



Know what's below  
811 before you dig

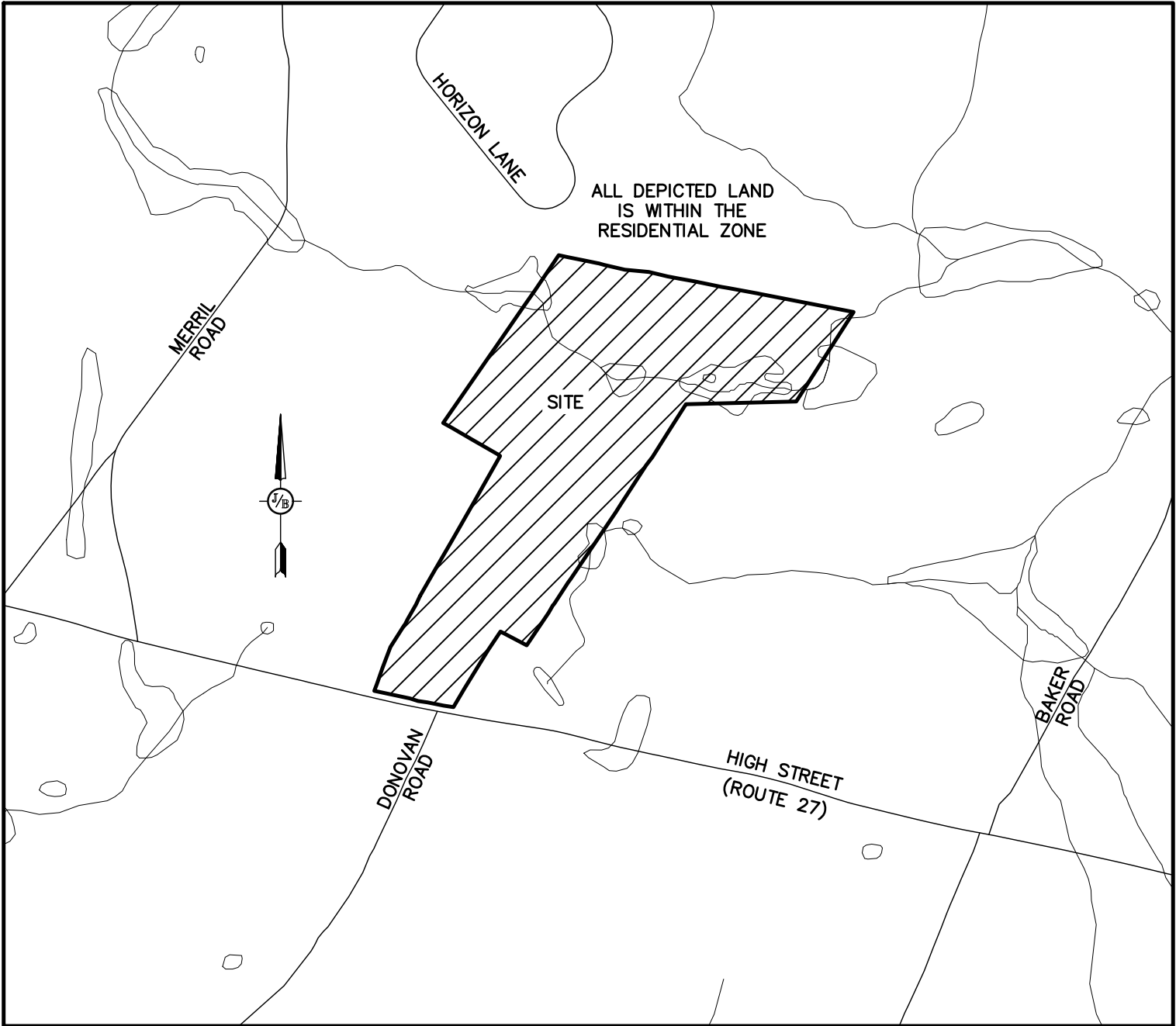
# MULTI-FAMILY DEVELOPMENT

## TAX MAP 405 LOT 48

### 669 HIGH STREET, CANDIA, NH

#### GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINES
		SEBACK LINES
		CENTERLINE
		FRESHWATER WETLANDS LINE
		TREE LINE
		STONEWALL
		FENCE
		SOIL BOUNDARY
		EASEMENT
		MAJOR CONTOUR
		MINOR CONTOUR
		EDGE OF PAVEMENT
		SILT FENCE
		DRAINAGE LINE
		GAS LINE
		WATER LINE
		WATER SERVICE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		UNDERDRAIN
		IRON PIPE/IRON ROD
		DRILL HOLE
		IRON ROD/DRILL HOLE
		STONE/GRANITE BOUND
		SPOT GRADE
		PAVEMENT SPOT GRADE
		CURB SPOT GRADE
		BENCHMARK (TBM)
		DOUBLE POST SIGN
		SINGLE POST SIGN
		WELL
		TEST PIT
		FAILED TEST PIT
		TREES AND BUSHES
		UTILITY POLE
		LIGHT POLES
		DRAIN MANHOLE
		HYDRANT
		WATER GATE
		WATER SHUT OFF
		REDUCER
		SINGLE GRATE CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		TRANSFORMER
		CULVERT W/WINGWALLS
		CULVERT W/FLARED END SECTION
		CULVERT W/STRAIGHT HEADWALL
		STONE CHECK DAM
		DRAINAGE FLOW DIRECTION
		RIPRAP
		FRESHWATER WETLANDS
		STABILIZED CONSTRUCTION ENTRANCE
		CONCRETE
		GRAVEL
		SNOW STORAGE



VICINITY MAP  
SCALE 1" = 1000'

#### SHEET INDEX

CS	COVER SHEET
C1	OVERVIEW EXISTING CONDITIONS PLAN
C2	EXISTING CONDITIONS PLAN
DM1	DEMOLITION PLAN
C3	OVERVIEW SITE PLAN
C4	SITE PLAN
C5	GRADING & DRAINAGE PLAN
C6	UTILITY PLAN
P1	ROAD PLAN & PROFILE
L1	LANDSCAPE PLAN
L2	LIGHTING PLAN
S1-S3	EFFLUENT DISPOSAL DESIGN
D1-D2	DETAIL SHEET
E1	EROSION CONTROL SHEET

#### CIVIL ENGINEER / SURVEYOR

JONES & BEACH ENGINEERS, INC.  
85 PORTSMOUTH AVENUE  
PO BOX 219  
STRATHAM, NH 03885  
(603) 772-4746  
CONTACT: JOSEPH CORONATI  
EMAIL: JCORONATI@JONESANDBEACH.COM

#### WETLAND CONSULTANT

GOVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DRIVE, BUILDING 2, UNIT H  
EXETER, NH 03833-7507  
(603) 778-0644  
CONTACT: JIM GOVE

#### ELECTRIC

EVERSOURCE  
740 N COMMERCIAL ST  
PO BOX 330  
MANCHESTER, NH 03105-0330  
(800) 662-7764

#### TELEPHONE

CONSOLIDATED COMMUNICATIONS  
1575 GREENLAND ROAD  
GREENLAND, NH 03840  
(603) 427-5525  
CONTACT: JOE CONSIDINE

#### CABLE TV

COMCAST COMMUNICATION CORPORATION  
334-B CALEF HIGHWAY  
EPPING, NH 03042-2325  
(603) 679-5695

PROJECT PARCEL  
TOWN OF CANDIA  
TAX MAP 405, LOT 48

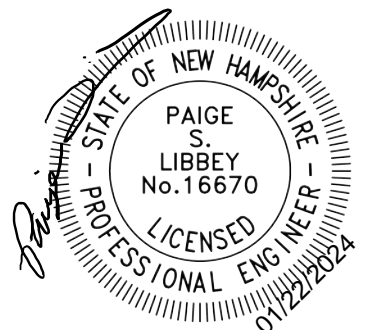
APPLICANT  
BOB CARR  
17 VASSAR STREET  
MANCHESTER, NH 03104  
BK 6150, PG 2657

TOTAL LOT AREA  
87.8 ACRES

APPROVED - CANDIA, NH  
PLANNING BOARD

DATE:

Design: DJM	Draft: KDR	Date: 11/13/23
Checked: JAC	Scale: AS NOTED	Project No.: 22201
Drawing Name: 22201-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
0	11/13/23	ISSUED FOR REVIEW	KDR

Designed and Produced in NH

85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885

*Civil Engineering Services*

603-772-4746  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.	CS
SHEET 1 OF 17 JBE PROJECT NO. 22201	



PLAN REFERENCES:

- "LOT LINE ADJUSTMENT PERIMETER PLAN, ASSESSOR'S MAP 405, LOTS 54.55, & 56, 613 HIGH STREET, CANDIA, NH, LAND OF ROBERT & LISA MARTEL," DATED JUNE 9, 2006. PREPARED BY JAMES E. FRANKLIN, LLC. R.C.R.D. PLAN 35695.
- "PROPERTY SURVEY, LAND OF ROBERT W. BERGEVEN, TRUSTEE OF THE MARILY H. BERGEVIN REVOCABLE TRUST OF 1998, 687 HIGH STREET, CANDIA, NEW HAMPSHIRE," DATED BY H.H. AMSDEN & SONS, DATED JULY 12, 2012. R.C.R.D. PLAN 37304.
- "SUBDIVISION PLAN, ASSESSORS MAP 105 LOT 48, CLAUDIA P. CARR, 669 HIGH STREET, CANDIA, NEW HAMPSHIRE," DATED MAY 17, 2006. PREPARED BY GRANITE STATE SURVEYING. NOT RECORDED.

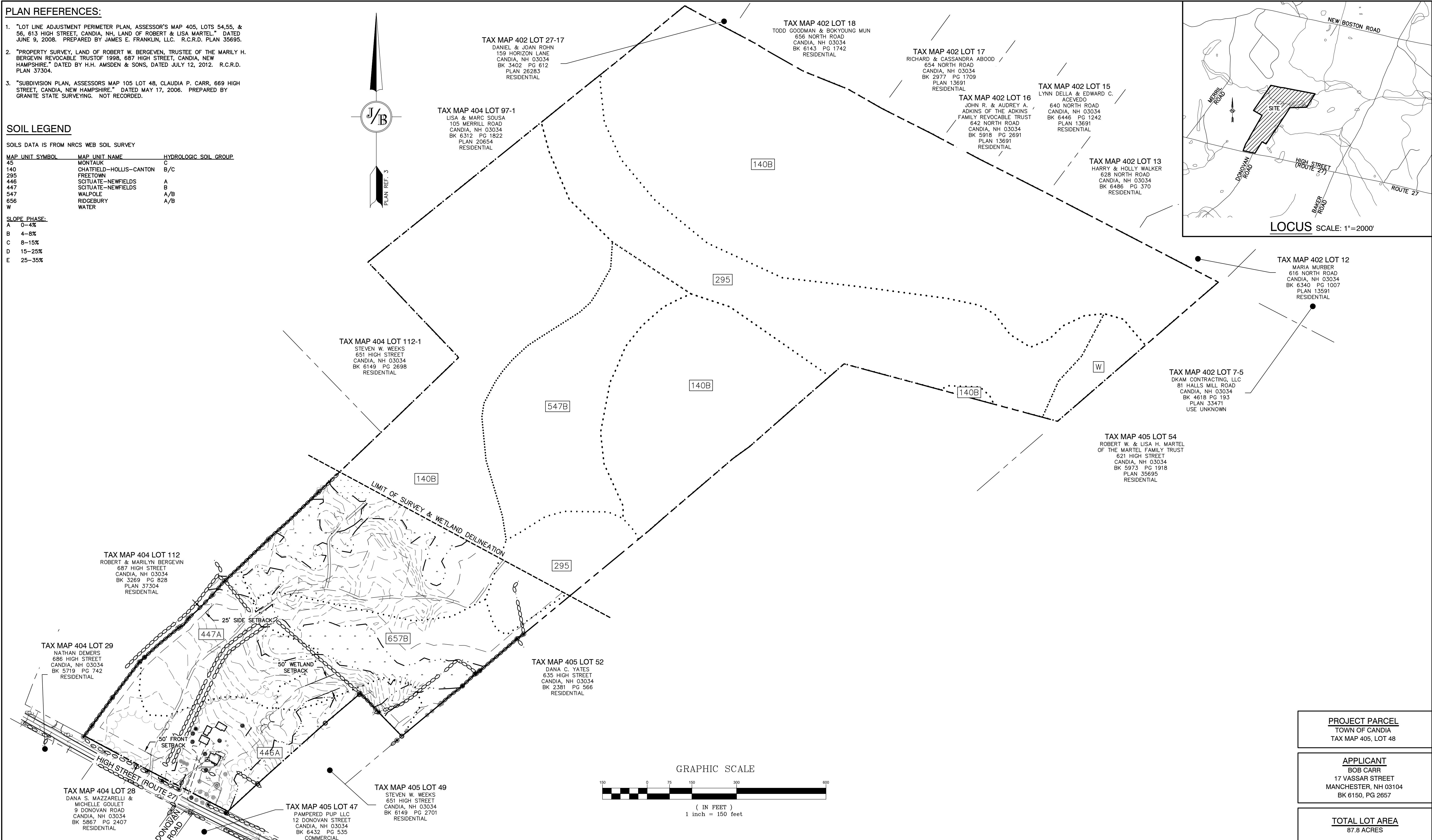
SOIL LEGEND

SOILS DATA IS FROM NRCS WEB SOIL SURVEY

MAP UNIT SYMBOL	MAP UNIT NAME	HYDROLOGIC SOIL GROUP
45	MONTAUK	C
140	CHATFIELD-HOLLIS-CANTON	B/C
295	FREETOWN	A
446	SCITUATE-NEWFIELDS	B
447	SCITUATE-NEWFIELDS	A
547	WALPOLE	A/B
656	RIDGEBURY	A/B
W	WATER	

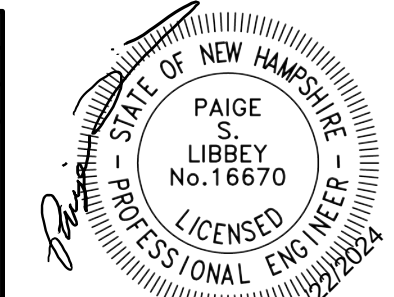
SLOPE PHASE:

- A 0-4%  
B 4-8%  
C 8-15%  
D 15-25%  
E 25-35%



<b>PROJECT PARCEL</b> TOWN OF CANDIA TAX MAP 405, LOT 48
<b>APPLICANT</b> BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
<b>TOTAL LOT AREA</b> 87.8 ACRES

Design: DJM	Draft: KDR	Date: 11/13/23
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0	11/13/23	ISSUED FOR REVIEW	KDR

**J/B** Jones & Beach Engineers, Inc.

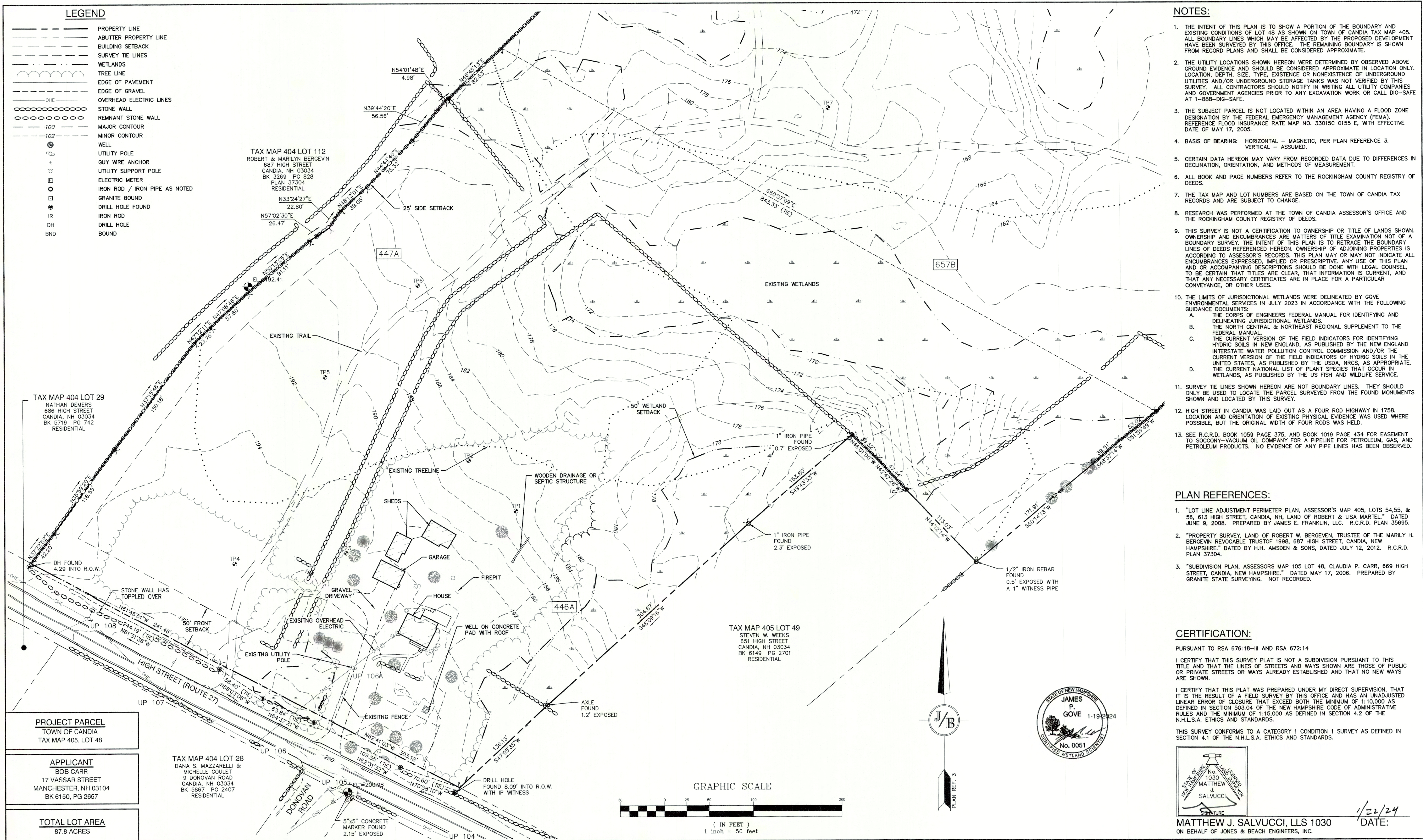
85 Portsmouth Ave.  
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*Civil Engineering Services*  
603-772-4746  
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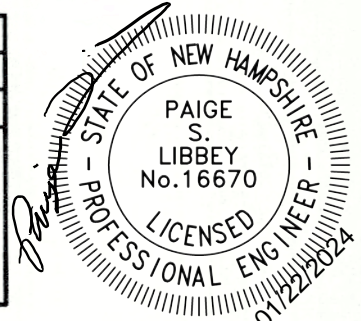
Plan Name:	<b>OVERVIEW EXISTING CONDITIONS PLAN</b>
Project:	<b>MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034</b>
Owner of Record:	<b>CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104</b>

DRAWING No.
<b>C1</b>
SHEET 2 OF 17 JBE PROJECT NO. 22201





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0	11/13/23	ISSUED FOR REVIEW	KDR

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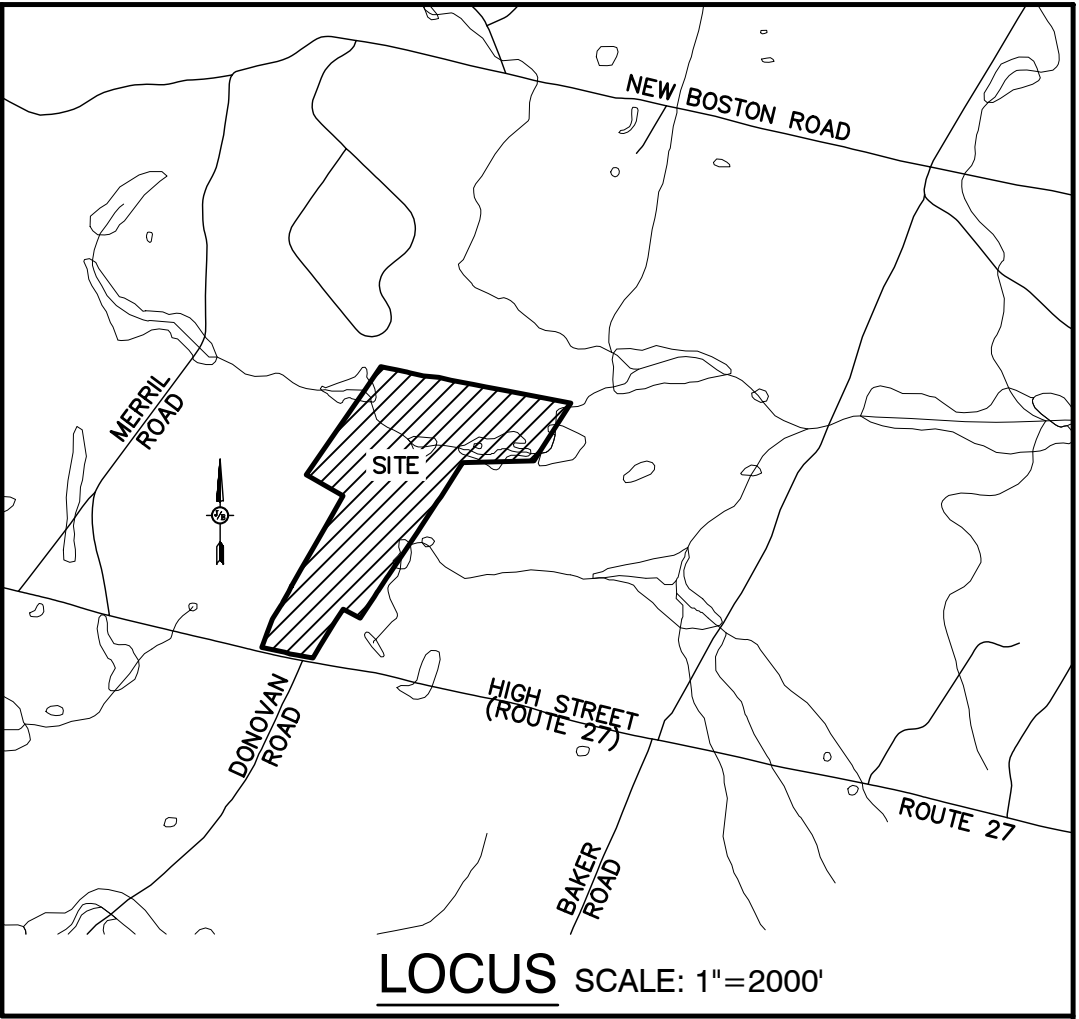
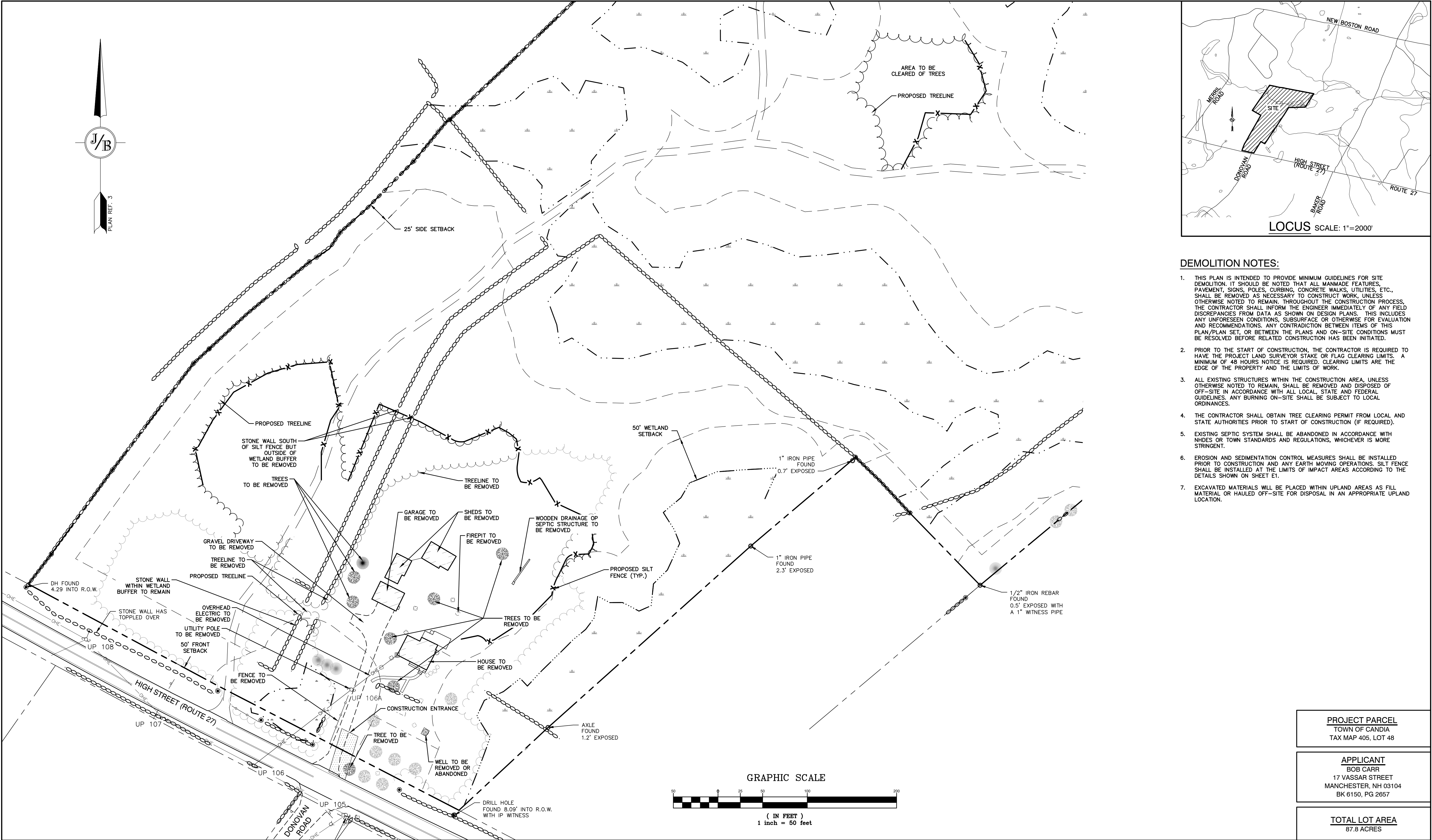
*Civil Engineering Services*

603-772-4746  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	<b>MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034</b>
Owner of Record:	<b>CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104</b>

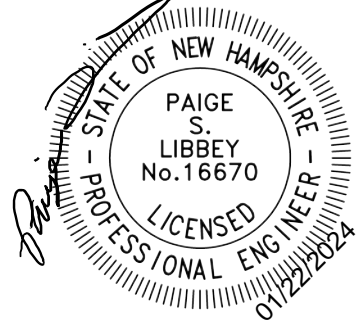
DRAWING No.	<b>C2</b>
SHEET 3 OF 17 JBE PROJECT NO. 22201	





- DEMOLITION NOTES:**
- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
  - ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
  - THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
  - EXISTING SEPTIC SYSTEM SHALL BE ABANDONED IN ACCORDANCE WITH NHDES OR TOWN STANDARDS AND REGULATIONS, WHICHEVER IS MORE STRINGENT.
  - EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
  - EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.

Design: DJM	Draft: KDR	Date: 11/13/23
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Drawing Name: 22201-PLAN.dwg		
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REV.	DATE	REVISION	BY

J/B

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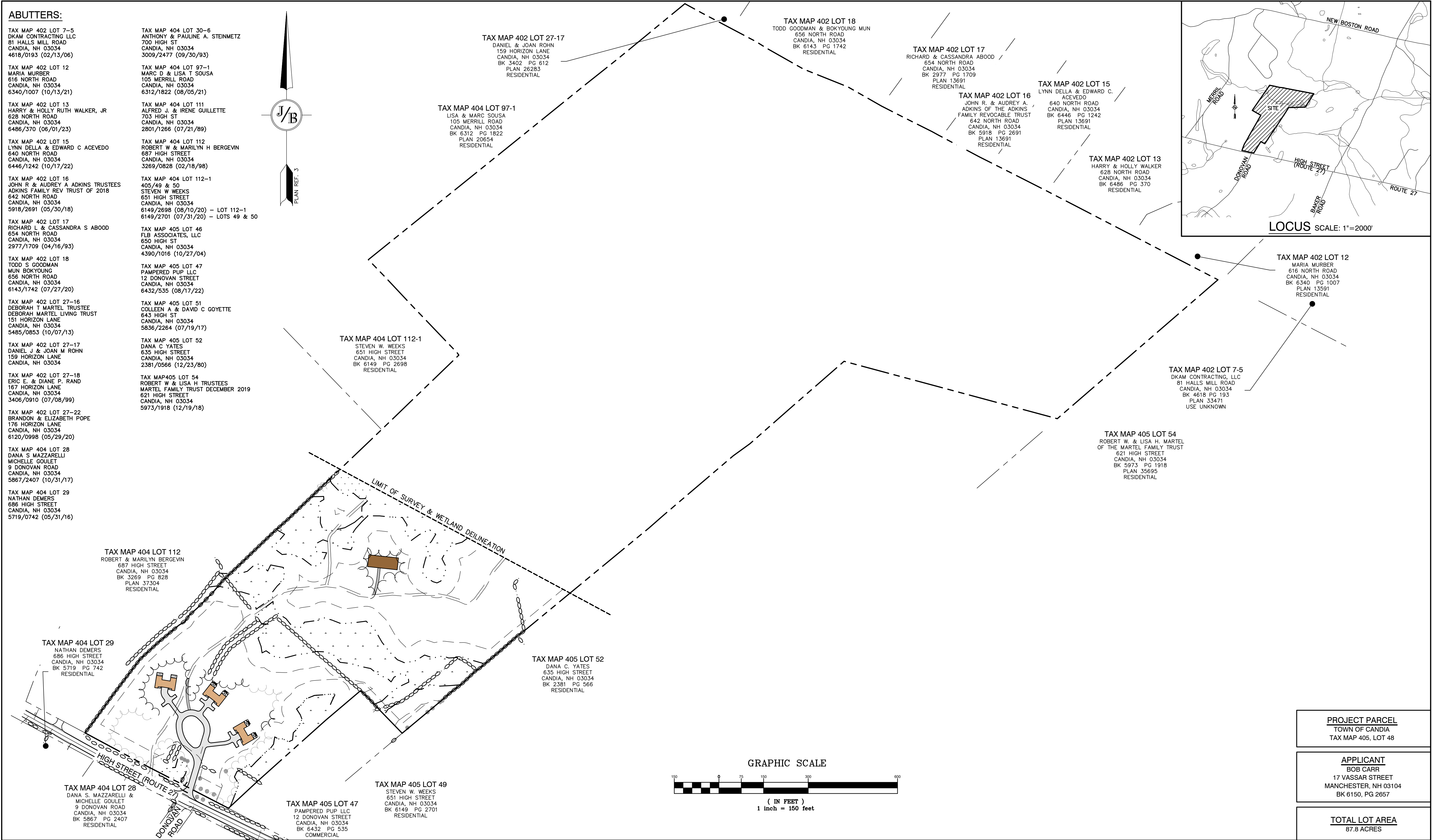
Plan Name:	DEMOLITION PLAN
Project:	MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.

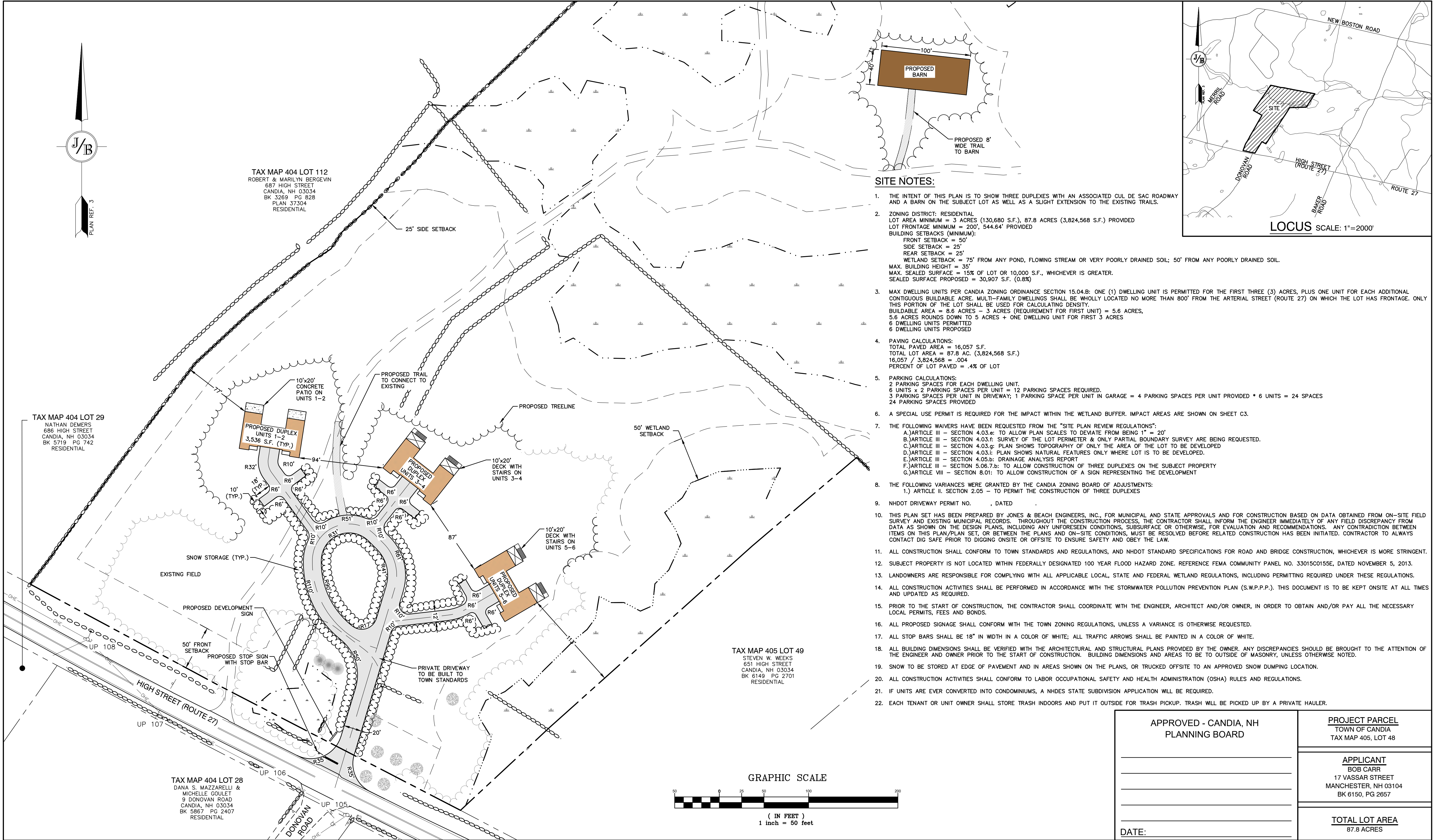
DM-1

SHEET 4 OF 17  
JBE PROJECT NO. 22201

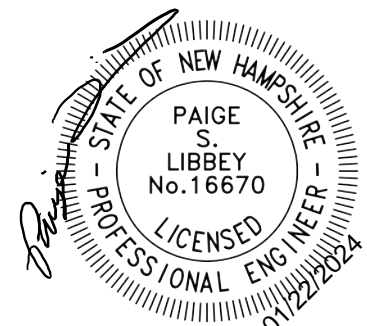








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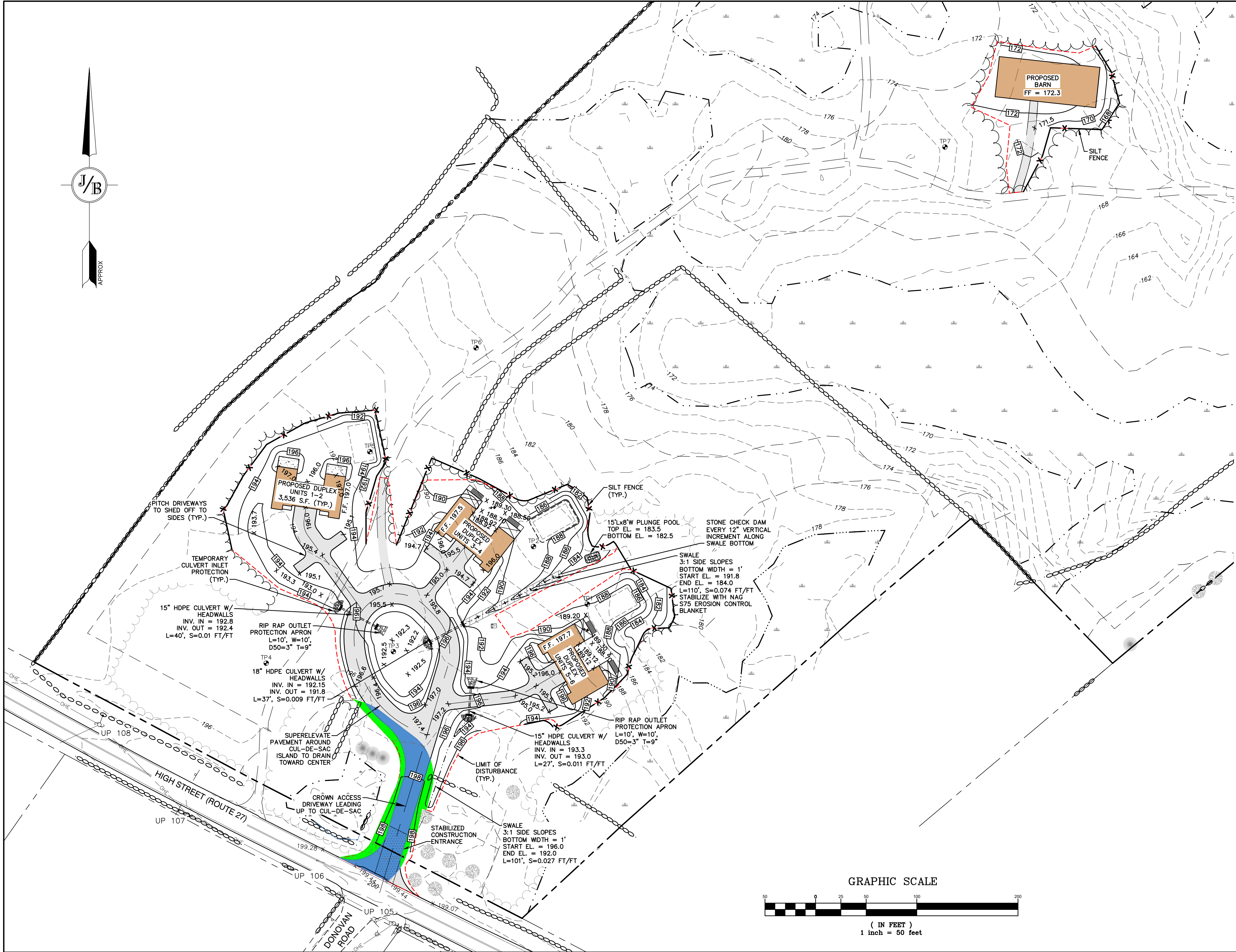
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0	11/13/23	ISSUED FOR REVIEW	KDR
REV.	DATE	REVISION	BY

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
Designed and Produced in NH  
603-772-4746  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>SITE PLAN</b> MAP, BLOCK, LOT
Project:	<b>MULTI-FAMILY DEVELOPMENT</b> 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.	<b>C4</b>
SHEET 6 OF 17 JBE PROJECT NO. 22201	





GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL STORMWATER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING AND ANYTIME CONSTRUCTION STOPS FOR LONGER THAN 3 DAYS.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.25" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- AREA OF DISTURBANCE = 99,000 S.F.

WETLAND BUFFER IMPACT LEGEND

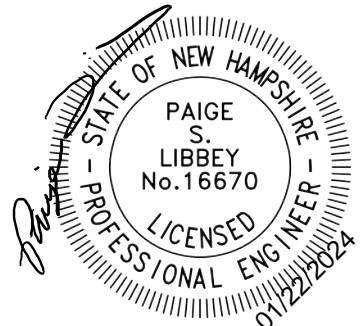
- PERMANENT DISTURBANCE (IMPERVIOUS SURFACE) = 3,750 S.F.
- TEMPORARY DISTURBANCE (PERVIOUS AREA TO BE DISTURBED) = 2,050 S.F.

PROJECT PARCEL  
TOWN OF CANDIA  
TAX MAP 405, LOT 48

APPLICANT  
BOB CARR  
17 VASSAR STREET  
MANCHESTER, NH 03104  
BK 6150, PG 2657

TOTAL LOT AREA  
87.8 ACRES

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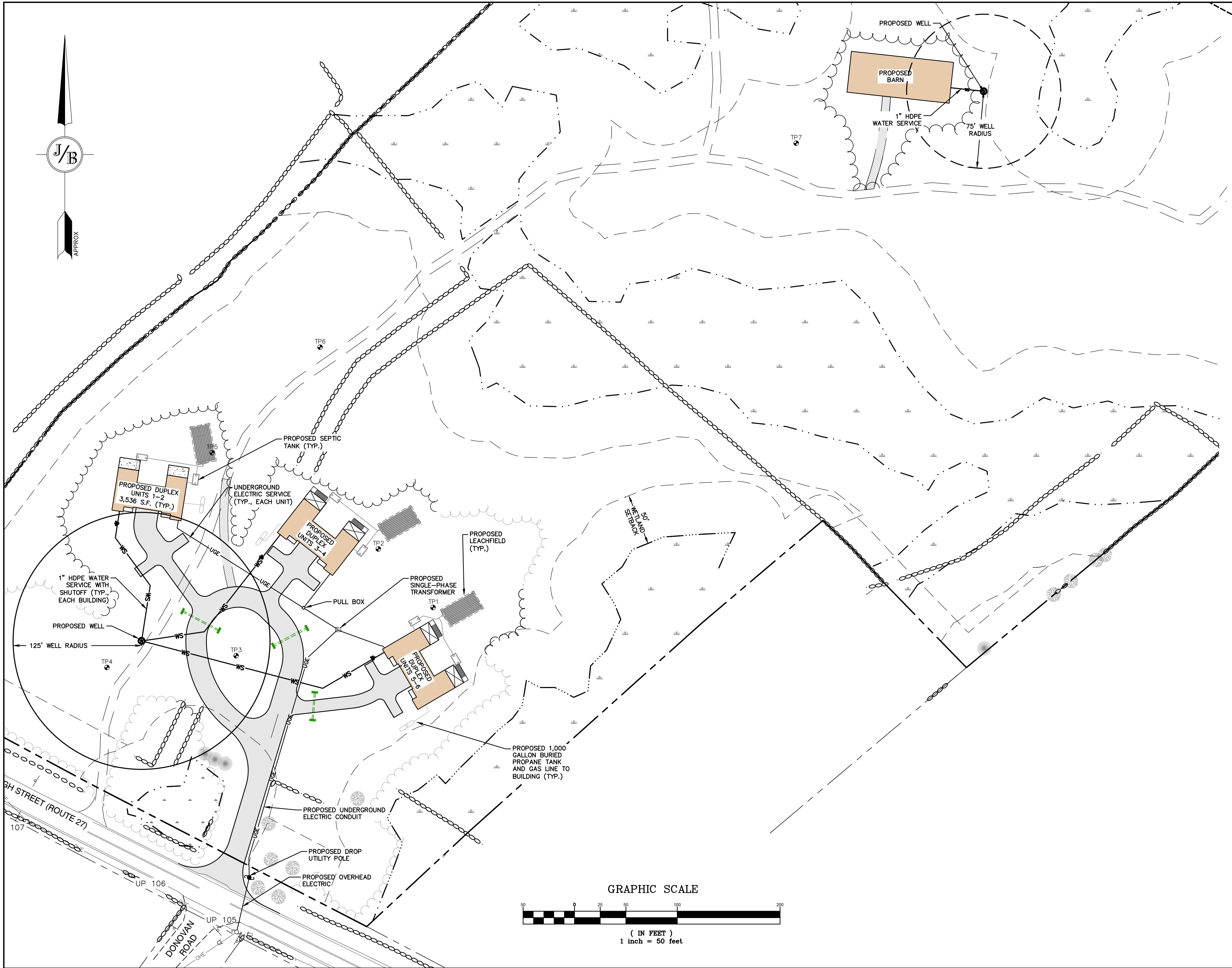
Plan Name:	GRADING & DRAINAGE PLAN
Project:	MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.

C5

SHEET 7 OF 17  
JBE PROJECT NO. 22201





UTILITY NOTES:

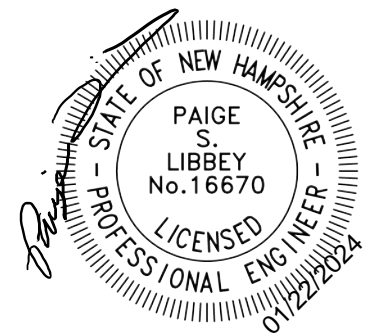
1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, AND CABLE TELEVISION).
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDINGS TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. SEPTIC FLOW CALCULATIONS:  
6 - THREE BEDROOM UNITS @ 150 GPD/BEDROOM = 2,700 GPD TOTAL FLOW
10. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
11. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
12. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
13. ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
14. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.

PROJECT PARCEL  
TOWN OF CANDIA  
TAX MAP 405, LOT 48

APPLICANT  
BOB CARR  
17 VASSAR STREET  
MANCHESTER, NH 03104  
BK 6150, PG 2657

TOTAL LOT AREA  
87.8 ACRES

Design: DJM	Draft: KDR	Date: 11/13/23
Checked: JAC	Scale: AS NOTED	Project No.: 22201
Drawing Name: 22201-PLAN.dwg		
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REV.	DATE	REVISION	BY
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
0	11/13/23	ISSUED FOR REVIEW	KDR
REV.	DATE	REVISION	BY

J/B

Jones & Beach Engineers, Inc.

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85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885

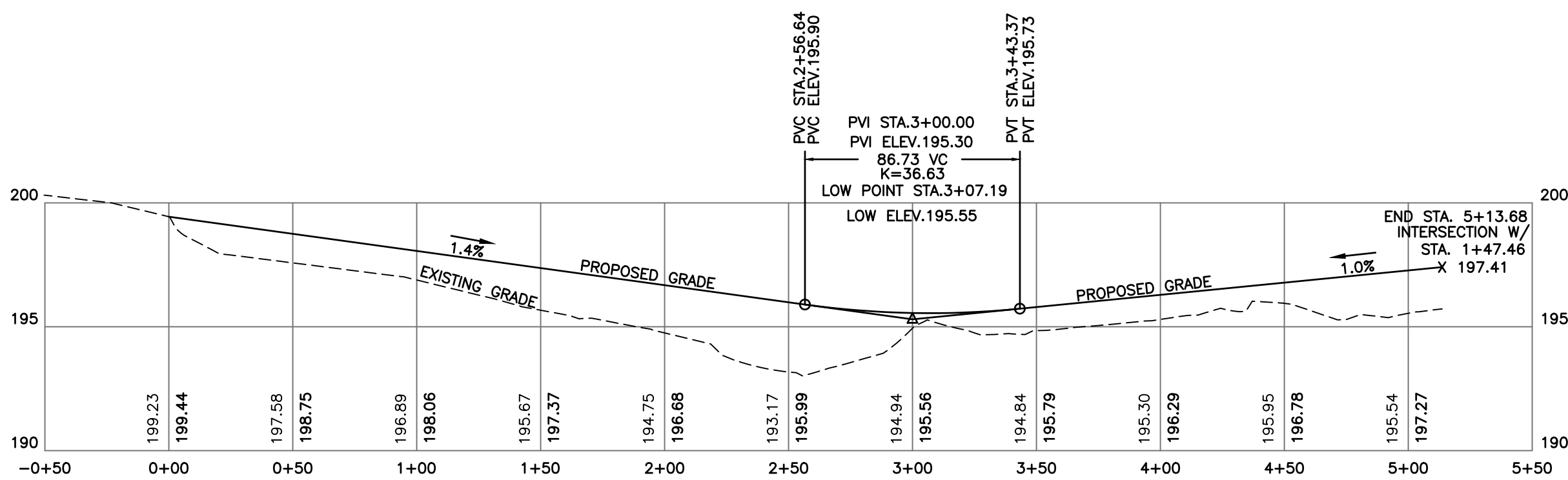
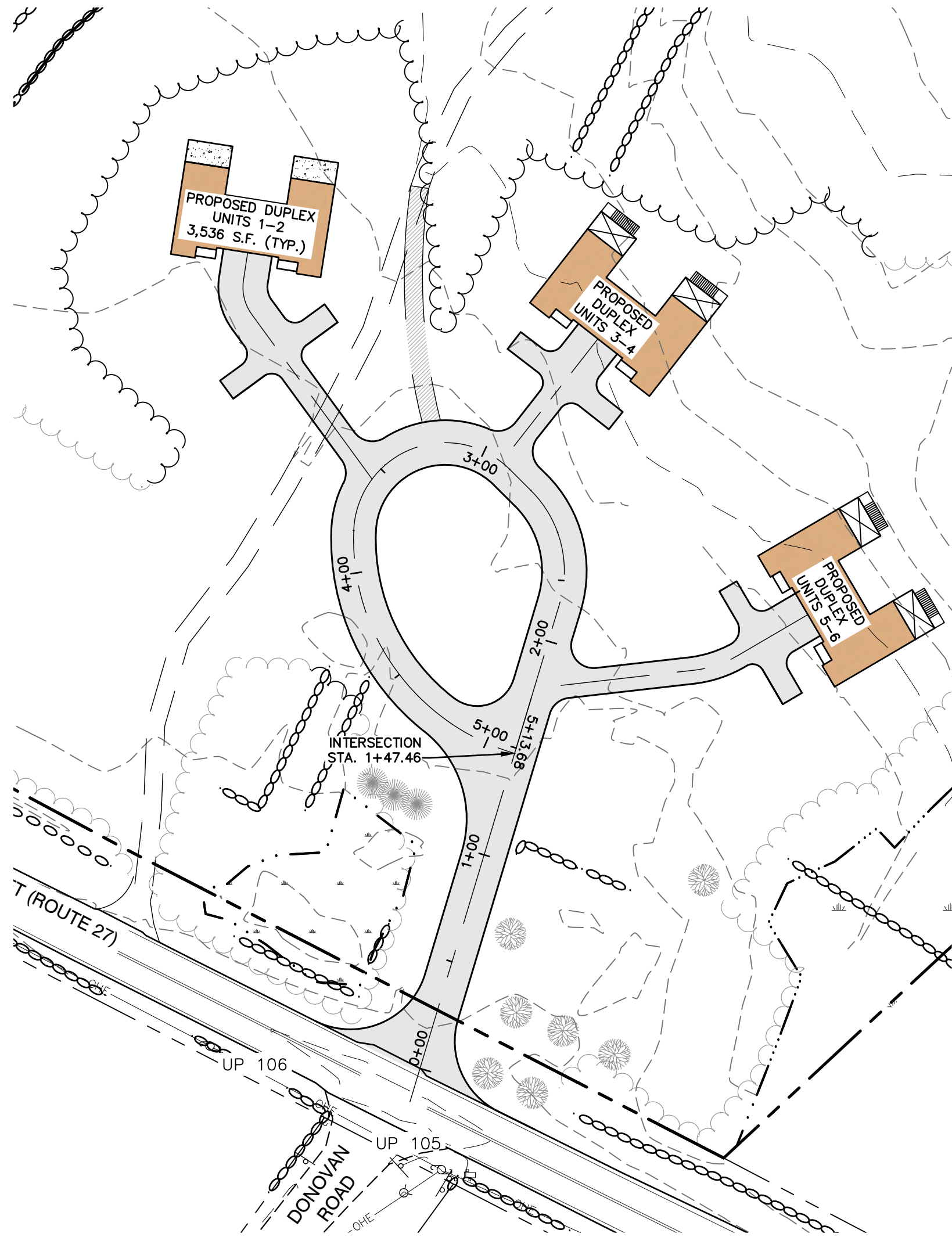
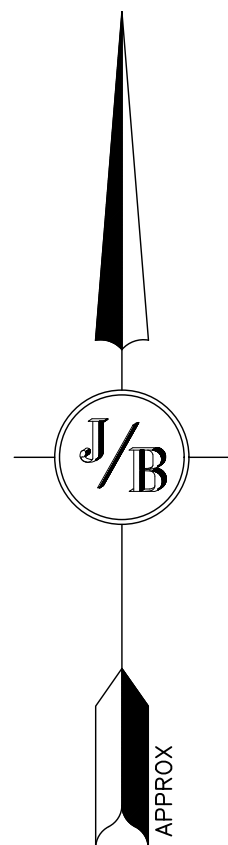
Civil Engineering Services

603-772-4746  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	UTILITY PLAN
Project:	MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
C6
SHEET 8 OF 17 JBE PROJECT NO. 22201

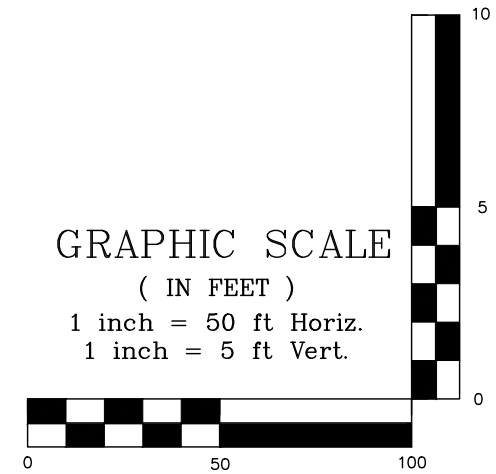




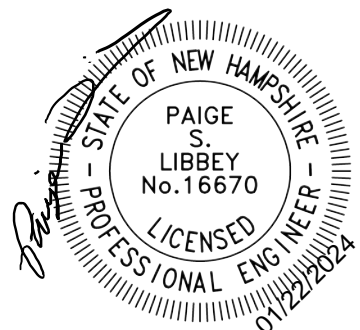
ROAD PROFILE (1 INCH = 50 FEET)

NOTES:

- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT [HTTP://CFPUB.EPA.GOV/NPDES/STORMWATER/NOI/NOISEARCH.CFM](http://cfpub.epa.gov/npdes/stormwater/noi/noisearch.cfm). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
  - FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR
  - ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
- ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE TOWN, AND NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV, TELEPHONE, AND FIRE ALARM PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
- THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
- ALL DISTURBED AREAS NOT STABILIZED BY OCTOBER 15TH SHALL BE COVERED WITH AN EROSION CONTROL BLANKET. PRODUCT TO BE SPECIFIED BY THE ENGINEER.
- FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
- DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: SILT FENCING WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE FENCE STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SUMPS BELOW THE INLET OF CULVERTS SEMIANNUALLY.
- ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
- COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION.



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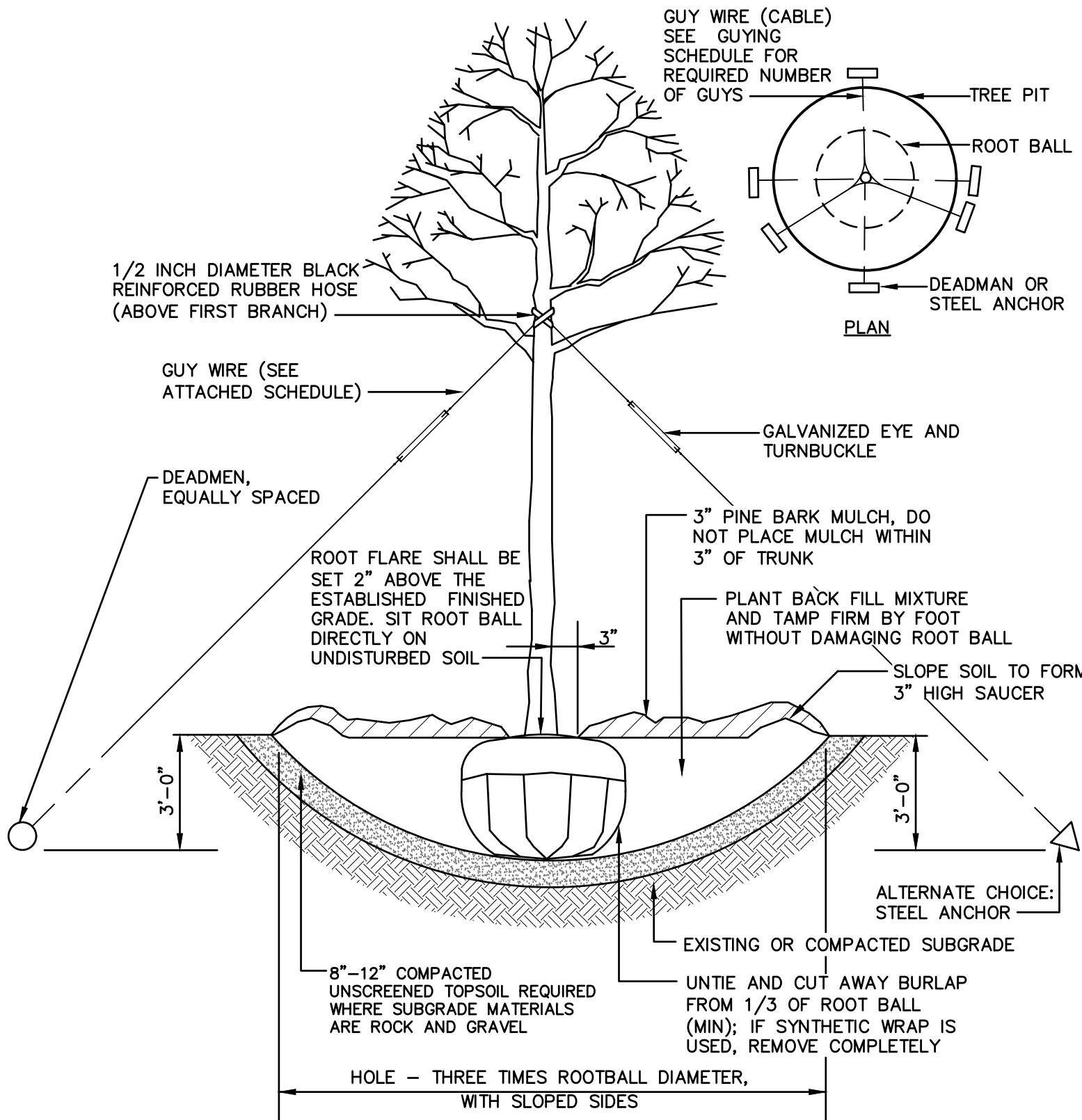
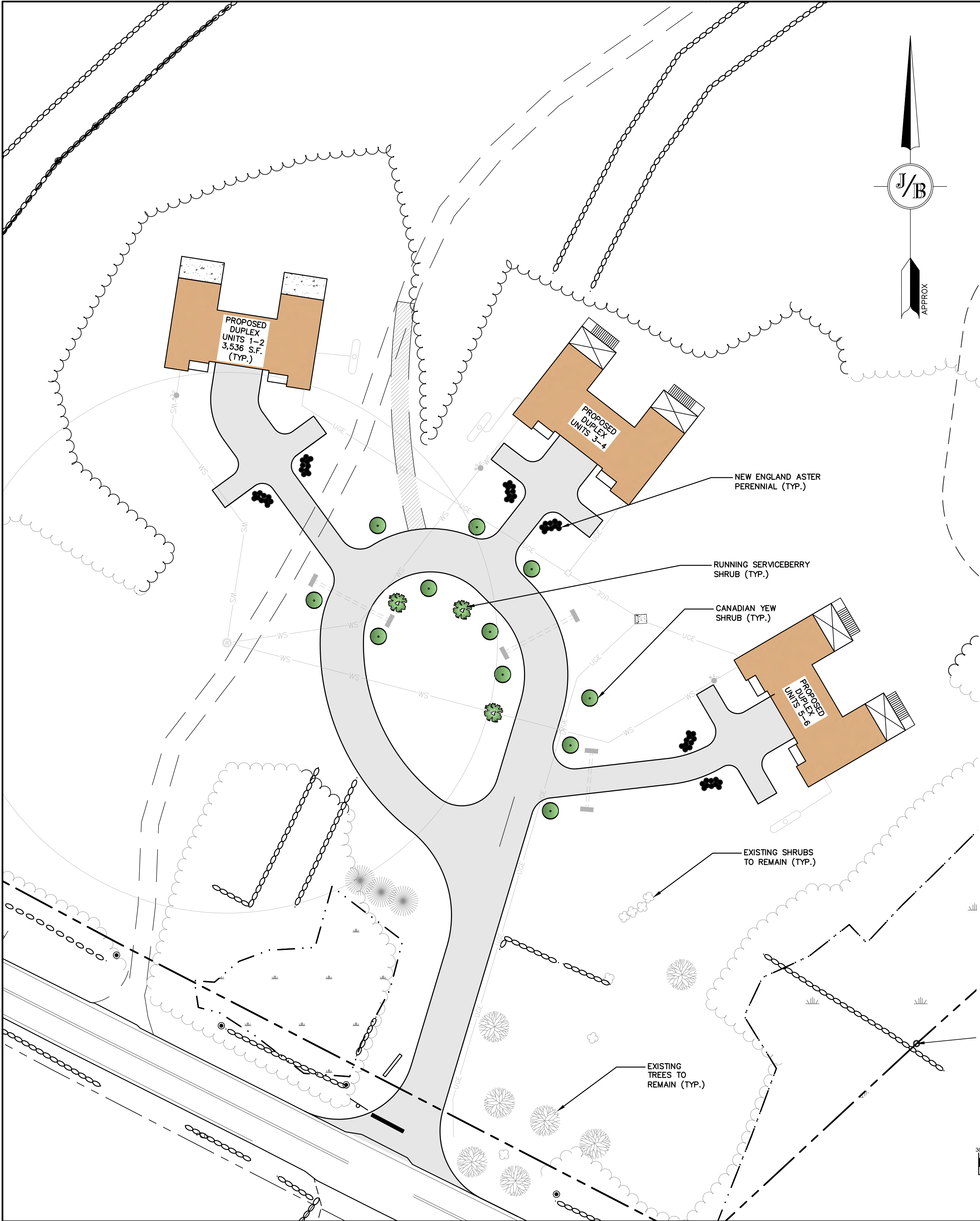
Civil Engineering Services

603-772-4746  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	PLAN AND PROFILE
Project:	MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
P1
SHEET 9 OF 17 JBE PROJECT NO. 22201





GUYING SCHEDULE				
TREE CALIPER	4"-6"	6"-8"	8"-10"	10"-12"
TURNBUCKLE (GALVANIZED)	5/16"x 4-1/2"	5/16"x 4-1/2"	3/8"x6"	1/2"x8"
# GUYS REQUIRED	3	3	4	4
WIRE OR CABLE	1/8"DIA.	3/16"DIA.	1/4"DIA.	5/16"DIA.
DEADMEN SIZE	4" DIA.	6" DIA.	8" DIA.	10" DIA.
DEADMAN LENGTH	24"	24"	36"	48"

(USE GUYING SCHEDULE FOR DECIDUOUS AND EVERGREEN TREES OVER 4" CALIPER)

TREE PLANTING (FOR TREES OVER 4" CALIPER)

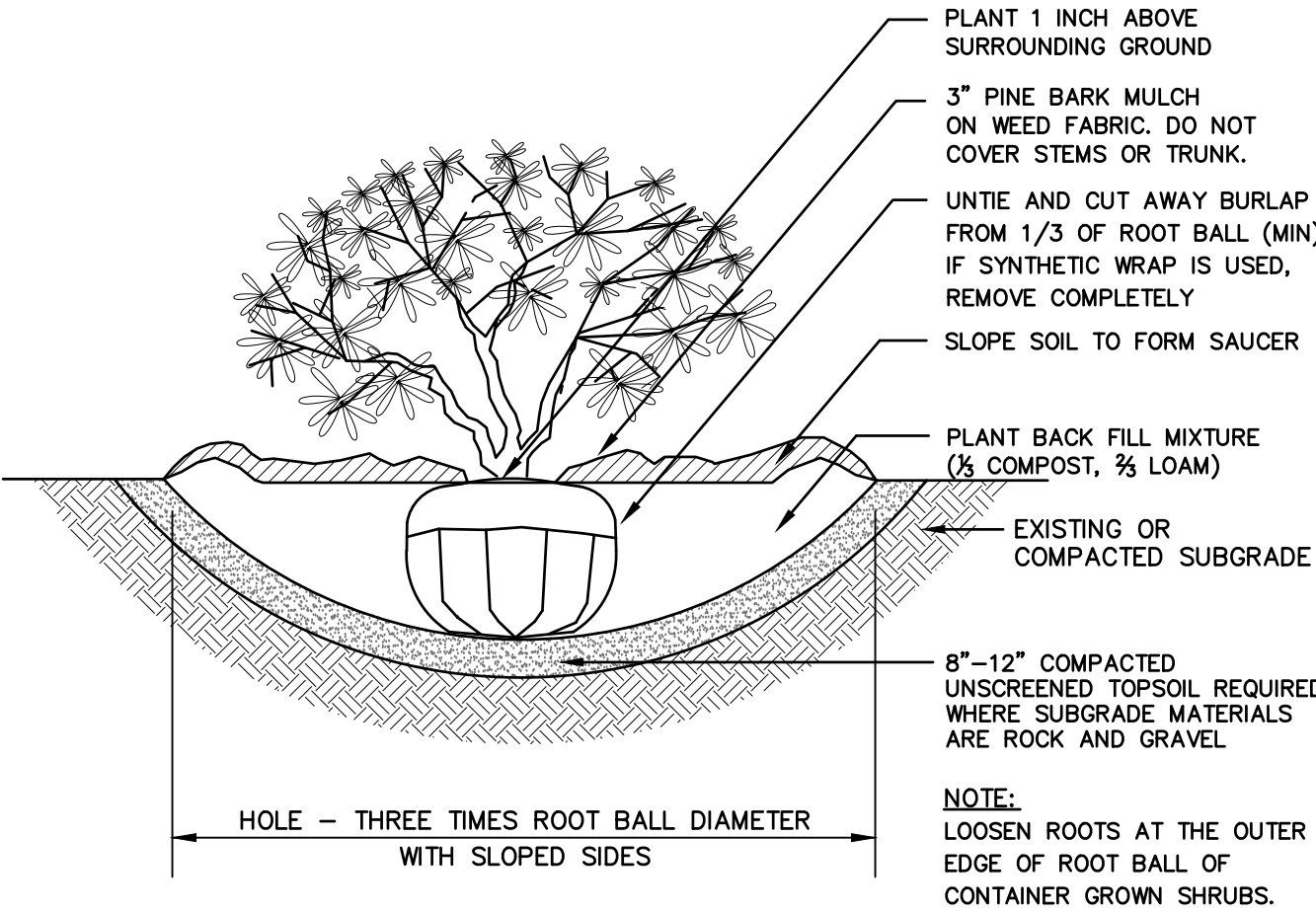
NOT TO SCALE

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
5. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
6. ALL WORK AND PLANTS SHALL BE DONE, INSTALLED AND DETAILED IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
7. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
8. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE.
9. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
10. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
11. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE. GRASS SEED OR PINE BARK MULCH SHALL BE APPLIED AS DEPICTED ON PLANS.
12. ALL LANDSCAPING SHALL MEET THE TOWN STANDARDS AND REGULATIONS.
13. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO 'WEEDBLOCK' BY EASY GARDENER OR DEWITT WEED BARRIER.
14. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.
15. IRRIGATION PIPING SYSTEM SHALL BE REVIEWED AND APPROVED BY OWNER AND ENGINEER PRIOR TO INSTALLATION.

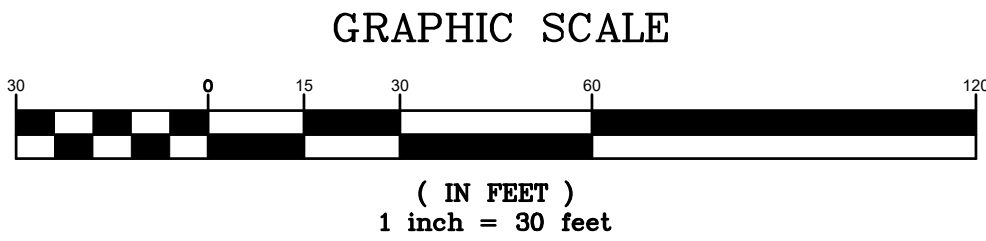
PLANTING SCHEDULE

TREES, SHRUBS, & PERENNIALS		BOTANICAL NAME	SIZE	TYPE
QTY	COMMON NAME			
10	CANADIAN YEW	TAXUS CANADENSIS	4'	SHRUB
3	RUNNING SERVICEBERRY	AMEANCHIER STOLONIFERA	5'	SHRUB
30	NEW ENGLAND ASTER	ASTER NOVAE-ANGLIAE	2'	PERENNIAL



SHRUB PLANTING

NOT TO SCALE



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0	11/13/23	ISSUED FOR REVIEW	KDR

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PO Box 219  
Stratham, NH 03885

Civil Engineering Services

603-772-4746  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	LANDSCAPING PLAN
Project:	MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

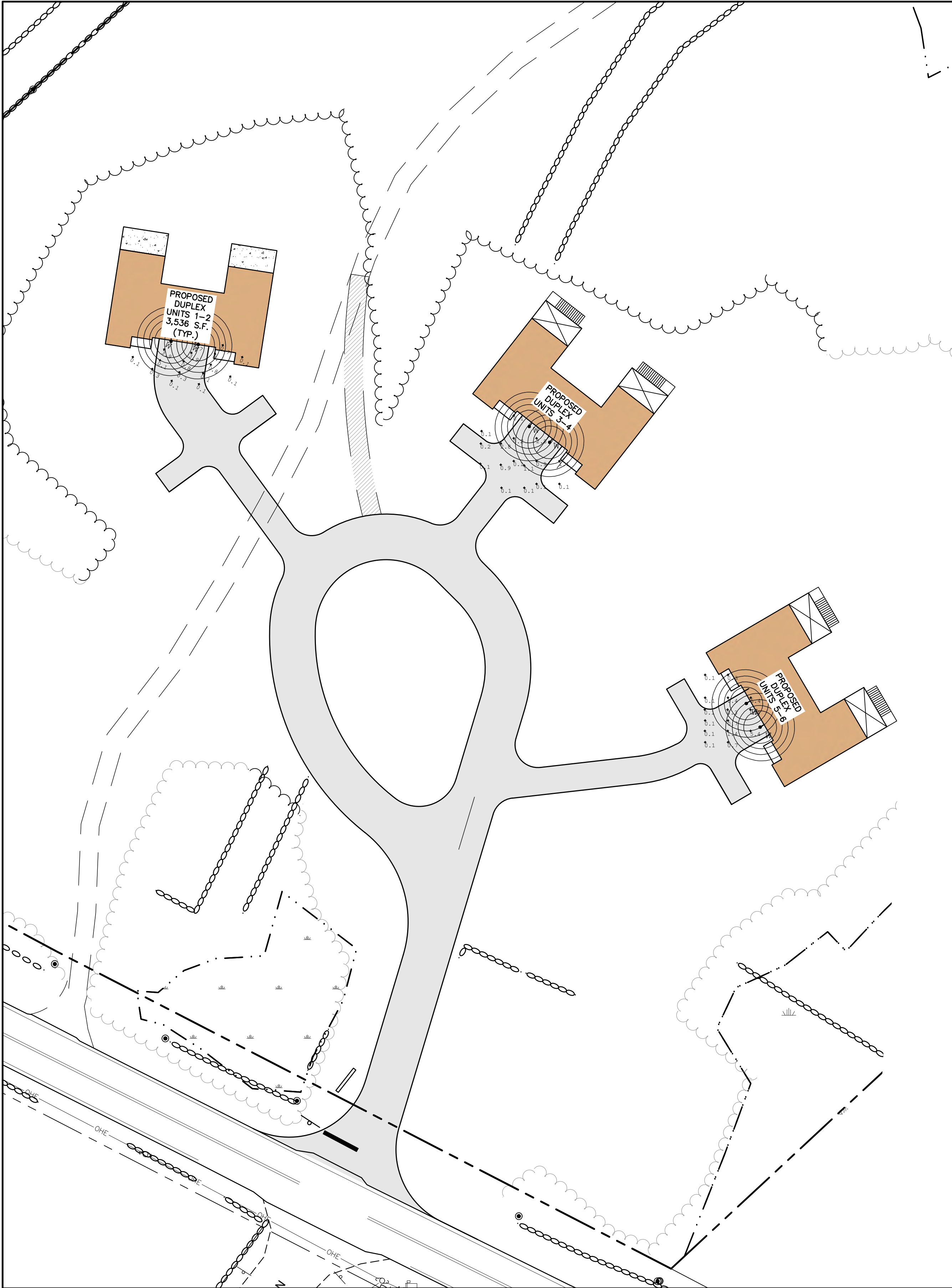
DRAWING No.

L1

SHEET 10 OF 17  
JBE PROJECT NO. 22201

PROJECT PARCEL TOWN OF CANDIA TAX MAP 405, LOT 48
APPLICANT BOB CARR 17 VASSAR STREET MANCHESTER, NH 03104 BK 6150, PG 2657
TOTAL LOT AREA 87.8 ACRES





LIGHTING AND ELECTRICAL NOTES:

1. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
2. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
3. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDLES.
4. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
5. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
6. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY EXPOSURE LIGHTING, INC. 501 ISLINGTON STREET, PORTSMOUTH, NH 03801, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

Catalog #:Project:

Prepared By:Date:Type:

### LSI Abolite Gooseneck and Wall Brackets

3/4" Single Reflector Gooseneck Wall Bracket. Features rigid conduit and cast wall plate which fits 4" octagonal box (by other). Brackets are finished in gloss white powder, additional colors are available.

NOTE: Brackets feature 3/4" stems which slip fit into wall plate (wall end is unthreaded). Conduit may be cut down (in the field by other) to shorten bracket length. CAS wall plate included with all goosenecks.

All dimensions displayed in inches.

#### GB A 3 GWT

#### GB F 3 GWT

#### GB B 3 GWT

#### GB G 3 GWT

#### GB C 3 GWT

#### GB H 3 GWT

#### GB E 3 GWT

3/4" Single Reflector Gooseneck Wall Bracket. Features rigid conduit and cast wall plate which fits 4" octagonal box (by other). The bracket is designed to be mounted to a horizontal surface, but could also be mounted to a wall. The bracket features a gloss white powder finish, additional colors available.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsicorp.com  
(800) 456-7800 • ©2021 LSI Industries Inc. All Rights Reserved. Specifications subject to change without notice.

Page 1/3 Rev 07/12/21  
SPEC.1054.A.0720

Catalog #:Project:

Prepared By:Date:Type:

## RD

### LSI Abolite® LED Standard Dome

OVERVIEW	
Lumen Range	1,250 - 1,700
CCT	27/30/35/40/50K
Wattage Range	9.3 - 12.8

**QUICK LINKS**

Ordering GuidePerformanceDimensions

#### FEATURES & SPECIFICATIONS

**Construction**

- Heavy gauge spun steel with a thermally cured high quality polyester powder coat finish.
- Integrated power supply built into the fixture allowing the RLM to be connected directly to line voltage.
- Manufactured in the USA.

**Optical System**

- Available in 5000K, 4000K, 3500K, 3000K, and 2700K color temperatures
- Glass Globe required for outdoor applications
- Minimum CRI of 80

**Electrical**

- Standard Universal Voltage (120-277 Vac) Input 50/60Hz
- 0-10V dimming, 5% standard
- Operating Temperature -30°C to +50°C (-22°F to +122°F)

**Installation**

- Pre-wired with 96" leads standard.
- Optional 10' prewired cord set and canopy available in black and white
- Optional 10' prewired cord set, aircraft wire, and canopy available in black and white
- Fixed hub tapped for 3/4" NPT conduit.
- Not designed for uplight applications.

**Warranty**

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

**Listings**

- UL Listed
- Suitable for wet locations

PROJECT PARCEL  
TOWN OF CANDIA  
TAX MAP 405, LOT 48

APPLICANT  
BOB CARR  
17 VASSAR STREET  
MANCHESTER, NH 03104  
BK 6150, PG 2657

TOTAL LOT AREA  
87.8 ACRES

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REV.	DATE	REVISION	BY

Designed and Produced in NH

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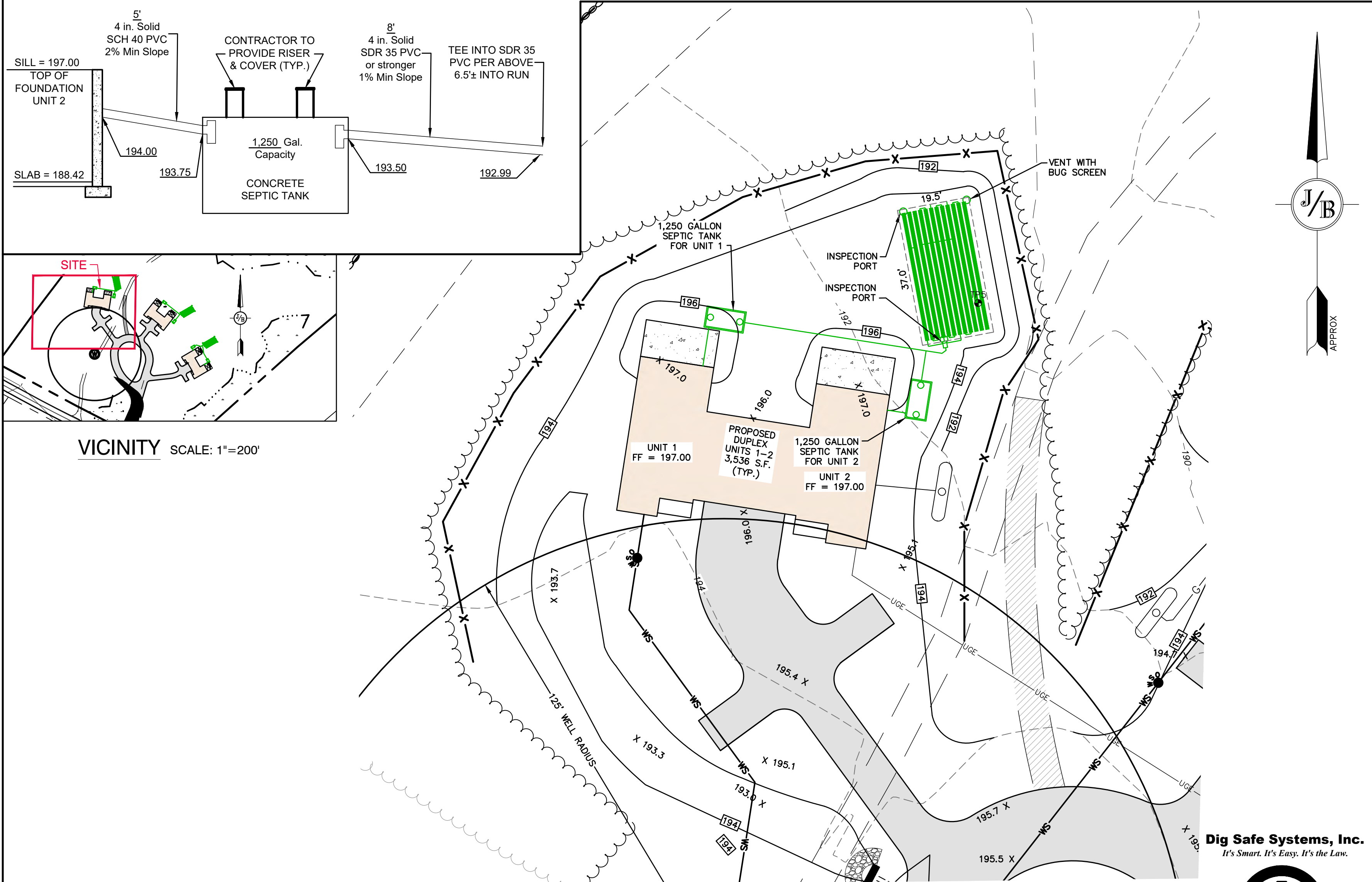
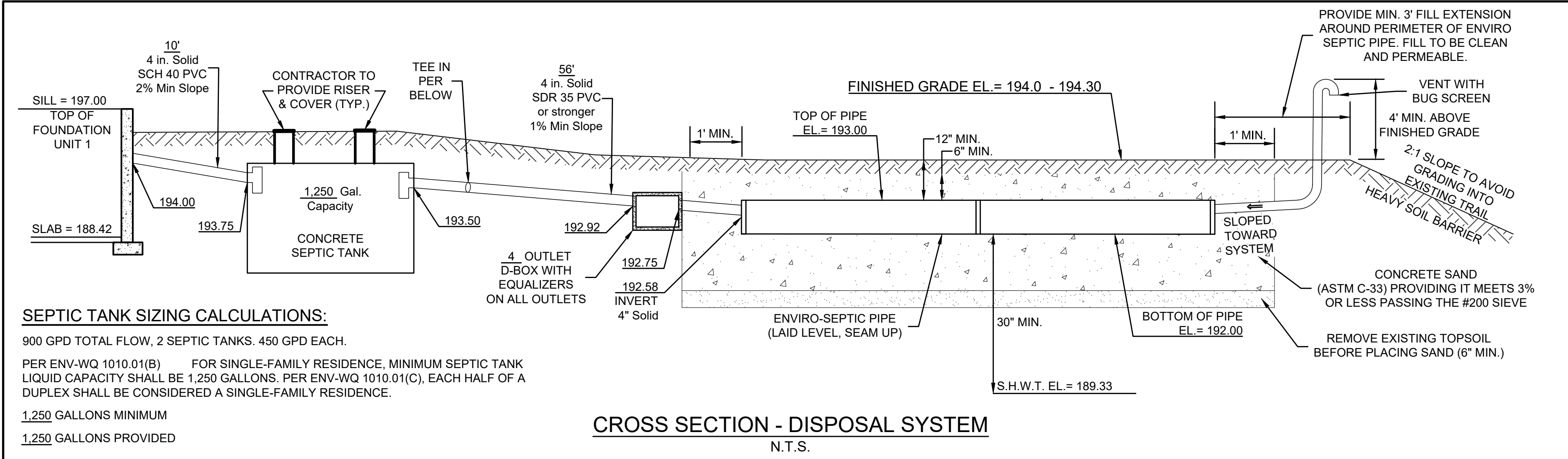
Civil Engineering Services

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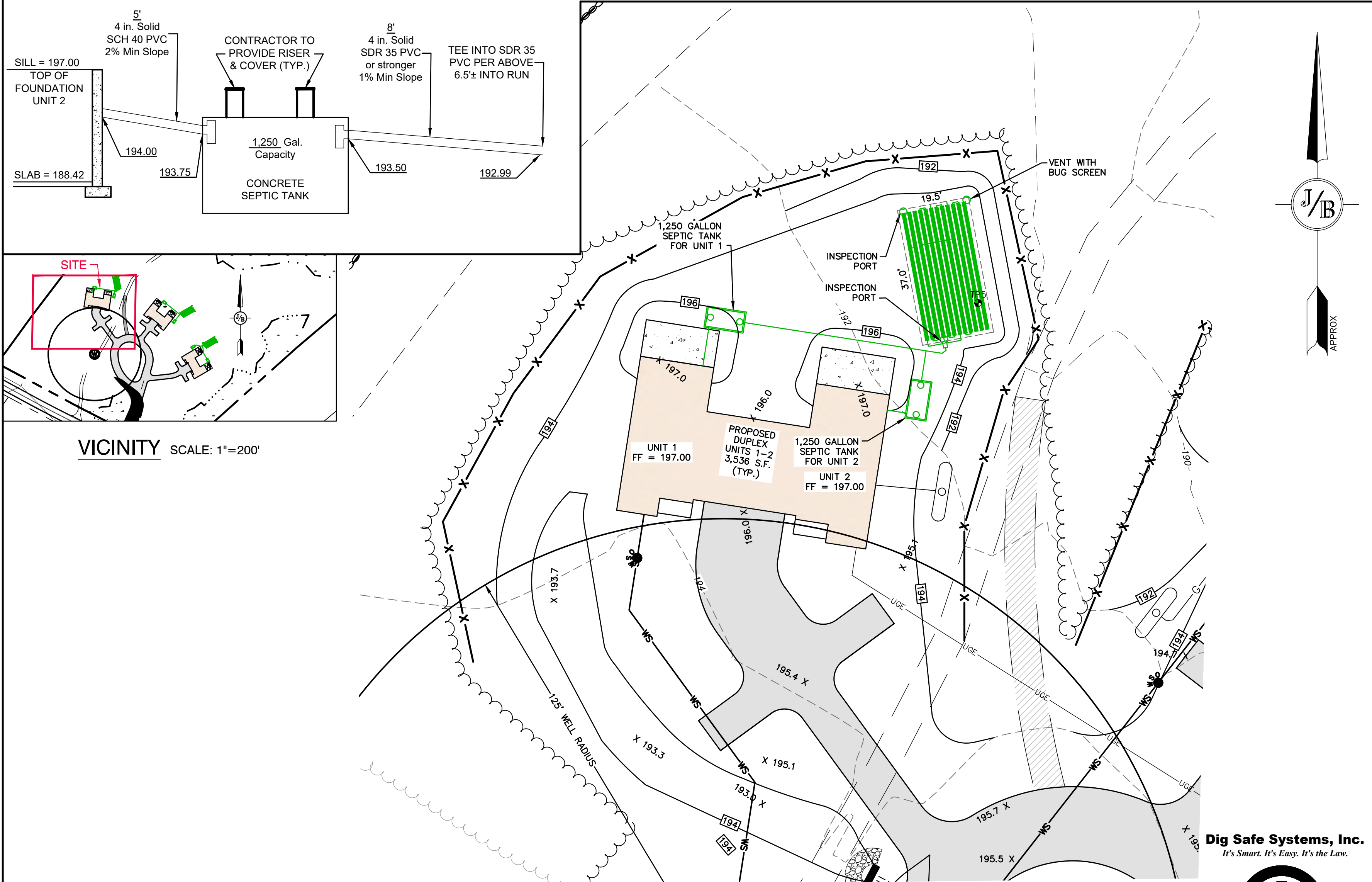
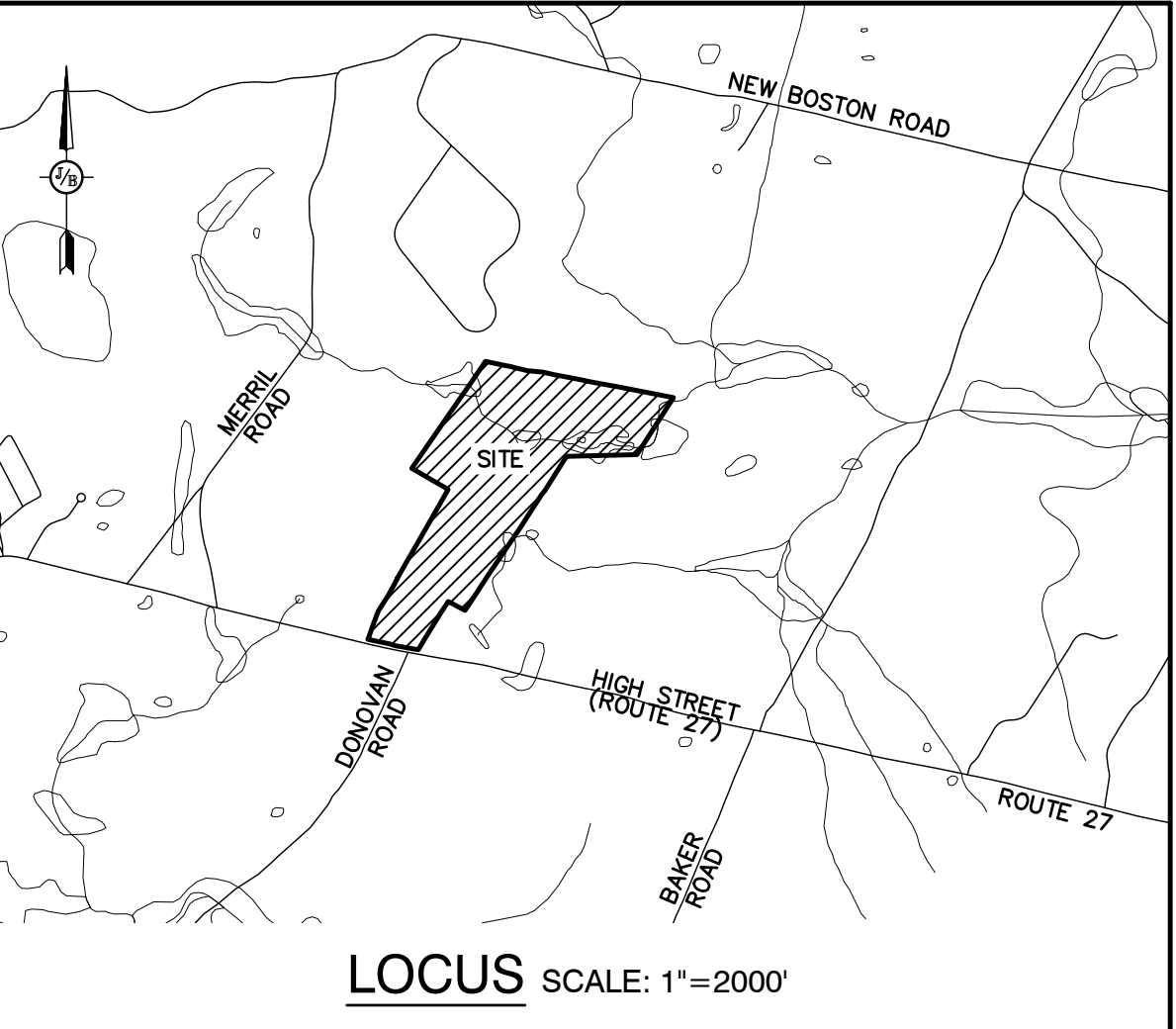
Plan Name:	LIGHTING PLAN
Project:	MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.
L2
SHEET 11 OF 17 JBE PROJECT NO. 22201

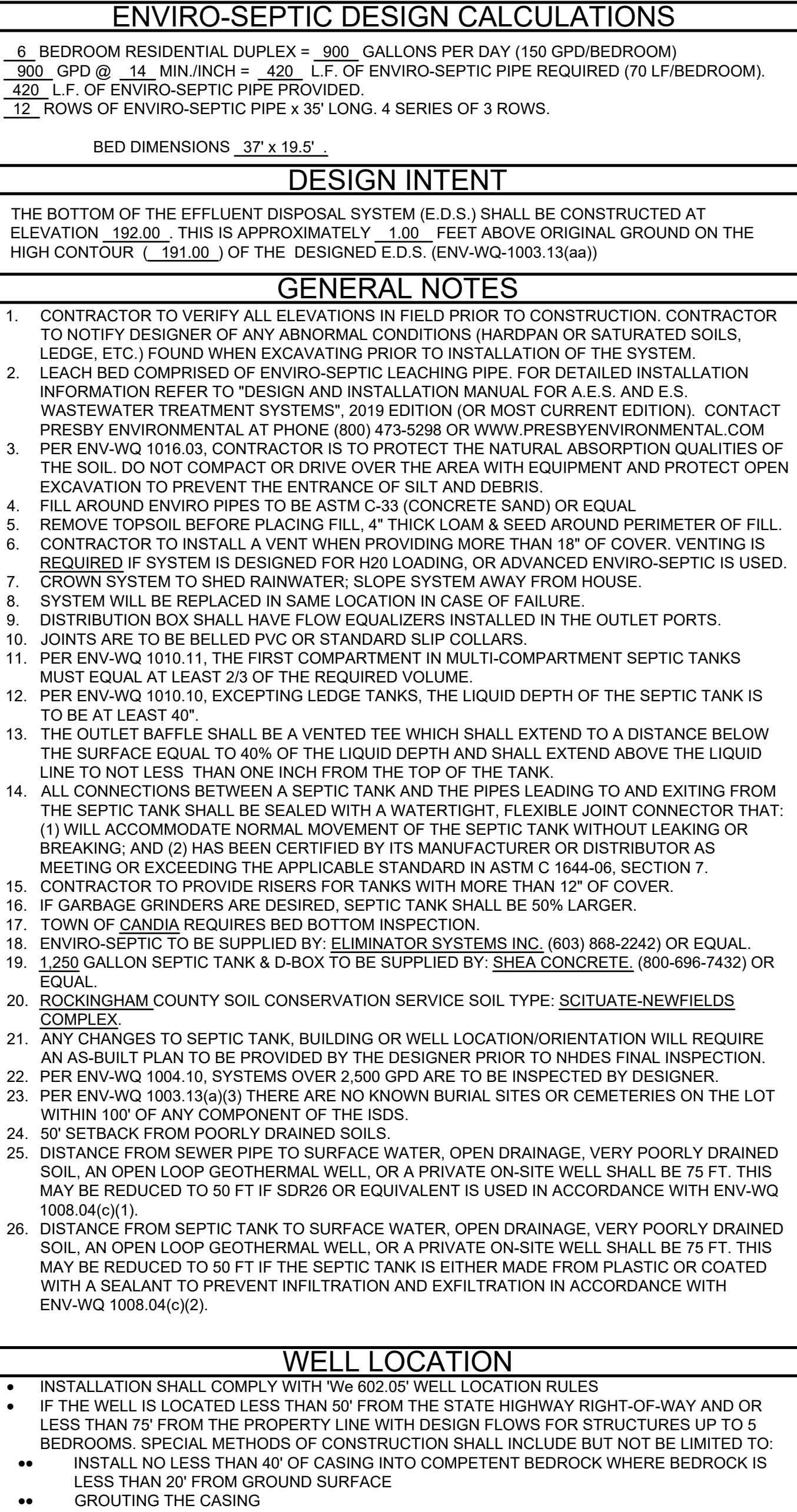




TEST PIT LOGS	
PERFORMED BY: JOSEPH CORONATI, JONES & BEACH ENGINEERS, INC. SSD# 1716	
TEST PIT #5	WOODS MAT
0"-10"	TOPSOIL
10"-20"	10YR 3/4 DARK YELLOWISH BROWN FINE SANDY LOAM FRIABLE
20"-60"	10 4/4 DARK YELLOWISH BROWN LOAMY SAND FIRM, MOTTLES
SHWT = 20" ROOTS TO 20" NO H <sub>2</sub> O OBSERVED NO REFUSAL	
TEST PIT, DATE: SEPTEMBER 14, 2023	
PERC. RATE: 14 MIN./INCH	



<b>PROJECT PARCEL</b> TOWN OF CANDIA TAX MAP 405, LOT 48 R.C.R.D. BK. 6150 PG. 2657	
TOTAL LOT AREA: 84.0 ACRES	
CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE SEPTIC PLAN FROM THE NHDES APPROVED PLAN THE BUILDER/SITE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE ZONING DIMENSIONAL REQUIREMENTS AND SETBACK LINE REQUIREMENTS PRIOR TO INITIATING CONSTRUCTION OF THE PROPOSED HOUSE AND SEPTIC SYSTEM. THE ZONING ORDINANCE OF THE MUNICIPALITY IS TO BE COMPLIED WITH. THE BUILDER/SITE CONTRACTOR IS ALSO RESPONSIBLE TO CONTACT THE MUNICIPALITY REGARDING INSPECTIONS PRIOR TO AND DURING CONSTRUCTION, I.E. LOCATION AND BED-BOTTOM INSPECTIONS.	



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**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

*Civil Engineering Services*

603-772-4746

E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>EFFLUENT DISPOSAL DESIGN</b>
Project:	<b>MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034</b>
Owner of Record:	<b>CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104</b>

DRAWING No.
<b>S1</b>
SHEET 12 OF 17 JBE PROJECT NO. 22201



DRAWING No.

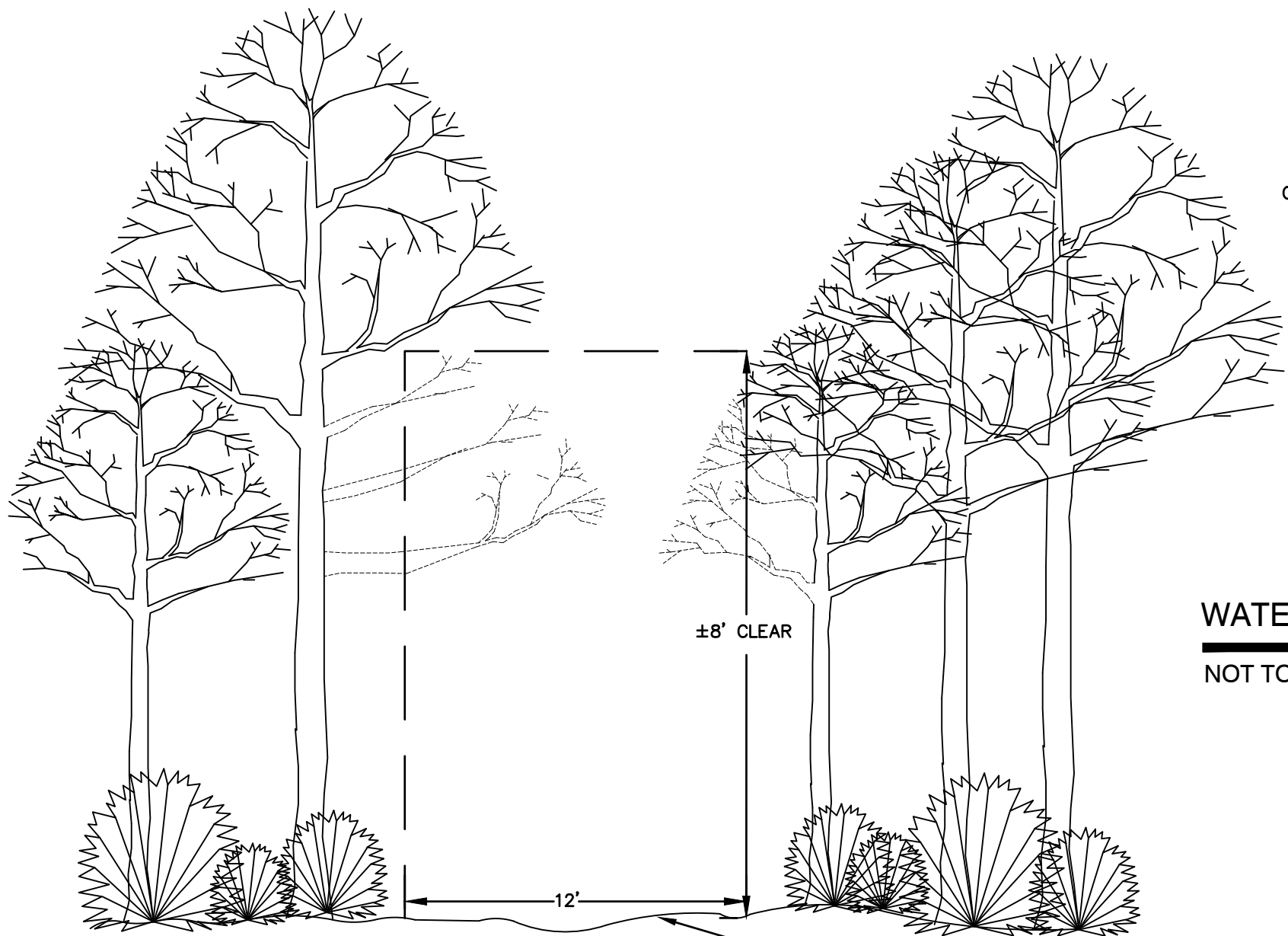
**S2**

SHEET 13 OF 17  
JBE PROJECT NO. 22201





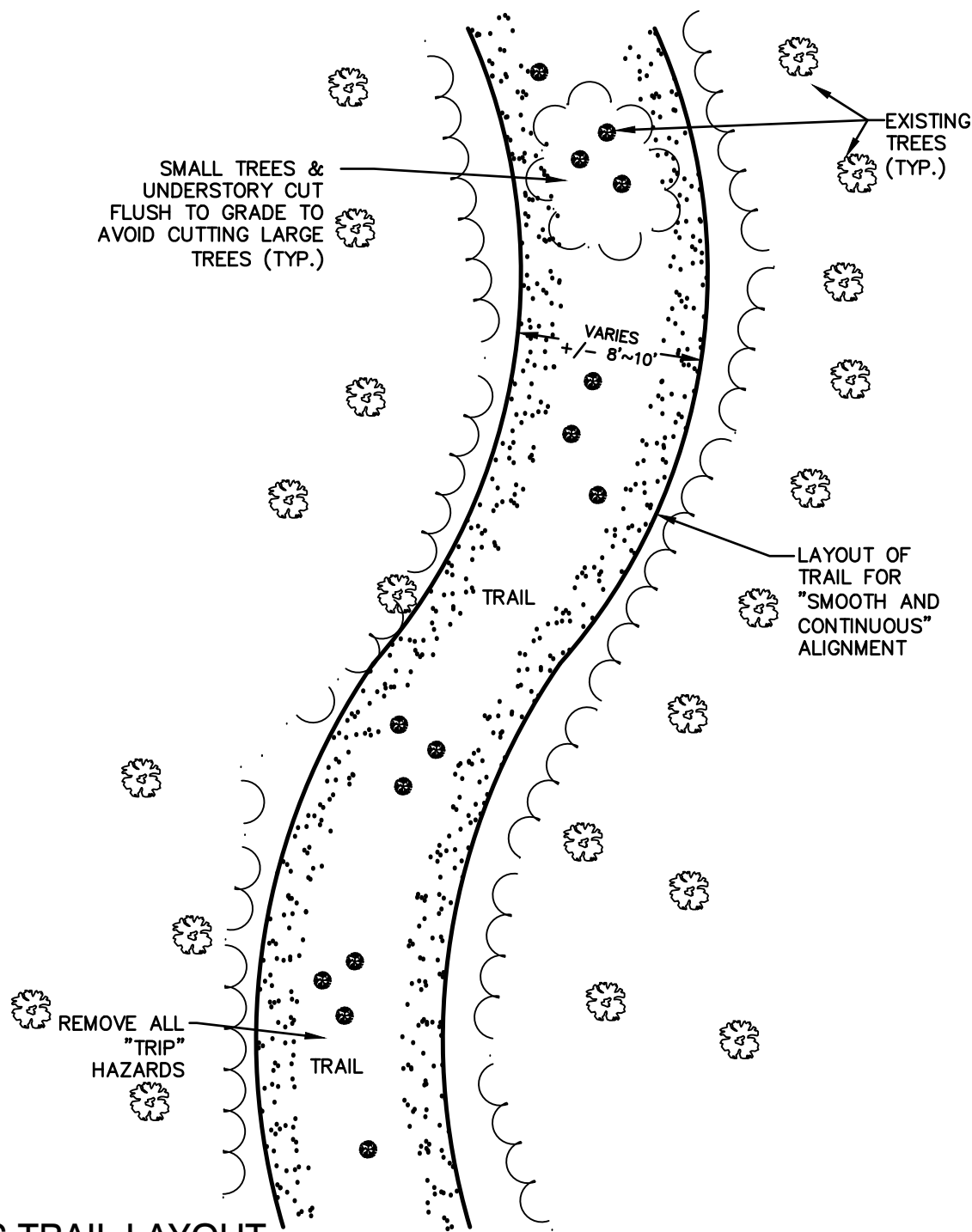




TRAIL LAYOUT TO BE "FINE TUNED" IN THE FIELD TO AVOID CUTTING OF LARGE TREETS, AND TO AVOID EXCESSIVE GRADING, CUTTING AND FILLING WHILE CONSTRUCTING TRAIL SURFACE.

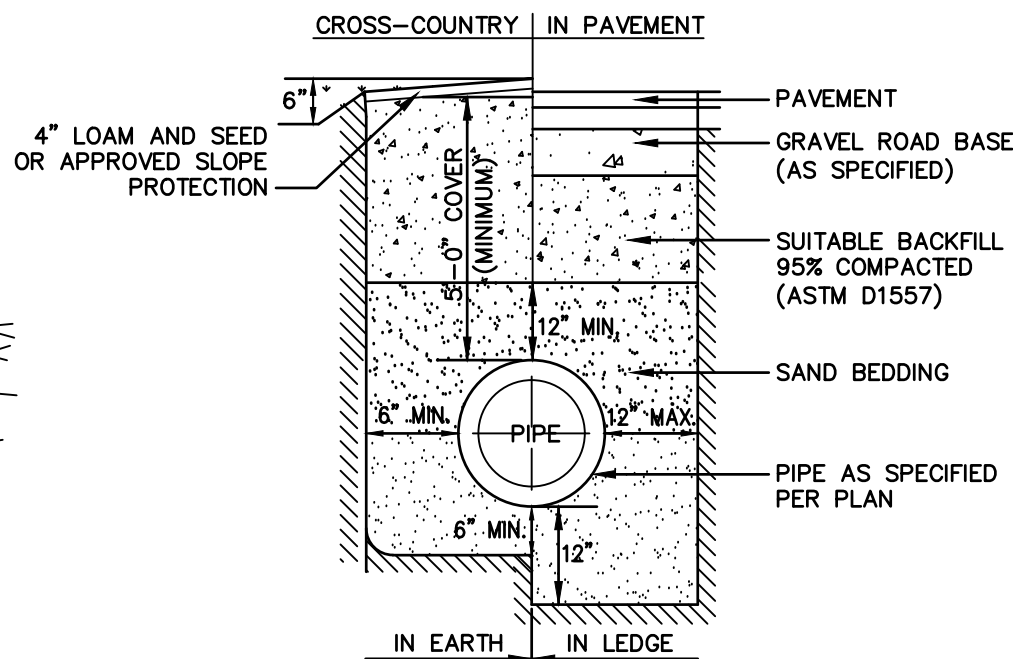
#### WOODS TRAIL SECTION

NOT TO SCALE



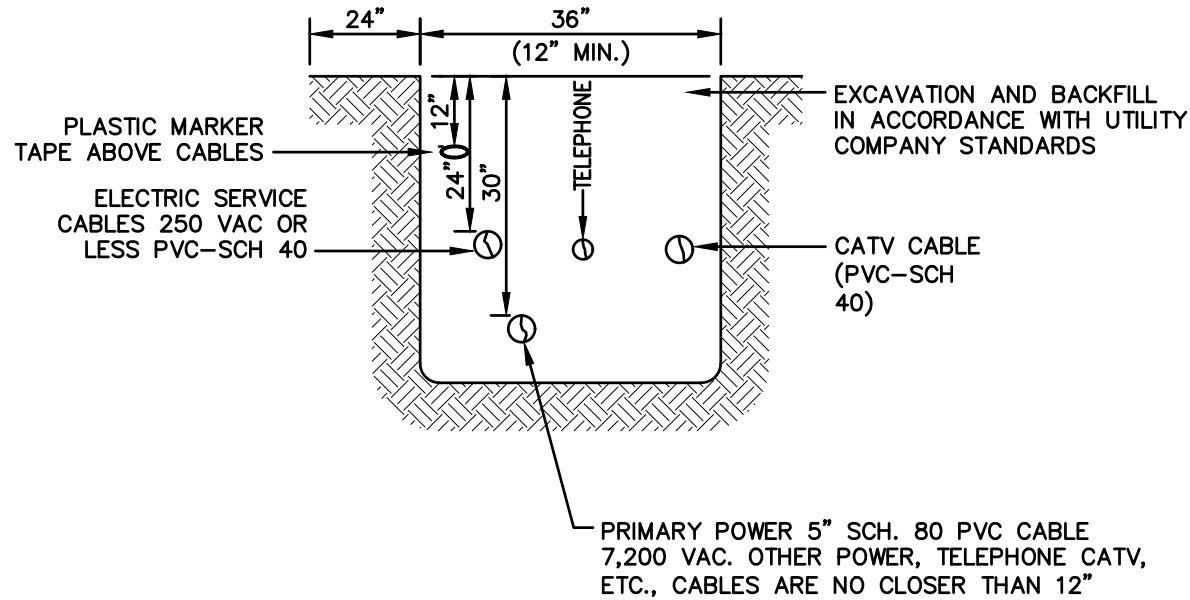
#### WOODS TRAIL LAYOUT

NOT TO SCALE



#### WATER SYSTEM TRENCH

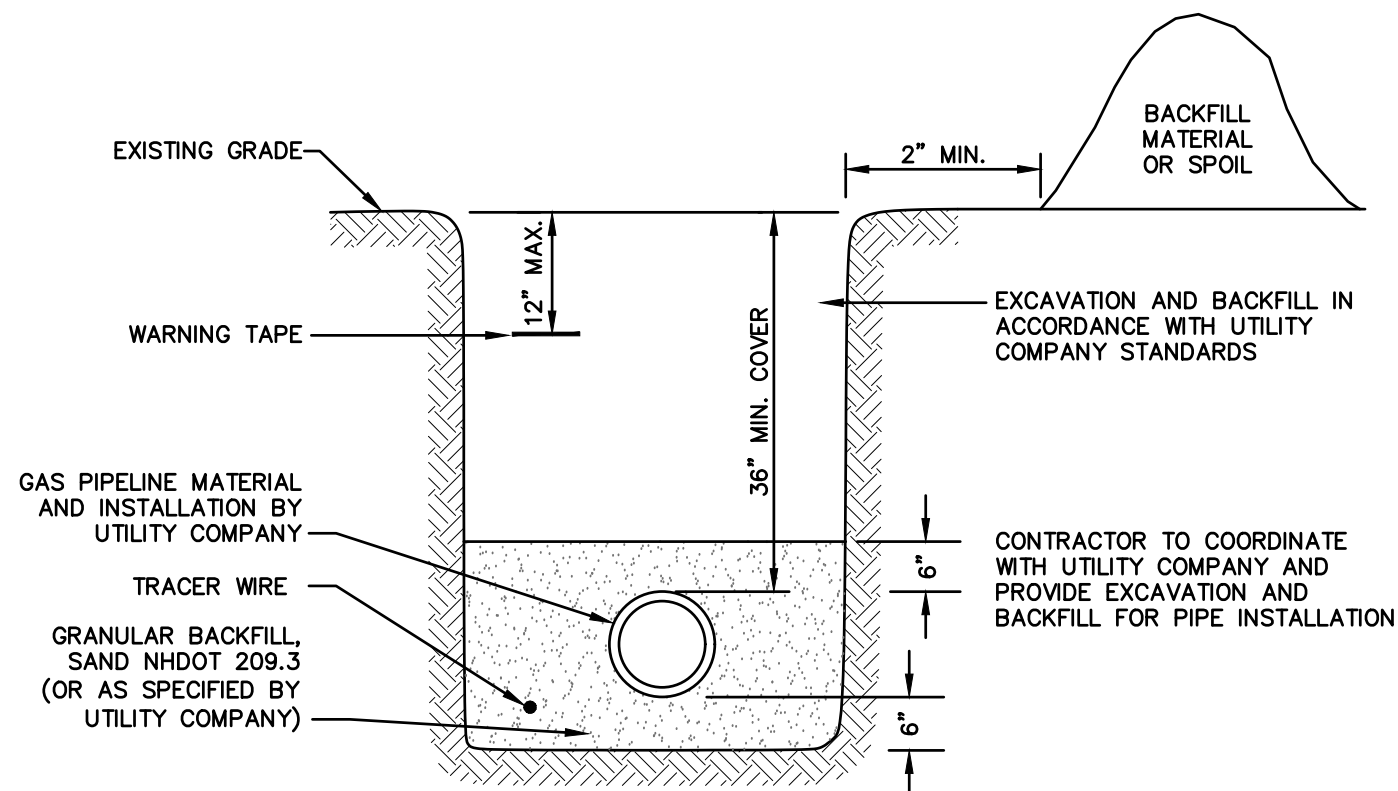
NOT TO SCALE



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

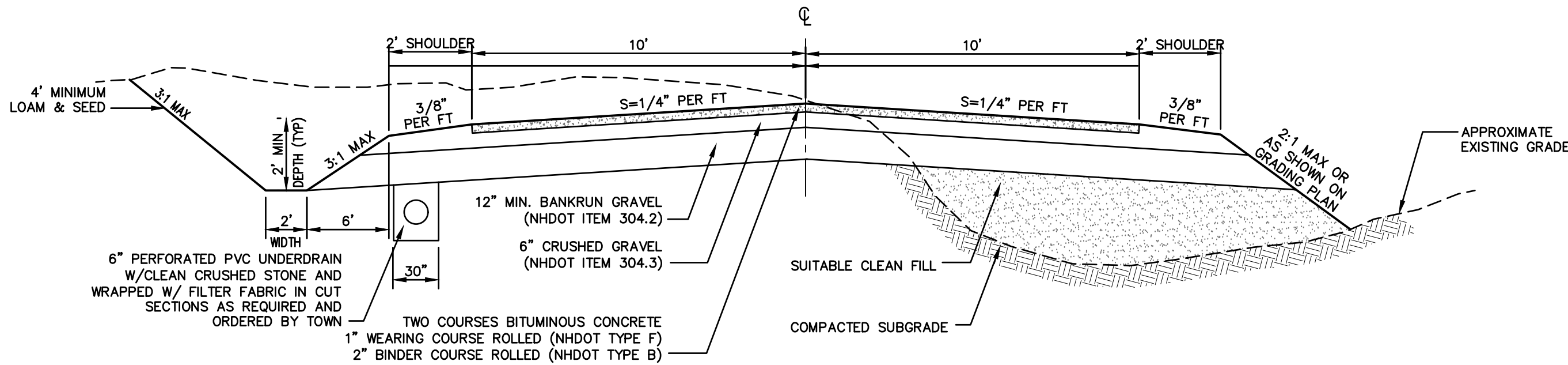
#### UTILITY TRENCH

NOT TO SCALE



#### GAS TRENCH

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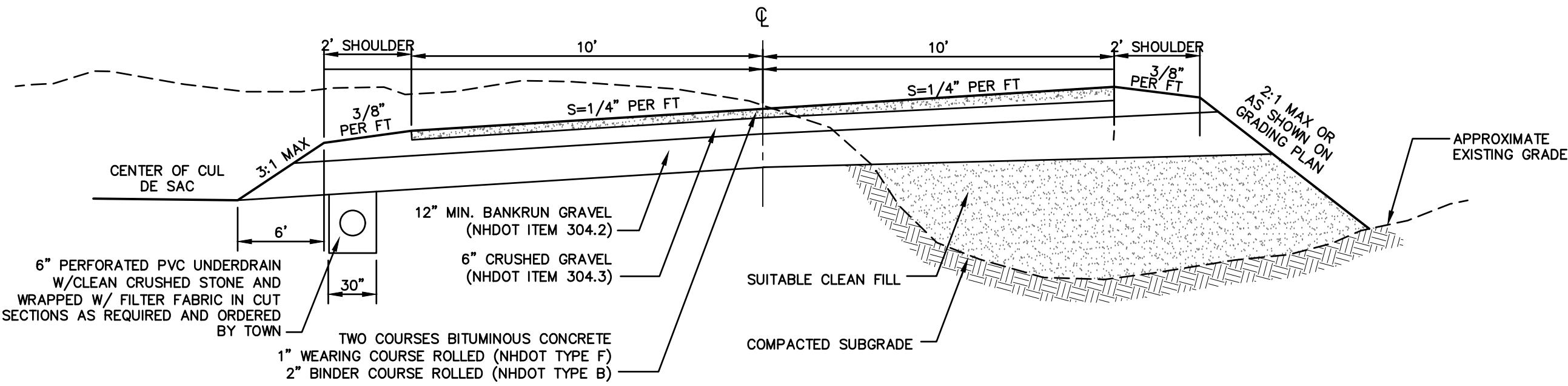


#### NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
2. ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
3. TOWN MAY REQUIRE UNDERDRAIN, ADDITIONAL GRAVEL AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.
4. WOVEN GEOTEXTILE FABRIC SHALL BE PLACED ABOVE SUBGRADE AT ALL WETLAND CROSSINGS.

#### TYPICAL ROADWAY SECTION STA. 0+00 - 1+48)

NOT TO SCALE



#### NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
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#### TYPICAL ROADWAY SECTION STA. 1+48 - 5+14)

NOT TO SCALE

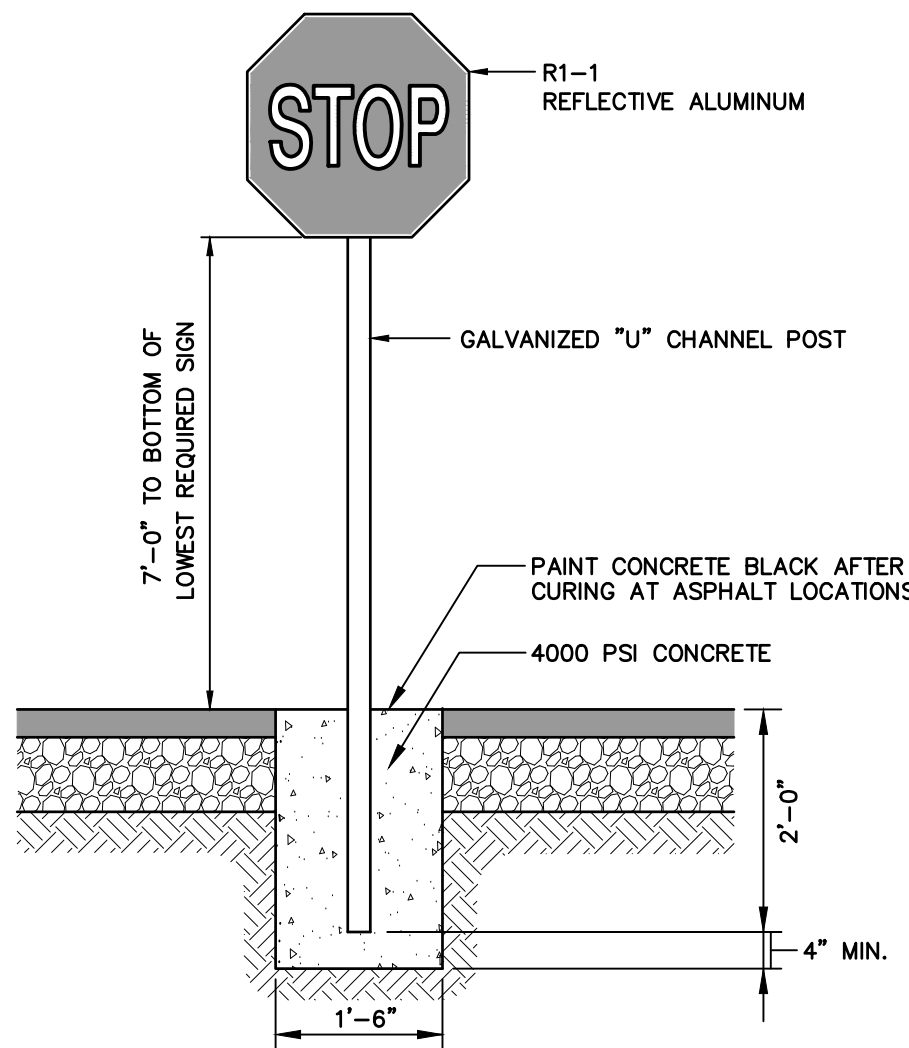


#### NOTES:

1. ALL STOP BARS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT AS PER DIMENSIONS ABOVE.

#### STOP BAR

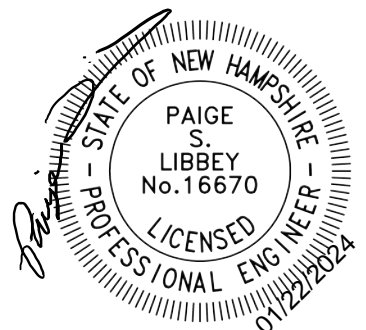
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#### STOP SIGN (R1-1)

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Design: DJM	Draft: KDR	Date: 11/13/23
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2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
0	11/13/23	ISSUED FOR REVIEW	KDR

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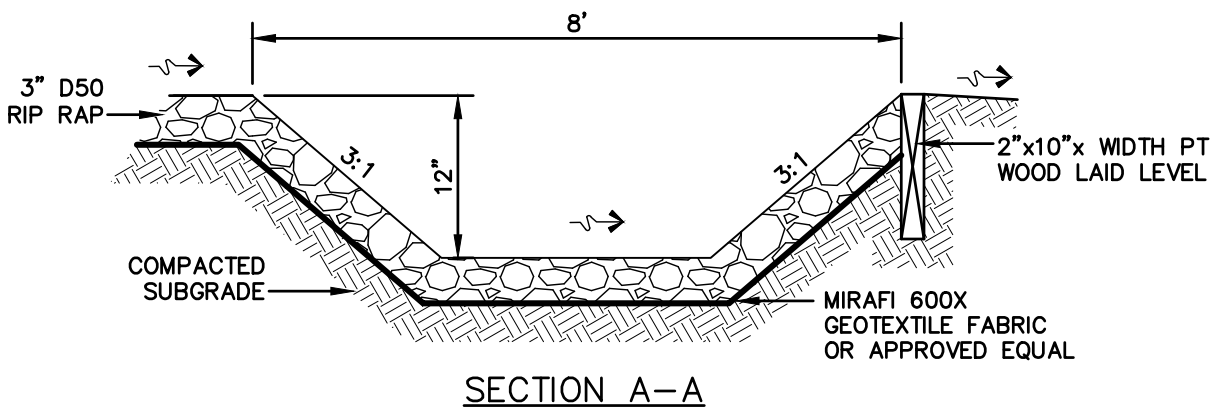
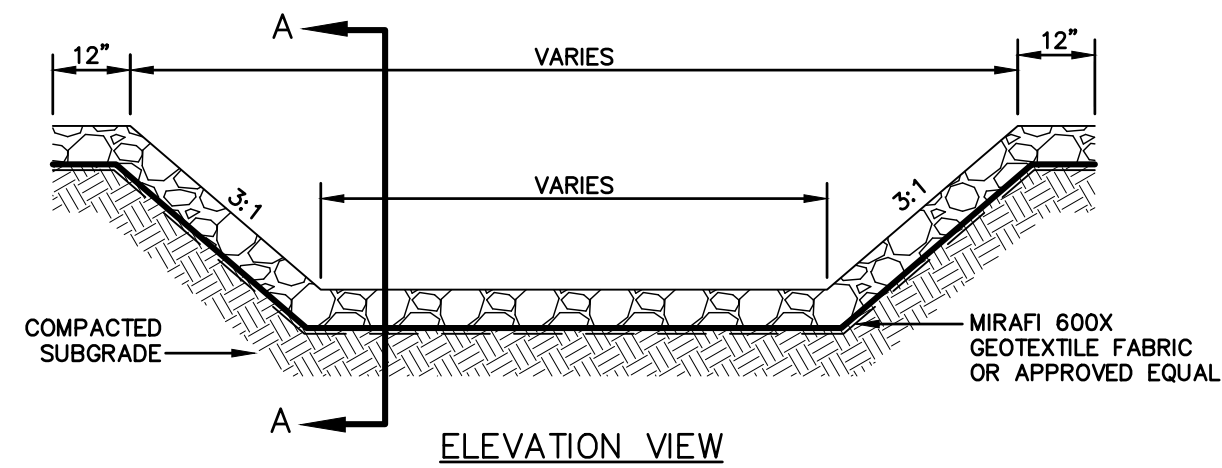
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Plan Name:	DETAIL SHEET
Project:	MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

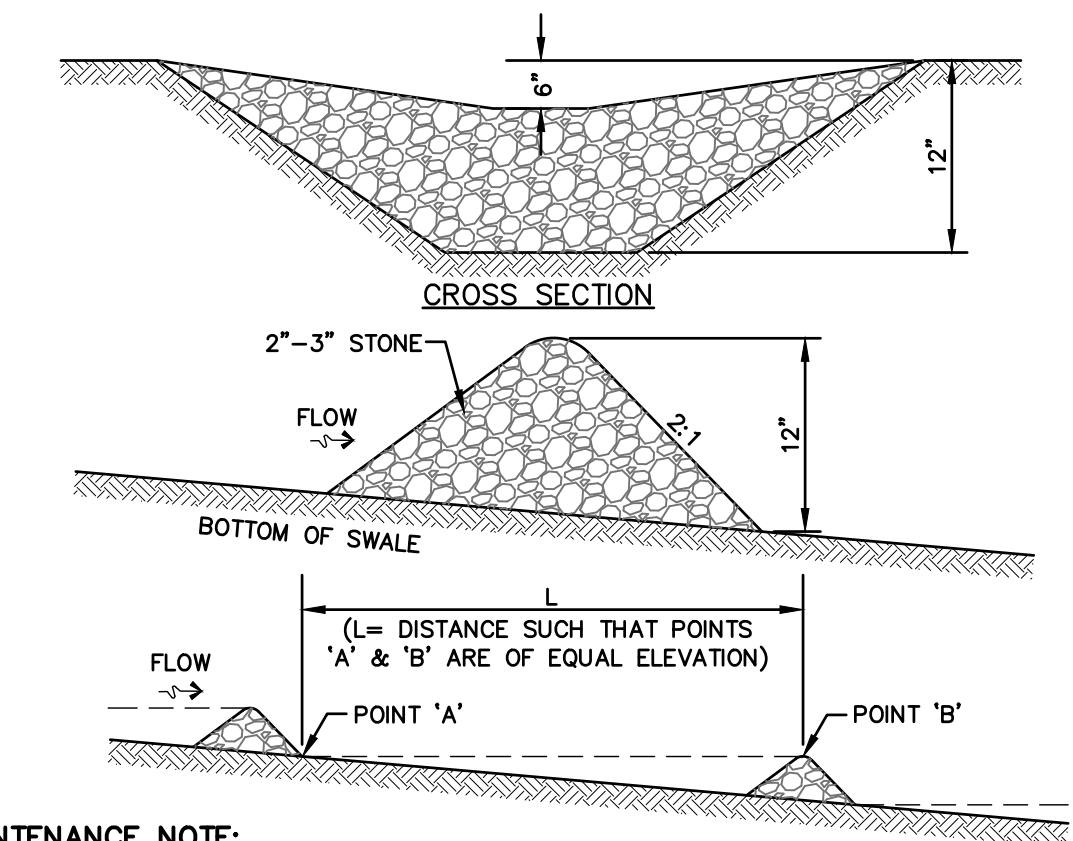
DRAWING No.	D1
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### PLUNGE POOL

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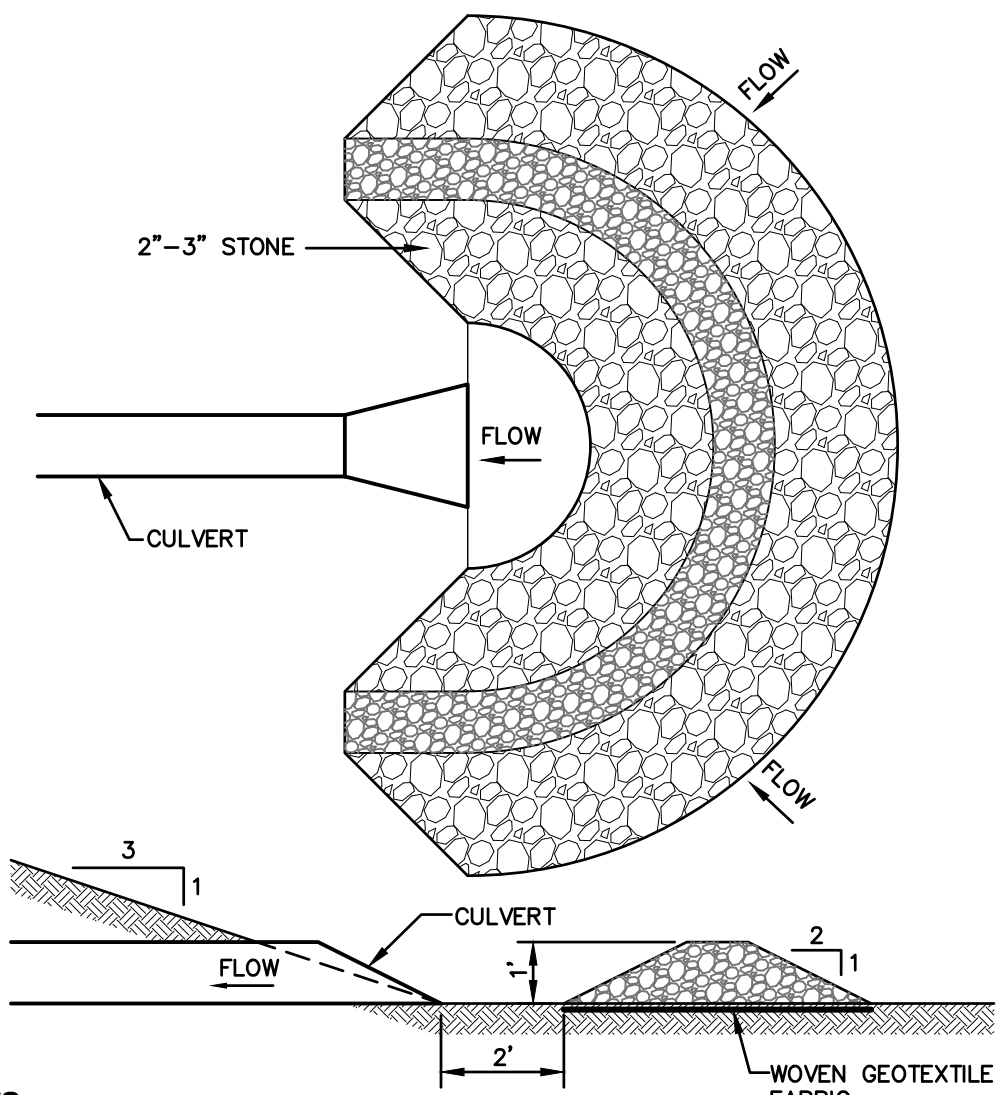


#### MAINTENANCE NOTE:

1. STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

### STONE CHECK DAM

NOT TO SCALE

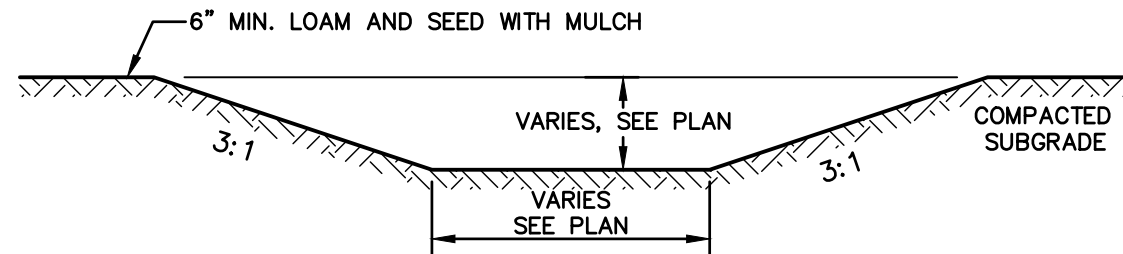


#### NOTES:

1. TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
2. INLET PROTECTION MEASURES SHALL BE INSTALLED AT THE OPENINGS OF ALL EXISTING AND PROPOSED CULVERTS LOCATED BELOW (DOWNSTREAM) FROM AND WITHIN 100' OF THE PROJECT SITE.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
4. STRUCTURES SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH VEGETATION AND THE CHANNEL SHALL BE SMOOTHED AND REVEGETATED.

### TEMPORARY CULVERT INLET PROTECTION CHECK DAM

NOT TO SCALE

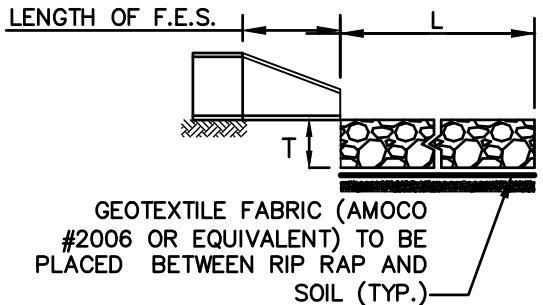
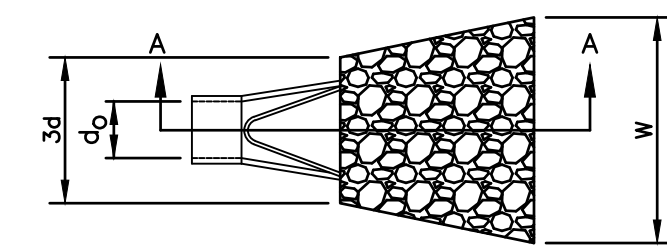


#### NOTE:

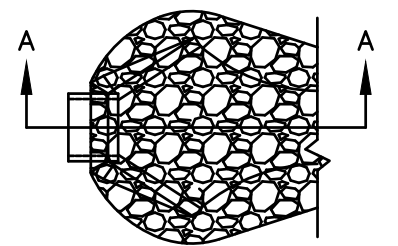
1. STABILIZE PRIOR TO DIRECTING RUN OFF TO SWALE

### VEGETATED SWALE

NOT TO SCALE



SECTION A-A  
PIPE OUTLET TO FLAT AREA  
WITH NO DEFINED CHANNEL



SECTION A-A  
PIPE OUTLET TO  
WELL-DEFINED  
CHANNEL

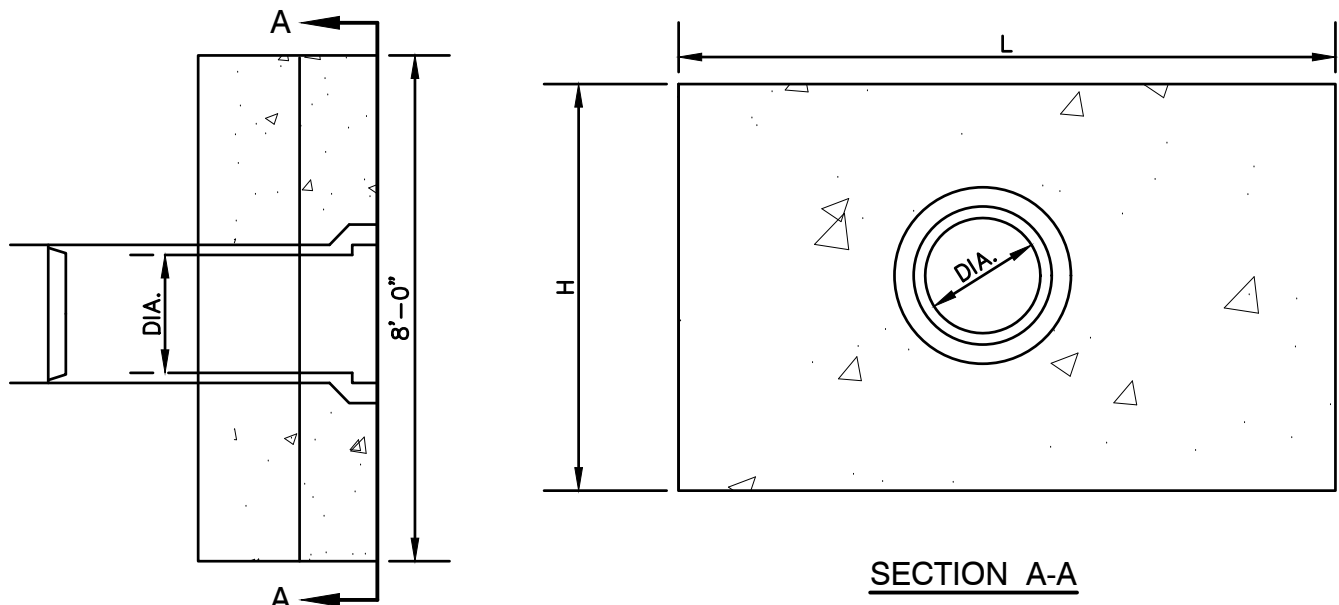
TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES			
THICKNESS OF RIP RAP = 0.75 FEET			
d50 SIZE=	0.25	FEET	3 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM TO		
100%	5	6	
85%	4	5	
50%	3	5	
15%	1	2	

#### NOTES:

1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
6. MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

### RIP RAP OUTLET PROTECTION APRON

NOT TO SCALE



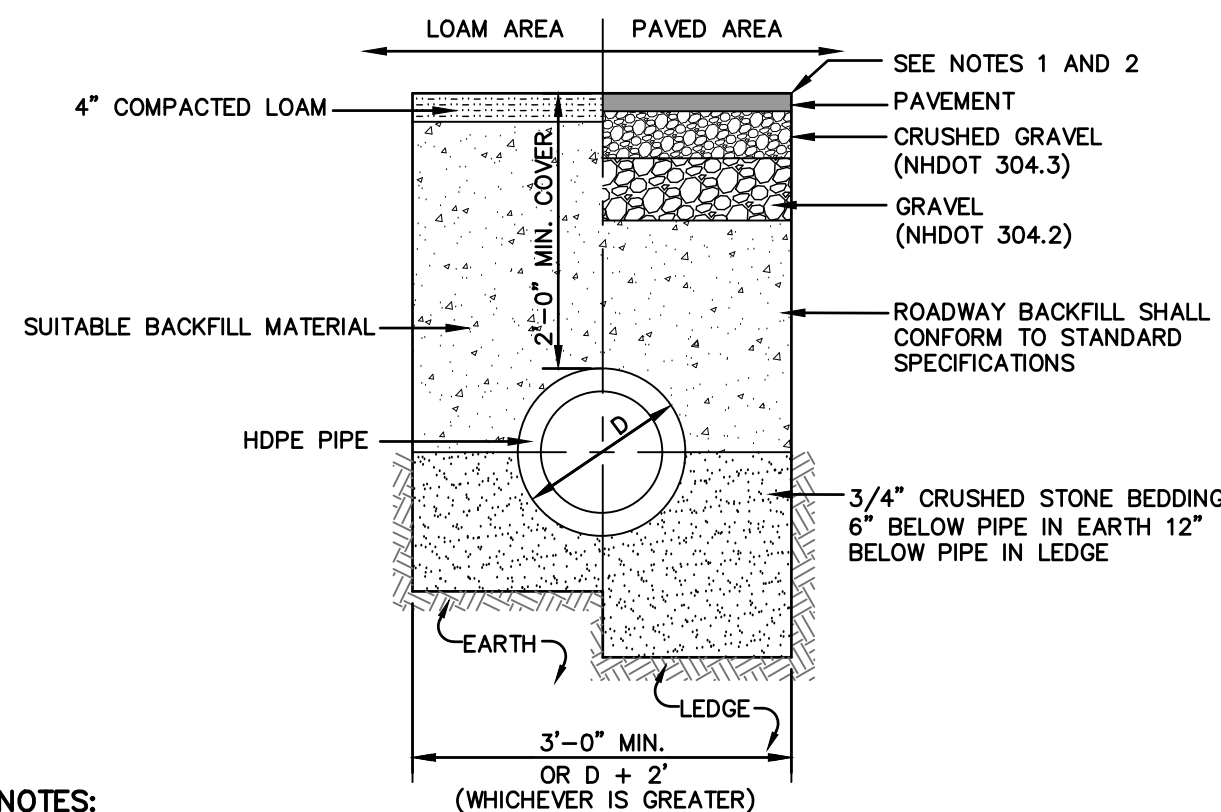
#### LONGITUDINAL SECTION

#### NOTES:

1. ALL DIMENSIONS GIVEN IN FEET & INCHES.
2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
3. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS. CEMENT TO BE TYPE III PER ASTM C-150. REINFORCING TO MEET OR EXCEED ASTM A-615 GRADE 60 DEFORMED BARS.
4. 1" THREADED INSERTS PROVED FOR FINAL ATTACHMENT IN FIELD BY OTHERS.

### PRECAST CONCRETE HEADWALL

NOT TO SCALE



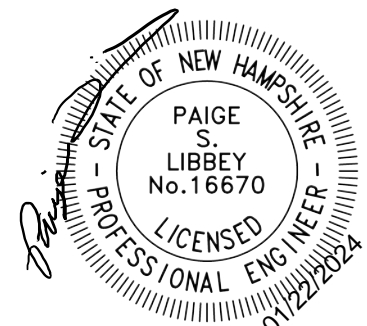
#### NOTES:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
3. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

### DRAINAGE TRENCH

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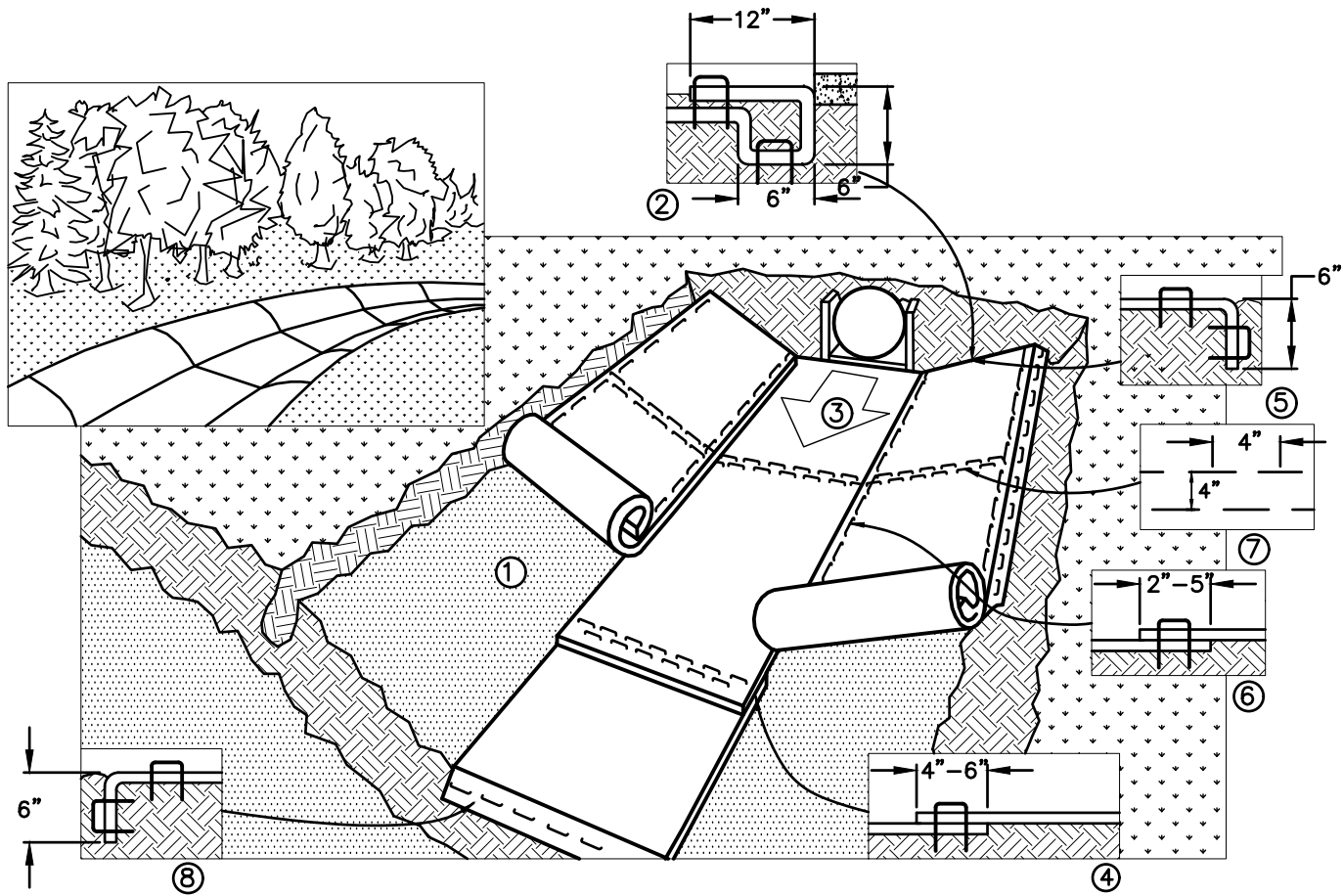
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DRAWING No.
D1
SHEET 16 OF 17 JBE PROJECT NO. 22201



TEMPORARY EROSION CONTROL NOTES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.



NOTES:

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDENT ON BLANKET TYPE) AND STAPLED. TO INSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

CRITICAL POINTS:

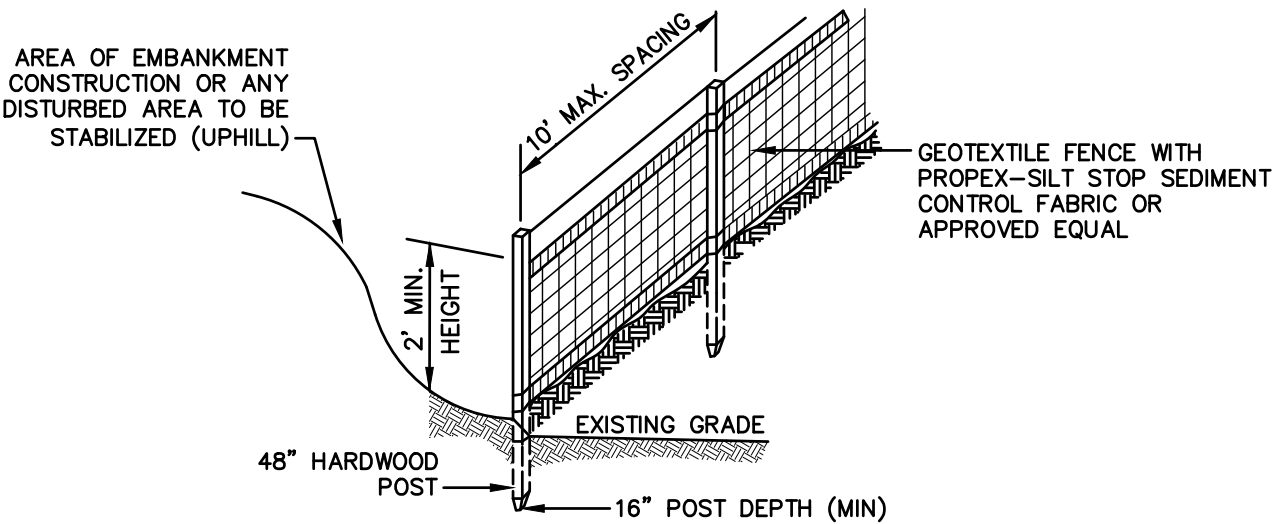
- OVERLAPS AND SEAMS
- PROJECTED WATER LINE
- CHANNEL BOTTOM/SIDE SLOPE VERTICES

NOTES:

- HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

EROSION CONTROL BLANKET SWALE INSTALLATION  
NORTH AMERICAN GREEN (800) 772-2040

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING

- SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
- WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

2. SEEDED PREPARATION

- SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
- STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

3. ESTABLISHING A STAND

- LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:  
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.  
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.  
PHOSPHATE(P205), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.  
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.  
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
- SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
- REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNVELTCH, BIRDSFOOT, TREFOL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
- WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.

4. MULCH

- HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
- MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.

5. MAINTENANCE TO ESTABLISH A STAND

- PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
- FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
- IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	EXCELLENT	EXCELLENT	POOR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

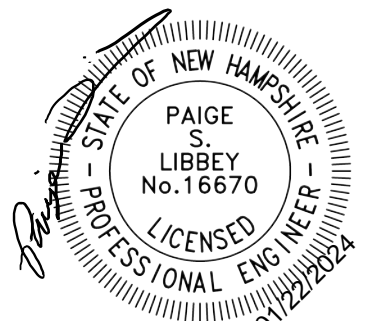
SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE CREEPING RED FESCUE RED TOP TOTAL	20 20 2 42	0.45 0.45 0.05 0.95
B. TALL FESCUE CREEPING RED FESCUE CROWN VETCH OR FLAT PEA TOTAL	15 10 15 30 40 OR 55	0.35 0.25 0.35 0.75 0.95 OR 1.35
C. TALL FESCUE CREEPING RED FESCUE BIRDS FOOT TREFOL TOTAL	20 20 8 48	0.45 0.45 0.20 1.10
D. TALL FESCUE FLAT PEA TOTAL	20 30 50	0.45 0.75 1.20
E. CREEPING RED FESCUE 1/ KENTUCKY BLUEGRASS 1/ TOTAL	50 50 100	1.15 1.15 2.30
F. TALL FESCUE 1	150	3.60

\*

SEEDING RATES

Design: DJM	Draft: KDR	Date: 11/13/23
Checked: JAC	Scale: AS NOTED	Project No.: 22201
Drawing Name: 22201-PLAN.dwg		
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REV.	DATE	REVISION	BY
3	1/22/24	ISSUED FOR PLANNING BOARD REVIEW	KDR
2	12/12/23	REVISION PER CLIENT	KDR
1	11/16/23	ADD PROPOSED BUILDINGS	KDR
0	11/13/23	ISSUED FOR REVIEW	KDR

J/B

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Designed and Produced in NH  
Civil Engineering Services  
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603-772-4746

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	MULTI-FAMILY DEVELOPMENT 669 HIGH STREET, CANDIA, NH 03034
Owner of Record:	CLAUDIA PATRICIA CARR REVOCABLE TRUST AGREEMENT 17 VASSAR STREET, MANCHESTER, NH 03104

DRAWING No.	E1
SHEET 17 OF 17 JBE PROJECT NO. 22201	