAVING AN ASSIMED ALLOHABLE BEARING PRESSURE OF 2020 PSF (TO BE VERIFIED BY BUILDER), IF THE SOIL AT BEARING DEPTH IS DISTURBED OR THE ACTUAL ALLOHABLE BEARING PRESSURE IS LESS THAN 2500 PSF, THEN A QUALIFED SCOTECHNICAL INSIDES SHALL BE CONSIST FRANKERS 2. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER SUPPORTED MEMBERS. 3. THE BOTTOM PERIMETER FORDADATIONS SHALL BE DESIGN FROST DEPTH BELON FINISHED GRADE.	II. NO BARS SHALL BE OUT OR OHITTED IN THE FIELD BECAUSE OF SLEEVES, DUCT OPENINGS, OR RECESSES, BARS HAY BE HOVED ASIDE WITHOUT CHANGE IN LEVEL WITH THE PRIOR APPROVAL OF STRUCTIRAL BHOMEER. 12. ANCHOR BOLT HATERIAL SHALL CONFORM TO ASIM A30, A307, OR BETTER, AND MEET IRC 2018 CODE. MOOD 1. MORK SHALL BE IN ACCORDANCE WITH THE AMERICAN HOOD COUNCIL, INSU/AF4PA,	A. ALL ROOF TRESSES SHALL BE DESIGN FOR THE POLLOWING IMPORT LOADS WITH SUZYOR SUZYMAN BEARING, COORDINALE TRUSS BEARING IMTIR BEARING IMTL FRAMEIN INDTH: A SHOR ILVE LOAD GROUD DOWN LOAD X OT <u>XXX</u> PSF B. BOTTOM GROUD LIVE LOAD (ATTIC). 20 PSF C. TOP GROUD DEAD LOAD. 10 PSF D. BOTTOM GROUD DEAD LOAD. 10 PSF	MARK att MODEL NUME A 2452-2 E B 2452 E B 2452 E C 28410 D 4086-2 D
 4. THE BOTTOM 3 INCHES OF FOOTING EXCAVATIONS SHALL DE FINISHED BY HAND SHOVEL. 5. FINISH EXTERIOR GRADE SHALL BE AT LEAST B* BELOWI TOP OF FONDATION WALL. 6. FLACE BACKFILL SINULTANEOUSLY ON BOTH SIDES OF WALLS TO THE GRADES INDICATED, 1. INDRACEDANDALANCED FONDATION WALLS. MAXIMU MARAANCED FILL 24* WITTOT DESIGNEMENERS INSTANTAPROVAL GRAVANDLE GRAVES GLAD ON GRADE MAREE BACKFILL WILL DE MORE THAN 24* BELOWI TOP OF SLAB) (SEE RAGA13) (ENGINEER DESIGN REGUIRED WHEN X40*) 8. IVE RECOMPROT INAT INALCOUT AND KNEEMALL STYLE BASEMENTS DE REVIEWED. (IE. WHEREVER PREINETER FONDATION WALLS ARE NOT FILL HEIGHT). 9. IVE RECOMPROT INAT INALCOUT AND KNEEMALL STYLE BASEMENTS DE REVIEWED. (IE. WHEREVER PREINETER FONDATION WALLS ARE NOT FILL HEIGHT). 9. FROMMORE REINET FONDATION WALLS ARE NOT FILL HEIGHT). 9. FROMMORE REINET FONDATION WALLS ARE NOT FILL HEIGHT). 9. FROMMORE REINETER FONDATION WALLS ARE NOT FILL BEGNED FONDATIONS ARE NOT ALLONED. 	NATIONAL DESIGN SPECIFICATION FOR NOOD CONSTRUCTION 2012 (NDS)" NELLIDING TOESIGN VALIES FOR NOOD CONSTRUCTION, VAINTONAL PORSET PROTECTION ASSOCIATION 2. ALL LIMPER SHULL BE NEH AND STRAKEM AS DESCRIBED IN STANDARD RRADING RAIDES FOR NORTH-RATERNI LIMPER" BY NORTH-RATERNI LIMBER MANHACTURERS ASSOCIATION 3. NEH HOOD FOR STRUCTIRAL USE SHALL HAVE A MOISTURE CANTENT AS SPECIFIED IN THE "NATIONAL DESIGN SPECIFICATION FOR NOOD CONSTRUCTION" 4. FRANNING FOR MALLS AND JOISTS SHALL BE SPRUCEPINE -FIR NO, (MO, 2 OR BETTER, NALES NOTED OTHERWEE, DIMENSIONAL LIMBER REPRESENTS NOMINAL SIZES, 5. SHEATING FARE, SAULL BE NARED IN THE THE AREACOLATION (APA)	 TRESS SHALL BE DESKREP FOR AN IMPALANCED INFORM SKINI LOADING AS HELL AS ANY DRIFTED VALLEY SKINI LOADING CONDITIONS, AND HIND LOADING AS SPECIFIED IN THE PROJECT BUILDING CODE. FRE-ENGINEERED ROOF TRUESES TO BE AFFROND DY THE STRUCTURAL ENGINEER. TRUES SHOP DRIAMINGS SHALL BE DESKRED, STANFED, AND SUBMITED DY A LUCRIED PROFESSIONAL ENGINEER CAULTERD TO PREVOR THE WORK IN THE STATE HERE THE PROJECT IS LOCATED. SUBMITTAL SHALL INCLUDE ALL LOADING COMENNATIONS, A FULL REPORT FOR EACH TRUES, MD TEMPORARY TAD FERNIANEN LATERAL TRUES RESTRUKT LAYOUT AND DETAILS. THE CONTRACTOR SHALL WORK IN THE LOADING OF ALL VENTS, STAKES, RISERS, DRAINS, ETC. DEFORE TRUESES ARE FIND IN FLACE. 	E 36' × 60' F 26' × 56' G H J K L L
IC/SUB-SOL SHALL HAVE 344 * IMAXIMMA AGGREGATE MITIMI 12* OF SLAD ON GRADE II, AXIAR BOLTS, UZ* X 4* (MIN, T* EMBEDHENT) 0 4* CC AND BETWEEN 6-12* OF EACH EDD, (R403).6) I2.DAMP PROOFING ALVAYS REQUIRED BELOW GRADE WHEN INTERIOR SPACE IS CREATED (MER RK06) I3.IMATERPROOFING REQUIRED WHEN INTERIOR SPACE CREATED AND HIGH WATER TABLE OR OTHER CONDITIONS, (MER R406)	 TRADEMARK, MD SHALL HEET THE LATEST US PROJECT STANDARD PS I OR APA PRP - 4:06 PERFORMANCE STANDARDS. ALL MULL SHEATHING PANELS SHALL BE NOMINU. (p.* TIKCK: APA RATED. JULEES OTISSINGE NOTED, PASIES INTER DC CARACINAL STANDARD AT 6' OC AT PANEL PERMETER SUPPORTED EDGES AND L2' OC AT IMTERIOR INTERFEDATE SUPPORTS (HELD). 1 - 3:0' HIN. FASTEDER PERFERATION, LAT HALL NITH RESURPENTS OF IRC 6:04. ALL ROOT SHEATHING PANELS SHALL BE 50' TAKK MULES KOTED OTHERWISE, C-D EXTERIOR GRADE, APA RATED EDGOSKET INFERING FOR OTHER SUPPORTS DEGES AND 'OC AT INTERIOR NULLS SHALED AT 0: AT PANEL FIRMETER SUPPORTED EDGES AND 'OC AT INTERIOR 	ALL TRISES SHALL HAVE HRRECAME CLIPS INSTALLED AT EACH BID OF EACH TRISE IN ORDER TO RREVENT LIFT. 4. ALL TRISES SOME CONNECTION DESIGNS ARE RESPONSEDLITY OF THE TRISES MANUFACTURES. 10. ALL TRISES DESIGNED TO TRISE DESIGNED REACTING AND TRISE RESTRAINT (INCLUDING DETAILS) SHALL BE SHOWN ON TRISES DESIGNED RAADING AND TRISE RESTRAINT (INCLUDING DETAILS) SHALL BE SHOW ON TRISES DESIGNED RAADING AND TRISE RECTOR DRAWNING. MABONRY. 1. CONCRETE MASONRY (INTS (CAN) SHALL BE NORMAL TRICKNESS NOTED OTHERWISE.	NOTES. I. REO TO BE DETERMINED 2. BEDROCH MINDOVES TO 3. IN ACCORDANCE WITH 1. MORE THAN 12" ABOV PART OF THE CLEAR C 4. WINDOVES ARE BASED C
 CONCRETE SHULL BE A MIX DESIGNED FOR LITHATE STRENGTH IN ACCORDANCE WITH ACI 2011 TO ACHIEVE THE DESIGNED COMPRESENCE STRENGTH, STANDARD MINHM 3000 PM FOR POINTIES AND INTEROR FLOOR, 3300 PM I RR MULLS AND GRANGE LANG, RK022) CORCRETE SHULL NOT BE CAST IN MATER OR ON PROZEN REXIDE. CONCRETE SHULL NOT BE EXPOSED TO MATE (IS RAND RINKS BETTING PETRO. CORCRETE SHULL BE LANDE DATED VEROR MARKER, RK002) CORCRETE SHULL BE LANDE DATED VEROR MARKER, RK002) CORCRETE RIVEN AND SLASS SHULL BE SHOTTH AND LANS THROUGH LONGRETE MITHORAMONE AND AFRONDE VEROR MARKER, RK002) TOP OF FORDATION MULLS AND SLASS SHULL BE SHOTTH AND LAYED. NO PIFE GREATER TRAIN 4" DIAHETER WITH AFTRORRIATE SLEEVE SHULL BOD SPACED A MINIMA THREE DIAHETERS APART. NO PIFE GREATER TRAIN 4" DIAHETER WITH AFTRORRIATE SLEEVE SHULL BE AND SPACED A MINIMA THREE DIAHETERS APART. NO PIFE GREATER TRAIN 4" DIAHETER WITH AFTRORRIATE SLEEVE SHULL BE TRAINED SHULL BE THRONG HAND STAND THREE DIAHETERS APART. NO PIFE GREATER TRAIN 4" DIAHETER WITH AFTRORRIATE SLEEVE SHULL BE LANDED TO DEVELOE THE TRUIT DESIGN CAPACITY OF THE SHULLER FRANC. CONSTRUCTION JOINTS SHULL BE FORTED WITH A KEY, MOR REINFORCHS SHULL BE LANDED TO DEVELOE THE TRUIT DESIGN CAPACITY OF THE SHULLER BAR. DEPOSED COLORERTE SHULL BE REBERD IMMEDIATELY AFTER REMOVAL OF FORMS AND SAMP THE FORMET TO THRE. CONSTRUCTION JOINTS SHULL BE LOCATED, SLEED, AND REINFORCED (NITH THE EXCEPTION OF SHULL DETBING ARAVITY OF THE SHULLER BAR. OPENINGS IN CONCRETE HALLS SHALL BE LOCATED, SLEED, AND REINFORCED (NITH THE EXCEPTION OF SHALL DETBING ARAVITY OF THE SHULLER BAR. OPENINGS IN CONCRETE HALLS SHALL BE LOCATED, SLEED, AND REINFORCED (NITH THE EXCEPTION OF SHALL DETBINGT AND REINFORCED (NITH THE EXCEPTION OF SHALL DETBINGT AND REINFORCED (NITH THE EXCEPTION OF SHALL DETBINGT AND AND AND AND AND AND ATTRAINED READINGT AND AL	 INTERPETANTE SUPPORTS (FIELD), I. July INIT FASTEREY PRETRATION. LAY ROOF SHEATING INITE DATABASE AND INFORMATION IN SUPPORT INDEPENS. INDOD TO STEEL AND HOOD TO HOOD BOLTED CONNECTORS SHALL BE MADE WITH ASTM AGOT BOLTS MITH FLAT INVERSES, BOLT HOLES IN HOOD SHALL BE (July LARGER THAN THE BOLT. HOOD TAULERS SHALL BE FASTERED MITI July IN IN ADJIS STAGGERED AT 20° CC INLESS OTHERWISE HOTED. I. PLATE TO STILD, DIRECT. 2 - 800 III. STID TO PLATE, TOBINLE, HEATINER CONCRETE, OR MASORYT SHALL BE PRESSURE TREATED SOTHERN HOR IN 2, OR BETTER AND APPROVED FOR THE APPLICATION. III. STID TO PLATE, TOBINLE, HEATINER CONCRETE, OR MASORYT SHALL BE PRESSURE TREATED SOTHERN HOR IN 2, OR BETTER AND APPROVED FOR THE APPLICATION. I. BRACKS. THE PERSMANENT LATERUL BRACKING SYSTEM INLICIDES FLYTHOOD, MALL AND ROOF SHATHING MITH FASTENIS AND LAYOUT AS DEFINED BY. SECTION 402. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REGURED TO LATERALLY SUPPORT THE STRUCTURE DRING CONSTRUCTION. I.B. BRACKS. THISTER, MAN FASTER AND SCRIES IN THE CONDUNATIONS OF L-3/MEDIDERS, FULLOW HAVEAUTREND FOR CLOSER. CONSTRUCTION I.B. BRACKS. TO THE MAY LAYOUT AS DEFINED BY. SECTION 402. CONTRACTOR SHALL PROVIDE EDIMODRARY BRACKING STSTEM HOMED AND RECOMBINATIONS OF L-3/MEDIDERS AT INTROVIDE LITERAL SUPPORT AT ALL BRANKS FOINTS AND ALONG CONSTRUCTION I.B. BRACKS. TO HISTORY AND SO THE AND SCRIES LISTED OR APPROVED EDIMODRARY BRACKLESS GUIDELINES FOR MULTIFLE MEDISES OF LOAD FOR SECTION DATE AND FOR SUPER SHATE DE STRUCTURE DO RAMATORS OF L-3/MEDIDERS FULLOW HAVEACTREDES SUPERS AND RE COMBINATORS OF L-3/MEDIDERS FULLOW HAVEACTREDES SUPERS SHATE COMBINATORS OF L-3/MEDIDERS FOR LLOADED BEAKS. SUPPONDE SUPPONDE DEVENT, AND INSTALLED IN ACCORDANCE MITH THE MANDRACTRERS'S RECOMBERION CONNECTORS SHALL BE HAVEACTORED BY SHAPSON STRUCHSES SECONDEDATIONS, MULDING FASTEREDS, SUPERES, SUPPON STRUCHSES SECONDEDATIONS, MULDING FASTEREDS, SUPERES, SUPPON STRUCHSES SECONDEDATIONS, MULDING FASTEREDS, SUPERES, S	 MAGRAY CONSTRUCTION SIMUL CONFORM TO BUILDING CODE REGIMENTERS FOR MAGORY STRUCTURES (ACI 380/AGCE STING 402) SPECIFIED MAGORY COMPRESENT STRIBUTIN, PM = ECOPSI. INCLUM LOAD BEARING CAU SIMUL HAVE THE FOLLOWING PROPERTIES. ASTM C40, TYTE I, GROUDE H (ACRYAL MERINI) THIT A MINIMA CONFRESSING STRIBUTIN OF 2000 PSI ACCORDING TO ASTM C40, ONED TRY REGISTI OVER LEPCY: AND MARIAM MOISTURE ABSORDMON OF ISPYC. MORTAR SIMUL EX ASTM C400, TYTE IS WITH 20 DAY COMPRESSING STRIBUTIN OF 2000PSI. MX MORTAR NATERIALS TO FROUDE MORTAR CHEESING STRUCTURE STREAMS COMPRESSIVE STREAMS IN HEAT ISTBUD IN ACCORDINGLY BITTADOUTS A 2000PSI COMPRESSIVE STREAMS HEAT THEN IN ADD AND COMPRESSIVE STREAMS IN TEST ASTM C180. REGUT SIMUL EE ASTM C476, FINE GROUT WITH MINIMAL 20 DAY COMPRESSIVE STREAMS IN TEST ASTM C180. REGUT SIMUL EE ASTM C476, FINE GROUT WITH MINIMAL 20 DAY COMPRESSIVE STREAMS OF 2000PSI. WERTCH, AND HORIZONTAL DEFORED REINFORCEDENT SIMUL EE ASTM AGE GR 60 AND HORIZONTAL. DURI SIMI C463 IN STREEMED. WERTCH, AND HORIZONTAL DEFORED REINFORCEDENT SIMUL EE ASTM AGE GR 60 AND HORIZONTAL LOWIT REINFORCEDENT SIALL EE ASTM AGE GR 60 AND HORIZONTAL DURI REINFORCEDENT SIALL EE ASTM AGE GR 60 AND HORIZONTAL DURI REINFORCEDENT SIALL EE ASTM AGE GR 60 AND HORIZONTAL DURI REINFORCEDENT SIALL EE ASTM AGE GR 60 AND HORIZONTAL DURI REINFORCEDENT SIALL EE ASTM AGE GR 60 AND HORIZONTAL DURI REINFORCEDENT SIALL EE ASTM AGE GR 60 AND HORIZONTAL DURI REINFORCEDENT SIALL EE ASTM AGE GR 60 AND HORIZONTAL DURI REINFORCEDENT SIALL EE ASTM AGE GR 60 AND HORIZONTAL DURI REINFORCEDENT SIALL EE ASTM AGE GR 60 AND HORIZONTAL DURI REINFORCEDENT SIALL EE ASTM AGE SIAL DE GROUT FULLING SIGN CORES AND DOND DEAKES INTI HORIZONES SIALD EE THEOL Y MITH GROUT, FLUING SIGN CORES AND DOND DEAKES INTI HORIZANE STREAMS DROTTINGS, AND SIGN CORES AND DOND DEAKES INTI HORIZANE SIGNEL CONTROL TO AND SIGN CORES AND DOND DEAKES INTI HORIZANE SIGNEL CONTROL TO THE SCAEDULE	MARK GTY SIZE I 4'0 × 6'0 2 2'6 × 6'0 3 2'4 × 6'0 4 6'0 × 6'0 4 6'0 × 6'0 5 3'0 × 6'0 5 3'0 × 6'0 6 3'0 × 6'0 6 3'0 × 6'0 6 3'0 × 6'0 7 2'0 × 6'0 6 1'6 × 6'0 8 1'6 × 6'0 1' 1' 10 1 1 1'
REINFORCING STEEL 1. REINFORCING STEEL SHALL BE KIN STEEL BAR, FREE FROM LOOSE REST AND SCALE, AND CONFORMING TO AST MADES GR GG. 2. STANDARD MINIMEN FORMATION FRONTING: IN* HIDE X IS* HIGH HITH NO REINFORCING. 3. STANDARD MINIMEN FORMATION FRONTING: IN* HIDE X IS* HIGH HITH NO REINFORCING. 3. STANDARD MINIMEN VERTICAL FORMATION HOUTHS. WALL HORIZONTAL 1. STANDARD MINIMEN VERTICAL FORMATION HOUTHS. 8' T 1. MACRET HORIZONTAL 1. BILL THEOREGA RECALL 21 VERTICAL * 1. BILL THEOREGANE RECALL 21 VERTICAL * 1. BILL THEOREGANE RECALL 21 VERTICAL * 1. BILL THEOREGANE RECALL 25 Co.* 1. BILL THEOREGANE RECALL 25 Co.* 1. BILL THEOREGANE RECALL 25 Co.* 1. CO* 1. BILL THEOREGANE ROT RECALL 25 1. PADERESANCE STEEL CO.CO. CO.* 1. AT THEORE SHEED RECEARCH COME RECALL 25 Co.* 1. AT THEORE SHEED RECEARCH COME RECALL 25 Co.* 1. AT OF HULLS, ADDITIONAL DENDERSING REGALINED DENDED IN ALL	 NELOWEDRAMONE, INCLURINE TARGETED: SIZED METAL JOIST HANGERS. B. ALLE HRAVING TO HAVE APPROXIMATLY SIZED METAL JOIST HANGERS. I. LATERAL RESTRAINT REGURED AT BIOS OF FLOOR FRAMING SOLID BLOCK OF SAME MATERIAL (REGOZI) TI. BRUDENK OR CONT. INS DEALE WAILED TO INDERSIDE OF FLOOR FRAMING FEBUIRED AT 6' INTERVALS (REGOZI) I. READERS. DEFAULT MAX. 46' SPAN UNLESS FORT LOAD FROM ABOVE OR LATERAL BRACING PESURPENTIS SEE RESOZIS), I. INTERIOR. (2) 200 I. STIEDOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. INTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. INTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. INTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. INTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. INTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. ANTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. ANTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. ANTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. ANTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. ANTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. ANTERIOR. (2) 200 (INT 12-12' RIGHT FOAM INGLATION). I. PRODER TO DED TO DISCUSSION AND DERIVED BRACING AND LONG ROOT I. ANTERRACELING JOIST THELE CONCECTIONS (VALL TED CLOSE ON TRACE NOTH RIGHT REDOZIO DE TARGETED HOLD TRASEGES I. ALL PRE-BISINEERED FOR DETAIL CONCECTION FOAM IND ANGLITHI2002 TANTOWL I. DEMANDARIST FOR METAL PLATE CONCECTION FOAM IND TRACES ON TRASES INTO THE DESIDE CONCERNENT IN ACCORDANCE HERE OF THE TREE DEGAUREST FOR METAL RESTRAINT IN ACCORDANCE AND THE RESOLIDATION OF THE LOOD TRASEGES. I. THE CONTRACTOR SHALL BESKE PROPER HANDLING, BRACING, AND LATERAL RESTRAINT IN ACCORDANCE AND THE RESOLIDATION AND TRASEGE AND LONG TAXEDES FOR THE TO TO THE DESIGNMENT TRASE BRACHTER TO AND DEVENTION OF TREE LOOD TRASEGES. I. THE CONTRACTOR S	 BLOWLEND, SALL BE FLACED USING LOW OR HIGH LET GROUTING PROCEDURES CONFORMING TO ACUACE. TERMINATE GROUT FOURS I-1/2' BELOW TOP CORREC OF FLACEMENT. REINFORCING SHALL BE SICIRED AT WIND MY GROUP OF CONFIDENT ALL MARKED SHALL BE SICIRED AT WIND MY GROUP OF ALL MALERED BY WREE BOND OR APPROVED BATVALENT. THE PROCEDURES IS MALL ALLOW FOR GUIDING THE SALLED REPORTING BY USING FEASING POINT OF THE LIKENED BY WREE BOND OR APPROVED BATVALENT. THE PROCEDURES IS MALL ALLOW FOR GUIDING THE SALLED REPORCED DERIVED FORM THE EXAMINE. IN ALLOW FOR GUIDING THE SALLED REPORTING BY USING CONSTRUCTION. BRACE SPACING SHALL NOT BRACED TEN THE'S THE MALL THICKNESS BIT NOT LESS THAN THE PROCEDURES LISTED WORK NAT-THE'S T DATES THE MALL THICKNESS BIT NOT LESS THAN THE PROCEDURES LISTED WORK NAT-THE'S T DATES THE MALL THICKNESS BIT NOT LESS THAN THE PROCEDURES LISTED WORK NAT-THE'S T DATES THE MALL THICKNESS BIT NOT LESS THAN THE PROCEDURES LISTED WORK NAT-THE'S T DATES THE MALL THICKNESS BIT NOT LESS THAN THE PROCEDURES LISTED WORK NAT-THE'S T DATES THE MALL THICKNESS BIT NOT LESS THAN THE PROCEDURES LISTED WORK NAT-THE'S T DATES THE MALL THICKNESS BIT NOT LESS THAN THE PROCEDURES LISTED WORK NAT-THE'S T DATES THE MALL THE CONFERENCE OF THE TYPICAL MALL REPORCHS SHALL BE BROUTED SOLD. AND MAICH THE OWNETER OF THE TYPICAL MALL REPORCHS. FROLDEN SECTION 302. A FEM COMMON CRITICAL LOCATIONS FOLLOW A GARAGERESIDELE OR CANADACENTIC SEPARATION 15 ON THE'S A OTHER MALL. A GARAGERESIDELE OR CANNED ALTONE STANS REQUIRES IN 12' OFTSM MAR THANLL A GARAGEREST DATE COLLING SHIEL DATE DATE BADY REGULES TON 12' OFTSM MR 18:00:11 C. FREELOSCHING SHE SAND RUMES TANDE STANS REGULES TON 12' OFTSM MAD' OFTSM MAD FREESLASSAMERAL HOOL IF SECRE ARE ALL ACCEPTABLE 18:302.110 10 DURLEY? FAMILY STANDARD SEPARATION IS BY TIFE X BOTH SIDES. (R302.3) 	

HEADER SCHEDULE
ALLOWABLE SPAN 28' BLDG WIDTH

ROOF ONLY	I FL # ROOF	2 FL # ROOF
4'-0"	NA	NA
5'-2"	4'-0'	NA
6'-5*	5'-8"	5'-1"
6'-3*	5'-6*	4'-11"
7'-3'	6'-5"	5'-4"

7'-3" 6'-

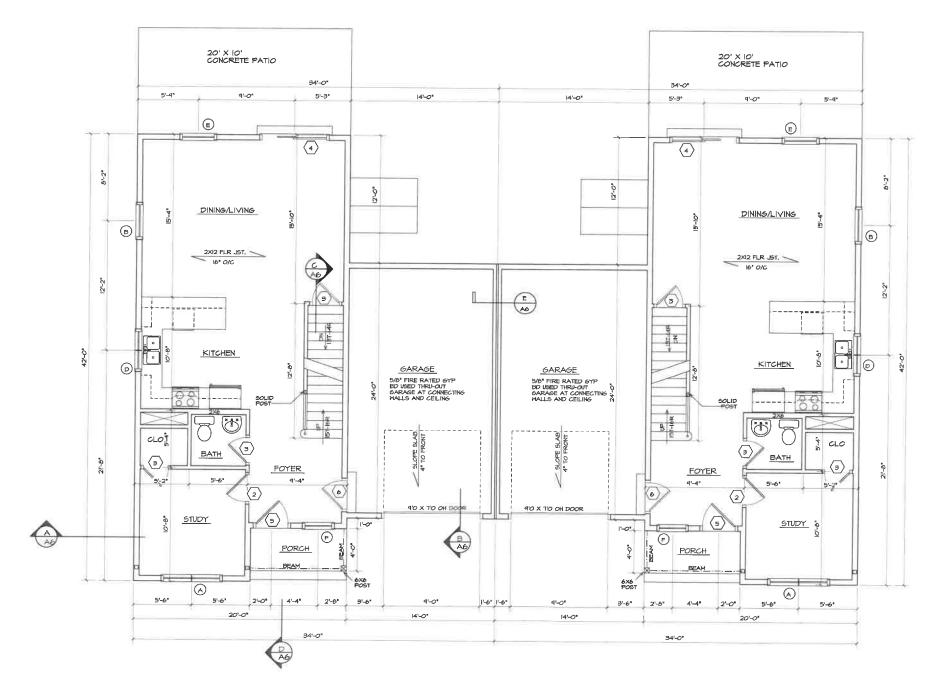
WINDOW SCHEDULE				
UMBER	RSO	NOTES		
		MULLION		
		DOUBLE HUNS		
		DOUBLE HUNG . STAIRS		
	3'-11 3/4" × 3'-6"	KITCHEN CASEMENT		
	36" X 80"	MINDOW PANEL		
	26" × 56"	MINDOW PANEL		

NED BY WINDOW HANNFACTURER. TO MEET EGRESS IN ILSC/2016/1912.2. INFERE THE OPENING OF AN OPERABLE WINDOW IS SOVE THE EXT. FINISHED GRADE OR EXT. DECK BELOW, THE LOVEST R OPENING IS TO BE A NIN. OF 24'A BAY. THE FINI FLR. R OPENING IS TO BE A NIN. OF 24'A BAY. THE FINI FLR. D ON ANDERSEN 200 SERIES TILT-MASH MODEL NUMBERS

BIFOLD
 INTERIOR
 INTERIOR
EXT. SLIDER DOOR
ENTRY DOOR
FIRERATED DOOR
STL. INSUL,
INTERIOR

ETERMINED BY DOOR MANUFACTURER.

Alternative Designs Inc. Sectorative designs 9 004 Granite Street Marcheters, NH 03101 phom: (603) 645-6388 far: (603) 645-6388
These draings specification, and the design conversion of the acceleration property of Alternative Design late. Aug form of reproduction design is expressly prohibled A.D.1, © 2023
a al 15 15 15 15 15 15 15 15 15 15 15 15 15
Contractor to chock a verity all before contraction to the structure before contraction to the struct All contraction alog te in struct All contraction and the struct were transitioned of the behavior codes, infollower copilocologic
REVISIONS
23-282 AUG 2023 SHEET 2 OF 7
A2



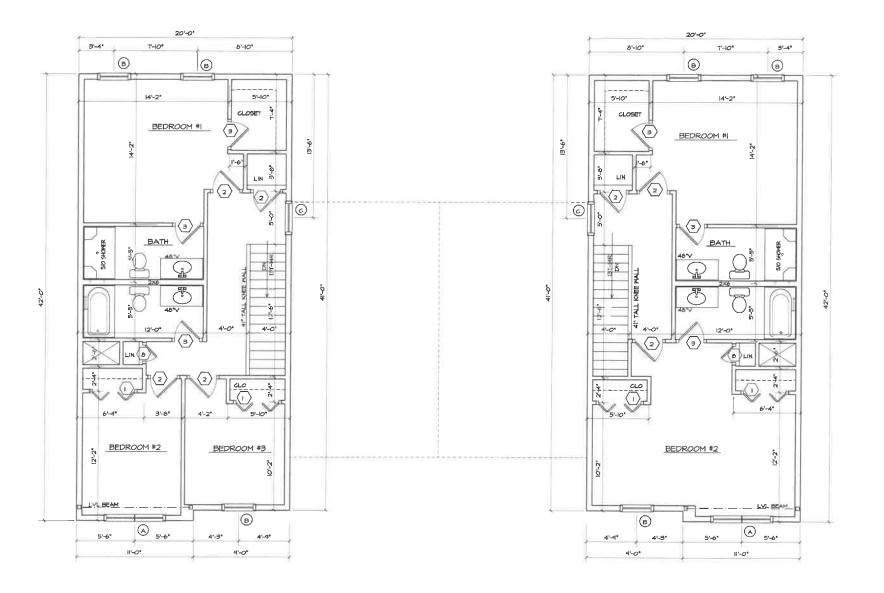
PIRST FLOOR PLAN (STANDARD) SCALE: 1/4* = 1+0*



WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, VSE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2

Alternative Designs Inc resultantive/Commercia Design 94 Old Commercia
Manchester, NH 03101 phone: (000) 645-0385 fax: (600) 645-6010 wappage of the state
contractor to check 4 worky cal hereacon 4 structural controlers afree construction. Il construction feal be in survet construction with the struct of construction with the struction without groutes, whichever applicable.
८ स के र र र के के के REVISIONS
23-282 AUG 2023 SHEET 3 OF 1
A3



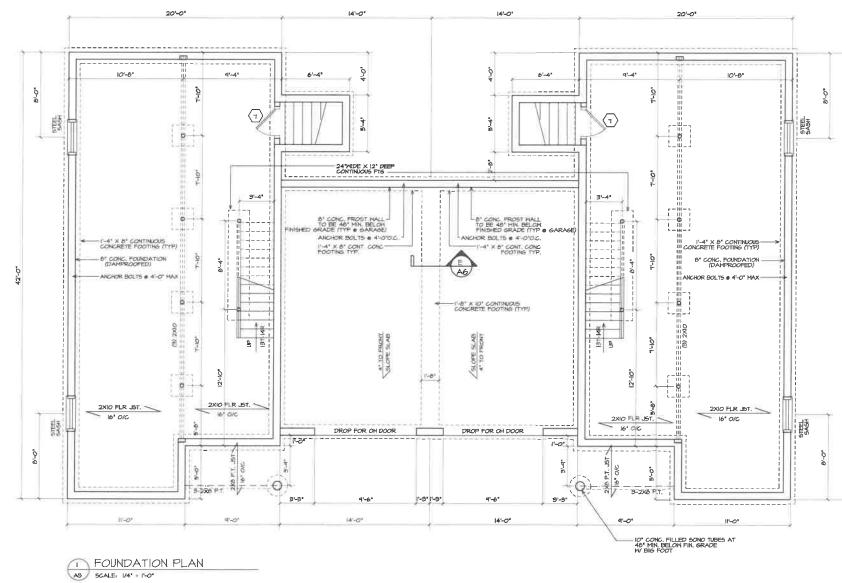


NOTE: I. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS

MIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORRERS, AT CORRERS WITH LESS THAN 46" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2

Alternative Designs Inc. Machaeta, NH (03)0 94 (Old Granite Street Mancheter, NH (03)01 phore: (603) 665-088 fax: (603) 665-088
These drankys specifications, and by deaps conveyed are be existent property of Anamaters and an approach of Any ions of reproduction of deap is expressing protection deap is expressing protection ADI (6, 2025
Contractor to check 4 vertig all menore at a short area of a before construction. In extra- tion construction and live in sets 1 compliance with the State of the Hompitan or Hessiconsetts Billiong Codes, which ever applicable.
REVISIONS
23-282 Alig 2023 Sheet 4 OF 7
A4





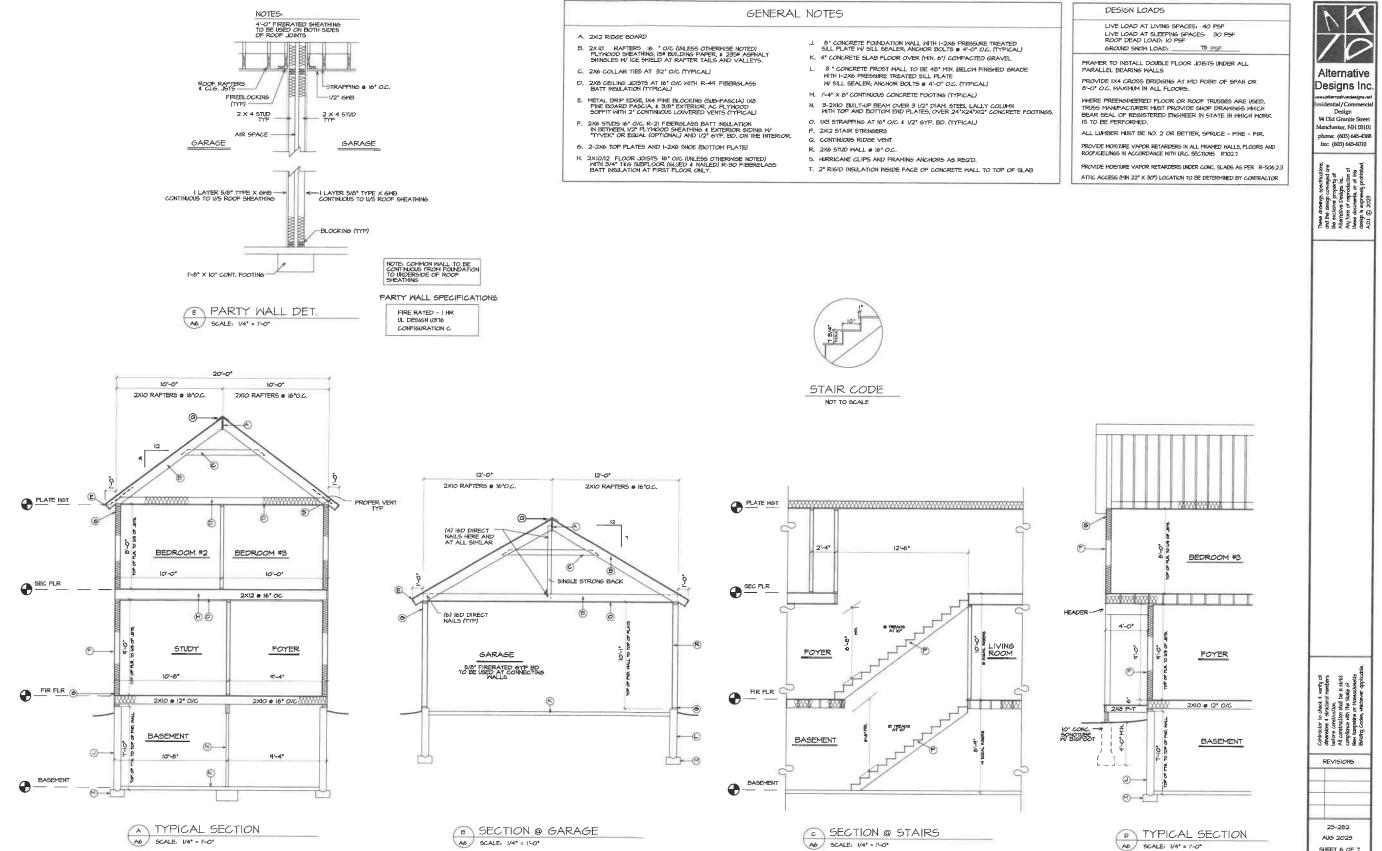
NOTE: SEE DRAWING A2 FOR CONCRETE NOTES AND ADDITIONAL INFORMATION



GENERAL NOTES

CONC BULKHEAD SIZE AND LOCATION TO BE DETERMINED BY SITE CONDITIONS AND/OR CONTRACTOR

WALKOUTS AS PER SITE CONDITIONS AND CONTRACTOR STEEL SASH WINDOW SIZES AND LOCATIONS TO BE DETERMINED BY CONTRACTOR



A Di Ma ph	Alte esi adenti tutori	gr al/C Cresi Gres ster, (600 03)	a Som nite	tiv 10	Ve nc rect 3101 4388
These drawings, specifications, In	-	-	Any form of reproduction of	Treese accumenta, or of the	ADI. © 2023
ock t verify all	dimensions (sinuctural mambers before construction.	aretruction shall be in strict	pliance with the Scale of	tranpours of increased used	and where a second approache.
Contractor to ch	dimens	All of	5	Man	<u> </u>
Contractor to ch	AEA Inters	3 17 510	NG		-
Contractor to ch	REXI and a	3 17 510	NS NS	Man	
u Contractor to ch		3 5 5 20 20 6	2 23	7	

